

**CITY OF WEST DES MOINES
STAFF REPORT COMMUNICATION**

Meeting Date: November 27, 2023

ITEM: South Branch Plat 2, 4350 SE Army Post Road – Approve a Preliminary Plat to create three (3) lots and Approve a Phased Site Plan for Lot 1 to allow construction of footings, foundations, and private utilities – SBBP JV21 L.L.C., – PPSP-006205-2023.

Resolution: Approval of Preliminary Plat and Phased Site Plan

Background: Property owner and applicant, SBBP JV21 L.L.C., requests approval of a Preliminary Plat for the replat of South Branch Plat 1, Lot 2, a 29.63-acre property located at the southwest corner of SE 42nd Street and SE Army Post Road, (generally 4350 SE Army Post Road) to replat the property into three (3) lots. Additionally, the applicant requests approval of a Phased Site Plan to allow the construction of footings, foundations and private utilities only for the construction of a 294,407 sq. ft. multi-tenant warehouse building on the proposed Lot 1.

Staff Review & Comment:

- **History:** The Comprehensive Plan Land Use designation of the property is Industrial Low. In May of 2021, the property was rezoned to the South Branch Business Park Planned Unit Development with underlying zoning of Business Park, intended for warehouse development. In November 2022, the City Council approved a site plan for South Branch Business Park Plat 1 Lot 1 for a mini storage development with both indoor and outdoor storage; however, work on that site has yet to begin.
- **Key Development Aspects:**
 1. The phased site plan request is to enable construction of the footings and foundations and installation of underground private utilities before the frost of winter. No above ground construction is being approved at this time. The full site plan will be presented to both the Planning and Zoning Commission and City Council at a later meeting.
- **Traffic Impact Study Findings:** A Traffic Impact Study was conducted on the proposed warehouse development and the following is from the Executive Summary:
 1. The proposed land use is expected to generate more traffic than previously estimated in 2021 and 2022, with comparable peak house traffic levels as the 2010 analysis.
 2. With the existing land configurations and traffic control, all major intersections in the study area are anticipated to at LOS D or better overall once the development is fully built out. However, street configurations may change in the future as traffic modeling is performed on the newest comprehensive plan. Also, if additional street crossings are constructed over the Raccoon River, traffic patterns in the area would shift and could result in changes to the lane geometry.
 3. As the area continues to develop, reconstruction of the existing rural roadways of SE 42nd Street and SE Army Post Road is recommended to calm vehicular traffic and provide facilities for pedestrians, bicycles, and potential future transit.
- **Developer Responsibilities:** In conjunction with site development or platting of the lots, whichever occurs first, the developer will be responsible for construction and/or installation of all required public and private infrastructure improvements necessary to support development. The following

items are known improvements; additional improvements may be required in response to development proposals:

- **Streetlights:** The developer will be responsible for streetlights on the west side of SE 42nd Street and any portion of SE Army Post Road adjacent to the property which is a public street versus private. Staff recommends a condition of approval requiring the developer/applicant pay MidAmerican Energy for the necessary streetlights prior to City Council's consideration of the full site plan. Upon payment, MidAmerican Energy will install the streetlights when site and roadway conditions allow.
- **Sidewalks:** The developer/applicant is responsible for the installation of sidewalks on both SE 42nd Street and SE Army Post Road along the lot frontage at time of site development. The roads are currently a rural cross-section and grades have not been set to accommodate the construction of sidewalks. Per 9-3-11 and 10-3-2 of City Code, in these situations the City Council may grant a deferral of installation if an agreement is executed and recorded by the developer/applicant committing to the installation within 120 days of being noticed that grades have been set. Staff recommends a condition of approval requiring the execution of the agreement in conjunction with the full site plan.
- **Plat Validity:** Per City Code, the associated Final Plat must be presented to the City Council for approval within 12 months of the approval of this Preliminary Plat if surety is being posted for Public Improvements; or, within 18 months if Public Improvements are being constructed prior to Final Plat consideration. It is the responsibility of the developer to be aware of these deadlines and request an extension of the Preliminary Plat approval prior to the Preliminary Plat expiration date. As this is a legal lot of record, one building permit may be issued; however, no additional building permits shall be issued until such time that the associated Final Plat is approved by the City Council and recorded with the County. All required agreements, sureties, payments, and legal documents must be provided to the City prior to the City Council's consideration of the Final Plat.
- **Vesting of Entitlement:** Per City Code, entitlement (approval to construct or implement) shall remain in effect so long as substantial site work has progressed beyond grading and completion of structural foundations and twenty twenty-five percent (25%) of the total building area has occurred above grade within twenty-four (24) months of the effective date of the approval, unless a greater time period is authorized at time of the original entitlement, or by approval of an extension of the original entitlement. It is the responsibility of the developer to be aware of this deadline and request an extension of the approval prior to the expiration date.

Outstanding Issues: There are no outstanding issues.

Planning and Zoning Commission Action:

Date: November 27, 2023

Recommendation: Approve the Preliminary Plat and Phased Site Plan request, subject to the applicant meeting all City Code requirements, and the following conditions of approval:

1. No above ground construction will be allowed until the full site plan is approved, and fire hydrants have been installed and water is available to the site.
2. No combustible materials shall be stored on site until fire hydrants have been installed and water is available to the site.
3. Prior to initiating installation of the footing and foundations and private utilities, the developer/applicant shall work with the City's Fire Marshal to ensure suitable drives and access for emergency services.
4. The City Council deferring the installation of sidewalks until such time that roadway grades have been set. Prior to City Council consideration of the associated Final Plat, the developer/applicant shall execute a Sidewalk Agreement committing to the installation of sidewalks along the area included in this Preliminary Plat upon notification by the City that sidewalks are to be installed.
5. The developer/applicant acknowledging and agreeing to the payment to MidAmerican Energy for all streetlights adjacent to the entire property included in this Preliminary Plat which are public roadways prior to the City Council's consideration of the full Site Plan.
6. No other site plans for this property shall be approved and no other building permits shall be issued for other ground included in this Preliminary Plat prior to the City Council's consideration of the Full Site Plan for this project.

Lead Staff Member: Kara Tragesser

Approval Meeting Dates:

Planning and Zoning Commission	November 27, 2023
City Council	

Staff Report Reviews:

Planning & Zoning Commission	<input checked="" type="checkbox"/> Development Coordinator (or) <input checked="" type="checkbox"/> Director	<input checked="" type="checkbox"/> Legal Department
City Council	<input type="checkbox"/> Director <input type="checkbox"/> Appropriations/Finance	<input type="checkbox"/> Legal Department <input type="checkbox"/> Agenda Acceptance

Publications (if applicable)

Published In:	Des Moines Register Community Section
Date(s) Published	n/a
Date(s) of Mailed Notices	n/a

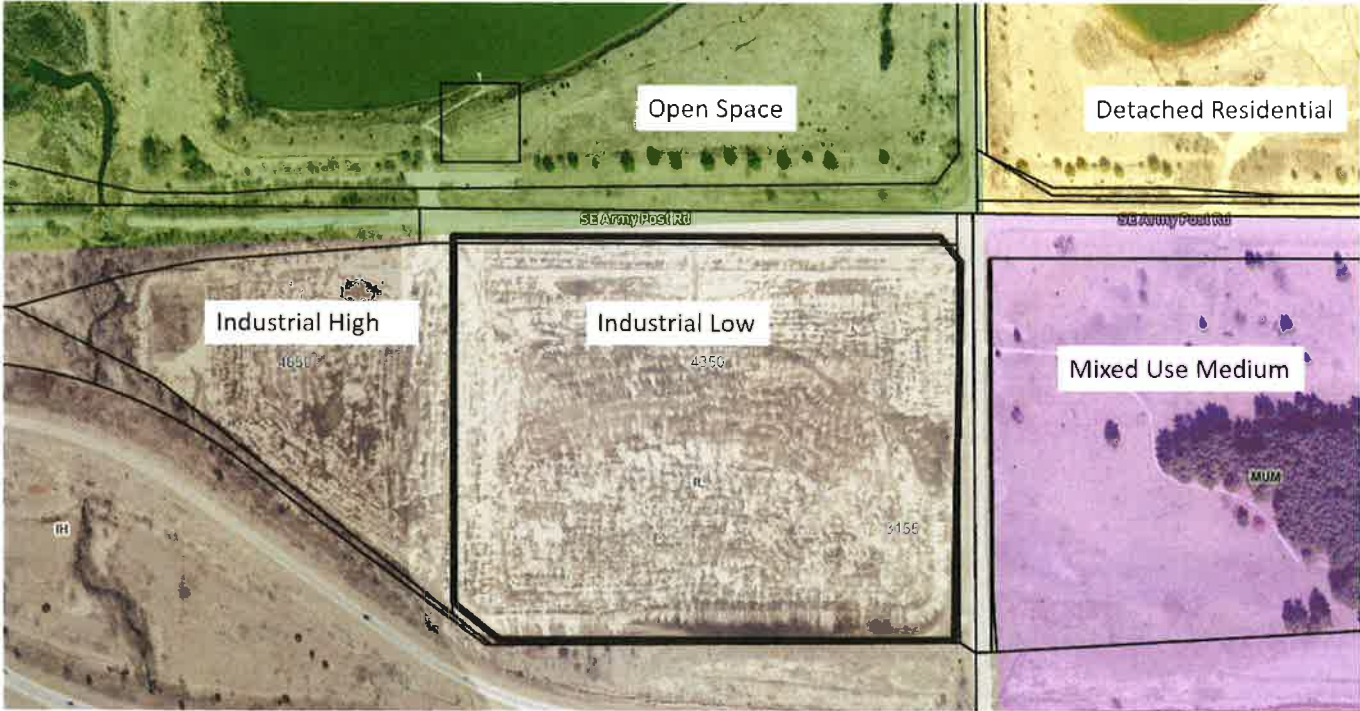
Council Subcommittee Review (if applicable)

Subcommittee	Development & Planning
Date Reviewed	Scheduled for 12/4/23
Recommendation	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Split

Location Map



Comprehensive Plan Land Use Map



SOUTH BRANCH BUSINESS PARK PLAT 2 WEST DES MOINES PRELIMINARY PLAT/SITE PLAN

CITY CASE# PPSP-006205-2023

PHASED SITE PLAN FOR FOOTINGS, FOUNDATION & PRIVATE UTILITIES

SHEET INDEX:

- C0.1 COVER SHEET
- C1.1 SITE SURVEY
- C1.2 PRELIMINARY PLAT
- C2.0 LAYOUT PLAN - OVERALL
- C2.1 LAYOUT PLAN - LOT 1
- C3.0 GRADING PLAN - OVERALL
- C3.1 GRADING PLAN - LOT 1
- C4.1 UTILITY PLAN - LOT 1
- C5.0 LANDSCAPE PLAN - OVERALL
- C5.1 LANDSCAPE PLAN - LOT 1
- C6.1 DETAILS
- C7.1-C7.2 SWPPP

PROPERTY DESCRIPTION:

LOT 2 SOUTH BRANCH BUSINESS PARK, AN OFFICIAL PLAT IN THE CITY OF WEST DES MOINES, POLK COUNTY, IOWA

SUBJECT TO AND TOGETHER WITH ANY AND ALL EASEMENTS AND RESTRICTION OF RECORD.

SAID TRACT CONTAINS 29.63 ACRES (1,290,741 SQUARE FEET) MORE OR LESS

ADDRESS:
4350 ARMY POST ROAD

CITY BENCHMARKS:

CITY OF WEST DES MOINES BM# 101
STANDARD BENCHMARK MONUMENT, 1584± FEET
WEST OF INTERSECTION OF SOUTH 11TH STREET
AND ARMY POST ROAD, 54.5 FEET NORTH OF THE
CENTERLINE OF ARMY POST ROAD
ELEV = 172.02 WDM DATUM

OWNER:
SBBP JV21 LLC
12501 UNIVERSITY AVENUE, SUITE 200
CLIVE, IOWA 50325

PREPARED FOR:
DAN CARLSON, WB REALTY CO
12501 UNIVERSITY AVENUE, SUITE 200
CLIVE, IOWA 50325
515-601-2520

ZONING:
PUDO WITH UNDERLYING BUSINESS PARK
AUTOMOTIVE SERVICE USE AND
OUTDOOR STORAGE IS PROHIBITED

COMPREHENSIVE PLAN:
N1 INDUSTRIAL L2W

BULK REGULATIONS:

SETBACKS

- FRONT: ARMY POST ROAD (NORTH) = 50 FEET
- FRONT: EAST = 50 FEET
- REAR: HIGHWAY 5 (SOUTH) = 50 FEET
- SIDE: WEST = 50 FEET

PARKING REQUIREMENTS:

PARKING SPACES REQUIRED
- WAREHOUSING (0.75 SPACE PER 1,000 SF)
- OFFICE (3.5 SPACES PER 1,000 SF)

LOT 1
PARKING REQUIRED (76,800 SF)
WAREHOUSING (62,400 SF) = 47 SPACES
OFFICE (14,400 SF) = 50 SPACES
PARKING PROVIDED = 100 SPACES (INC. 4 ADA SPACES)

LOT 2
PARKING REQUIRED (76,800 SF)
WAREHOUSING (62,400 SF) = 47 SPACES
OFFICE (14,400 SF) = 50 SPACES
PARKING PROVIDED = 100 SPACES (INC. 4 ADA SPACES)

LOT 3
PARKING REQUIRED (300,000 SF)
WAREHOUSING (268,800 SF) = 202 SPACES
OFFICE (31,200 SF) = 110 SPACES
PARKING PROVIDED = 312 SPACES (INC. 8 ADA SPACES)

OPEN SPACE REQUIREMENTS:

LOT 1 (SITE AREA = 294,407 SF OR 6.76 ACRES)
REQUIRED OPEN SPACE = 103,042 SF (35%)
OPEN SPACE PROVIDED = 128,133 SF (43.5%)

LOT 2 (SITE AREA = 283,359 SF OR 6.50 ACRES)
REQUIRED OPEN SPACE = 96,176 SF (34%)
OPEN SPACE PROVIDED = 103,829 SF (36.8%)

LOT 3 (SITE AREA = 712,875 SF OR 16.37 ACRES)
REQUIRED OPEN SPACE = 248,541 SF (35%)
OPEN SPACE PROVIDED = 217,585 SF (30.5%)

IMPERVIOUS SURFACE:

LOT 1 (SITE AREA = 294,407 SF)
EXISTING = 0 SF (0%)
PROPOSED = 166,274 SF (56.5%)

LOT 2 (SITE AREA = 283,359 SF)
EXISTING = 0 SF (0%)
PROPOSED = 173,530 SF (61.2%)

LOT 3 (SITE AREA = 712,875 SF)
EXISTING = 0 SF (0%)
PROPOSED = 495,380 SF (69.5%)

TOTAL SITE AREA = 1,290,741 SF
TOTAL SITE REQUIRED = 451,759 SF (35%)
TOTAL SITE PROVIDED = 455,547 SF (35.3%)

GENERAL NOTES:

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH IOWA STANDARD SPECIFICATIONS AND ANY AND ALL CITY/COUNTY SUPPLEMENTAL SPECIFICATIONS. THE CITY OF WEST DES MOINES MUST BE NOTIFIED BY ALL CONTRACTORS 48 HOURS PRIOR TO COMMENCING WORK.
- IN EVENT OF A DISCREPANCY BETWEEN THE QUANTITY ESTIMATES AND THE DETAILED PLANS, THE DETAILED PLANS SHALL GOVERN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL UTILITIES. ANY DAMAGE TO SAID UTILITIES SHALL BE REPAIRED AT THE CONTRACTORS EXPENSE.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CURRENT O.S.H.A. CODES AND STANDARDS. NOTHING INDICATED ON THESE PLANS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH THE APPROPRIATE SAFETY REGULATIONS.
- ALL NECESSARY CONSTRUCTION SIGNS, BARRICADES AND OTHER TRAFFIC CONTROL DEVICES REQUIRED DURING CONSTRUCTION WILL BE FURNISHED BY THE CONTRACTOR. SIGNS, BARRICADES AND OTHER TRAFFIC CONTROL DEVICES MUST BE IN CONFORMANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS."
- BISHOP ENGINEERING SHALL NOT BE LIABLE FOR ANY INJURIES THAT HAPPEN ON SITE. THIS SHALL INCLUDE BUT NOT BE LIMITED TO TRENCH COLLAPSES FROM VARYING SOIL CONDITIONS OR INJURIES CAUSED BY UNDERGROUND UTILITIES INCLUDING UTILITIES THAT ARE NOT SHOWN ON PLAN.
- THE CONTRACTOR IS LIABLE FOR ALL DAMAGES TO PUBLIC OR PRIVATE PROPERTY CAUSED BY THEIR ACTION OR INACTION IN PROVIDING FOR STORM WATER FLOW DURING CONSTRUCTION. DO NOT RESTRICT FLOWS IN EXISTING DRAINAGE CHANNELS, STORM SEWER, OR FACILITIES.
- THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER A SCHEDULE FOR PERFORMANCE OF WORK ITEMS. THIS SCHEDULE SHALL BE PROVIDED BY THE CONTRACTOR AT THE PROJECT PRECONSTRUCTION CONFERENCE. NO WORK SHALL BEGIN UNTIL A SCHEDULE HAS BEEN SUBMITTED AND ACCEPTED. THE CONTRACTOR SHALL THEN PERFORM WORK TO CONFORM TO THE ACCEPTED SCHEDULE.
- LABORATORY TESTS SHALL BE PERFORMED BY THE OWNER UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL PROVIDE SAMPLES OF MATERIAL REQUIRED FOR LABORATORY TESTS AND TESTING IN ACCORDANCE WITH THE URBAN STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS.
- SOIL IMPORT OR EXPORT ON THIS PROJECT SHALL BE CONSIDERED INCIDENTAL AND WILL NOT BE MEASURED OR PAID FOR SEPARATELY.
- THE CONTRACTOR SHALL PROTECT ALL STRUCTURES NOT SHOWN AS REMOVALS ON THE PLANS.
- THE CONTRACTOR SHALL OBTAIN ANY AND ALL NECESSARY PERMITS PRIOR TO ANY CONSTRUCTION. CONTRACTOR SHALL WORK WITH OWNER OR OWNERS REPRESENTATIVE ON ALL REQUIRED STORM WATER DISCHARGE PERMITS FROM THE IOWA DEPARTMENT OF NATURAL RESOURCES AND THE CITY OF WEST DES MOINES.
- GRADING AND EROSION CONTROL SHALL BE DONE IN ACCORDANCE WITH THE APPROVED GRADING PLAN, SWPPP, NPDES DOCUMENTS, AND IOWA DEPARTMENT OF NATURAL RESOURCES REQUIREMENTS.
- THE CONTRACTOR SHALL PICK UP ANY DEBRIS SPILLED ONTO THE ADJACENT RIGHT OF WAY OR ABUTTING PROPERTIES AS THE RESULT OF CONSTRUCTION, AT THE END OF EACH WORK DAY.
- THE CONTRACTOR IS RESPONSIBLE FOR THE PROMPT REMOVAL OF ALL MUD THAT HAS BEEN TRACKED OR WASHED INTO ADJACENT PROPERTY OR RIGHT OF WAY UNTIL SUCH TIME THAT PERMANENT VEGETATION HAS BEEN ESTABLISHED.
- DISPOSE OF ALL EXCESS MATERIALS AND TRASH IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REQUIREMENTS. PROVIDE WASTE AREAS OR DISPOSAL SITES FOR EXCESS MATERIALS NOT DESIRABLE FOR INCORPORATION INTO THE PROJECT.
- ALL CONSTRUCTION WITHIN THE PUBLIC R.O. WEASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS SHALL COMPLY WITH THE WEST DES MOINES STANDARD CONSTRUCTION SPECIFICATIONS FOR SUBDIVISIONS, DSM METRO DESIGN STANDARDS AND WDM ADDENDUMS.
- AT LEAST ONE WEEK PRIOR TO ANY CONSTRUCTION WITHIN PUBLIC R.O. WEASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS THE CONTRACTOR SHALL CONTACT THE WDM ENGINEERING SERVICES 222-3475 TO SCHEDULE ANY REQUIRED INSPECTIONS.

PAVING NOTES:

- THE PAVING/ GRADING CONTRACTOR SHALL BACKFILL THE PAVING SLAB AND FINE GRADE THE RIGHT OF WAY AS SOON AFTER THE PAVING AS POSSIBLE. ALL AREAS SHALL BE SEEDED IN ACCORDANCE WITH CITY OF WEST DES MOINES STANDARD SPECIFICATIONS AND THE CURRENT VERSION OF SUDAS.
- SUBGRADE PREPARATION AND PAVEMENTS WILL BE CONSTRUCTED FOLLOWING RECOMMENDATIONS IN THE SOILS REPORT. APPROVED SOILS ENGINEER MUST SIGN OFF ON SUBBASE PRIOR TO ANY PAVEMENT BEING PLACED.
- SEE DETAILS FOR ALL PAVEMENT THICKNESS.
- DETECTABLE WARNING PANEL(S) CALLED OUT ON PLANS SHALL BE PER A.D.A. REGULATIONS. PANEL TYPE & COLOR SHALL BE PER CITY STANDARD.
- ALL WALKS, PARKING LOTS, HANDICAP PARKING, RAMP, ETC. SHALL COMPLY WITH ALL A.D.A. AND CITY CODES. HANDICAP PARKING SIGNAGE IS REQUIRED FOR ALL HANDICAP STALLS AND SHALL BE CONSIDERED INCIDENTAL. IN EVENT OF A DISCREPANCY BETWEEN THE PLANS AND THE A.D.A. CITY CODES THE A.D.A. CITY CODES SHALL GOVERN. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING A.D.A. CODES ARE MET.

UTILITY NOTES:

- UTILITY CALLOUTS ON PIPE LENGTHS ARE APPROXIMATE AND SHOULD BE USED FOR REFERENCE ONLY.
- THE CONTRACTOR SHALL PROVIDE AS-BUILTS OF ALL UTILITIES, INCLUDING DEPTH AND LOCATION OF ALL SERVICES.
- THE CONTRACTOR SHALL COORDINATE THE ADJUSTMENT OF ANY AND ALL EXISTING AND PROPOSED UTILITIES TO PROPOSED GRADES. EXISTING UTILITIES SHALL BE RAISED OR LOWERED IN ACCORDANCE WITH THE UTILITY OWNER REQUIREMENTS. ANY NECESSARY ADJUSTMENTS SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION.
- ACTIVE EXISTING FIELD TILES ENCOUNTERED DURING CONSTRUCTION SHALL BE REPAIRED, REROUTED, OR CONNECTED TO PUBLIC OR PRIVATE STORM SEWER TO REMAIN IN SERVICE.
- ALL PROPOSED RCP STORM SEWER PIPE JOINTS SHALL BE FABRIC WRAPPED AND THE LAST 3 PIPE SECTIONS ON THE APRON SHALL BE TIED WITH RF-14 TYPE II CONNECTORS. ALL APRONS SHALL HAVE A STANDARD FOOTING AND TRASH GUARD.
- ALL RIP RAP CALLED OUT ON PLANS SHALL BE UNDERLAIN WITH ENGINEERING FABRIC.
- ALL STRUCTURE SIZES CALLED OUT ON PLANS ARE MINIMUM INSIDE WALL DIMENSIONS.
- ALL STRUCTURES CALLED OUT AS "MODIFIED" OR "SPECIAL" SHALL BE ENGINEERED BY THE PRECASTER TO ENSURE STRUCTURE STABILITY. MODIFICATIONS INCLUDE ADDITIONAL WALL LENGTH TO ACCOUNT FOR LARGE PIPE DIAMETERS AND ADDITIONAL WALL WIDTH & BASE DEPTH TO ACCOUNT FOR DEEPER STRUCTURES. ANY AND ALL MODIFICATIONS TO STANDARD STRUCTURES SHALL BE CONSIDERED INCIDENTAL TO BID.
- SANITARY SEWER SERVICE CONNECTIONS SHALL BE PLACED AT A SLOPE OF NO LESS THAN 2%. SERVICES SHALL MAINTAIN 18" OF VERTICAL SEPARATION FROM THE WATERMAIN WITH 18" OF COMPACTED LOW PERMEABILITY SOIL BETWEEN THE UTILITIES WITHIN 10' OF THE CROSSING.
- MANDREL AND PRESSURE TESTS SHALL BE REQUIRED FOR ALL PROPOSED SANITARY LINES. TELEVISION OF THE SANITARY SEWER SYSTEM SHALL BE COMPLETED PRIOR TO PAVING UNLESS OTHERWISE APPROVED BY JURISDICTION.
- WATERMAINS SHALL BE C-800, SIZE OF WATERMAIN AS SHOWN ON PLANS.
- THRUST BLOCKS SHALL BE INSTALLED AS REQUIRED AND SHALL BE CONSIDERED INCIDENTAL TO WATERMAIN CONSTRUCTION.
- PROPOSED WATERMAIN SHALL BE PRESSURE TESTED, BACTERIA TESTED AND CHLORINATED. THE FILLING OF THE WATER MAIN SHALL BE DONE BY WEST DES MOINES WATER WORKS.
- TRACER WIRE SHALL BE ADDED TO ALL WATER MAIN, AND BROUGHT TO THE SURFACE AT EVERY HYDRANT.
- ALL HYDRANTS WILL IMMEDIATELY BE COVERED WITH A BLACK PLASTIC BAG (OR EQUIVALENT) ONCE THE HYDRANT IS INSTALLED. WEST DES MOINES WATER WORKS WILL NOTIFY THE CONTRACTOR WHEN THE BAGS CAN BE REMOVED.
- THE MINIMUM HYDRANT LEAD SHALL BE 3.5 FEET.
- ANY AND ALL HYDRANT AND VALVE EXTENSIONS, TOGETHER WITH VERTICAL BENDS, SHALL BE CONSIDERED INCIDENTAL TO WATER MAIN CONSTRUCTION. NO ADDITIONAL PAYMENT WILL BE PROVIDED FOR INCIDENTAL ITEMS.
- CONTACT BUILDING INSPECTION (515-222-3630), A MINIMUM OF 24 HOURS IN ADVANCE FOR PRIVATE UTILITY INSTALLATION INSPECTIONS.

UTILITY NOTE:

THE LOCATION OF THE UTILITIES INDICATED ON THE PLANS HAVE BEEN TAKEN FROM THE FIELD SURVEY, EXISTING PUBLIC RECORDS, AND PLANS PROVIDED BY OTHERS. SURFACE UTILITY LOCATIONS HAVE BEEN FIELD LOCATED BY BISHOP ENGINEERING, UNLESS OTHERWISE NOTED. ALL UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE LOCATIONS ONLY. BISHOP ENGINEERING DOES NOT GUARANTEE THE UNDERGROUND LOCATION OF ANY UTILITIES SHOWN. IT SHALL BE THE DUTY OF THE CONTRACTOR TO DETERMINE THE LOCATION AND DEPTH OF ANY UNDERGROUND UTILITIES SHOWN AND IF ANY ADDITIONAL UTILITIES, OTHER THAN THOSE SHOWN ON THE PLANS, MAY BE PRESENT, A REQUEST WAS MADE TO IOWA ONE CALL FOR UTILITY PROVIDERS TO VERIFY, LOCATE, AND MARK THEIR UTILITIES IN THE FIELD.



WEST DES MOINES NOTES:

- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK OF ALL SUBCONTRACTOR(S) INVOLVED IN THE PROJECT. AN ON-SITE INSPECTION SHALL BE REQUESTED WITH THE BUILDING DIVISION AT (515) 222-3630, PRIOR TO PLACEMENT OF ANY CONCRETE RAMPS.
- ALL WATER WORK, PUBLIC OR PRIVATE, SHALL BE DONE IN ACCORDANCE WITH WEST DES MOINES WATER WORKS STANDARD SPECIFICATIONS.
- CONTRACTOR SHALL NOTIFY WEST DES MOINES WATER WORKS AT LEAST ONE WEEK PRIOR TO BUILDING CONSTRUCTION.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE WEST DES MOINES WATER WORKS AND THE CITY'S CROSS CONNECTION CONTROL/CONTAINMENT PROVISIONS.
- ANY WATER USE FROM A HYDRANT, PUBLIC OR PRIVATE, REQUIRES THE USE OF A WEST DES MOINES WATER WORKS HYDRANT METER. CALL 515-222-3465 TO RESERVE A METER.
- CONTACT BUILDING INSPECTION (515-222-3630) A MINIMUM OF 24 HOURS IN ADVANCE FOR PRIVATE UTILITY INSTALLATION INSPECTIONS.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER INSTALLATION OF AN APPROVED BACKFLOW PREVENTION ASSEMBLY(S) FOR CONTAINMENT IN ALL NEW CONSTRUCTION. BACKFLOW PREVENTION TO BE INSTALLED PER CITY ORDINANCE 1297, 54-1998. CONTRACTOR SHALL NOTIFY WEST DES MOINES WATER WORKS (515-222-3465) A MINIMUM OF 24 HOURS AFTER INSTALLATION AND TESTING OF ALL BACKFLOW DEVICES TO SCHEDULE FINAL INSPECTION.
- ALL CONSTRUCTION WITHIN PUBLIC R.O. WEASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH THE WEST DES MOINES STANDARD CONSTRUCTION SPECIFICATIONS FOR SUBDIVISIONS, DSM METRO DESIGN STANDARDS AND WDM ADDENDUMS.
- AT LEAST ONE WEEK PRIOR TO ANY CONSTRUCTION WITHIN PUBLIC R.O. WEASEMENTS AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, THE CONTRACTOR SHALL CONTACT THE WDM ENGINEERING SERVICES 222-3475 TO SCHEDULE ANY REQUIRED INSPECTIONS. IT IS IMPORTANT TO NOTE CITY APPROVAL OF THIS PLAN IS SUBJECT TO THE APPLICANT OBTAINING ALL NECESSARY EASEMENTS/AGREEMENTS AND APPLICABLE PERMITS.
- IF ADDITIONAL PAVEMENT REMOVAL IS REQUIRED OTHER THAN A STANDARD BOX OUT, FULL PANEL REMOVAL WILL BE REQUIRED. NO HALF PANEL REMOVAL WILL BE ALLOWED.
- COORDINATE STAGING AND TRAFFIC CONTROL WITH WDM EMERGENCY SERVICES.
- LANE CLOSURE NOTICES MUST BE SUBMITTED TO WEST DES MOINES PUBLIC SERVICES FOR APPROVAL A MINIMUM OF 48 HOURS IN ADVANCE OF CLOSURE.
- ALL CONNECTIONS TO PUBLIC SEWERS SHALL BE CORE DRILLED.

WEST DES MOINES WATER WORKS:

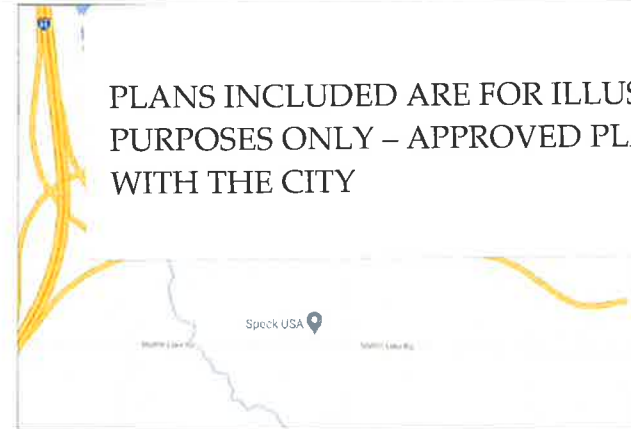
- ALL WATER WORK, PUBLIC OR PRIVATE, SHALL BE DONE IN ACCORDANCE WITH WEST DES MOINES WATER WORKS STANDARD SPECIFICATIONS.
- CONTRACTOR SHALL NOTIFY WEST DES MOINES WATER WORKS (515-222-3465) AT LEAST ONE WEEK PRIOR TO BUILDING CONSTRUCTION.
- ANY WATER USE FROM A HYDRANT, PUBLIC OR PRIVATE, REQUIRES THE USE OF A WEST DES MOINES HYDRANT METER, CALL 515-222-3465 TO RESERVE A METER.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE WEST DES MOINES WATER WORKS AND THE CITY'S CROSS CONNECTION CONTROL/ CONTAINMENT PROVISIONS.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER INSTALLATION OF AN APPROVED BACKFLOW PREVENTION ASSEMBLY(S) FOR CONTAINMENT IN ALL NEW CONSTRUCTION. BACKFLOW PREVENTION TO BE INSTALLED PER CITY ORDINANCE 1297, 54-1998. CONTRACTOR SHALL NOTIFY WEST DES MOINES WATER WORKS, RALPH RENTERIA, ENGINEERING TECHNICIAN (515-222-3465) A MINIMUM OF 24 HOURS AFTER INSTALLATION AND TESTING OF ALL BACKFLOW DEVICES TO SCHEDULE FINAL INSPECTION.
- WATERMAINS SHALL BE C-800, SIZE OF WATERMAIN AS SHOWN ON PLANS.
- THRUST BLOCKS SHALL BE INSTALLED AS REQUIRED AND SHALL BE CONSIDERED INCIDENTAL TO WATERMAIN CONSTRUCTION.
- PROPOSED WATERMAIN SHALL BE PRESSURE TESTED, BACTERIA TESTED AND CHLORINATED. THE FILLING OF THE WATER MAIN SHALL BE DONE BY WEST DES MOINES WATER WORKS.
- TRACER WIRE SHALL BE ADDED TO ALL WATER MAIN, AND BROUGHT TO THE SURFACE AT EVERY HYDRANT.
- ALL HYDRANTS WILL IMMEDIATELY BE COVERED WITH A BLACK PLASTIC BAG (OR EQUIVALENT) ONCE THE HYDRANT IS INSTALLED. WEST DES MOINES WATER WORKS WILL NOTIFY THE CONTRACTOR WHEN THE BAGS CAN BE REMOVED.
- THE MINIMUM HYDRANT LEAD SHALL BE 3.5 FEET.
- ANY AND ALL HYDRANT AND VALVE EXTENSIONS, TOGETHER WITH VERTICAL BENDS, SHALL BE CONSIDERED INCIDENTAL TO WATER MAIN CONSTRUCTION. NO ADDITIONAL PAYMENT WILL BE PROVIDED FOR INCIDENTAL ITEMS. A MAXIMUM OF ONE HYDRANT EXTENSION IS ALLOWED.
- CONTRACTOR TO TEST REMOTE FIRE DEPARTMENT CONNECTION (FDC)
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING STATIC WATER PRESSURE AND, WHERE REQUIRED BY THE CITY OF WEST DES MOINES PLUMBING CODE, SHALL INSTALL A PRESSURE REDUCING VALVE(S) WITH EXPANSION TANK(S) WHERE REQUIRED, PRESSURE REDUCING VALVE(S) AND TANK(S) SHALL BE INSTALLED DOWNSTREAM OF THE WATER METER(S) AND BACKFLOW PREVENTION ASSEMBLY(S) SERVING THE SITE.

SPECIFICATIONS NOTES:

- IN THE EVENT OF A DISCREPANCY BETWEEN THE BISHOP PROJECT SPECIFICATIONS AND CITY OF WEST DES MOINES REQUIREMENTS AND SPECIFICATIONS, PLUMBING CODE, AND URBAN STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENT (SUDAS 2018), THE CITY OF WEST DES MOINES STANDARD SPECIFICATIONS SHALL GOVERN.
- FOR ALL SPECIFICATION DISCREPANCIES, PROJECT ENGINEER SHALL BE CONTACTED PRIOR TO PROCEEDING WITH CONSTRUCTION. IF ENGINEER IS NOT CONTACTED, CONTRACTOR SHALL BE RESPONSIBLE FOR ANY PROBLEMS THAT RESULT FROM SAID DISCREPANCIES.
- FOR ALL SPECIFICATION DISCREPANCIES, CONTRACTOR MUST OBTAIN WRITTEN APPROVAL FROM THE CITY OF WEST DES MOINES ENGINEERING DEPARTMENT FOR ANY CHANGES TO PROPOSED SITE INFRASTRUCTURE OR GRADES PRIOR TO PROCEEDING WITH ANY CHANGES.

UTILITY CONFLICT NOTES:

- UTILITY CONFLICTS MAY EXIST ACROSS THE SITE WITH NEW UTILITIES, GRADING, PAVING ETC. MOST UTILITY CONFLICTS HAVE BEEN CALLED OUT FOR CONTRACTOR CONVENIENCE.
- CONTRACTOR IS RESPONSIBLE FOR ALL UTILITY CONFLICTS THAT ARE EITHER CALLED OUT ON THE PLANS OR THAT CAN BE SEEN ON THE PLANS BETWEEN AN EXISTING UTILITY AND PROPOSED CONSTRUCTION.
- CONTRACTOR SHALL COMPLY WITH ALL DNR REQUIREMENTS FOR PIPE MATERIAL, PIPE JOINTS, AND ANY OTHER APPLICABLE REQUIREMENTS ANY TIME A STORM SEWER OR SANITARY SEWER CROSSES OVER OR LESS THAN 18" BELOW A WATER MAIN.
- FOR ALL CRITICAL CROSSINGS WITH EXISTING UTILITIES, THE ELEVATION OF THE EXISTING UTILITY SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION. NOTIFY BISHOP ENGINEERING PRIOR TO CONSTRUCTION IF A CONFLICT EXISTS.



VICINITY MAP
SCALE: 1" = 1,000'

ABBREVIATIONS:

AC ACRES
ASP ASPHALT
BK BOOK
CONC CONCRETE
D DEEDED DISTANCE
EX EXISTING
ENCL ENCLOSURE
FF FINISHED FLOOR
FL FLOW LINE
FRAC FRACTIONAL
M MEASURED DISTANCE
MH MANHOLE
OPC ORANGE PLASTIC CAP
P PLATTED DISTANCE
PG PAGE
POB POINT OF BEGINNING
POC POINT OF COMMENCEMENT
PRA PREVIOUSLY RECORDED AS
PUE PUBLIC UTILITY EASEMENT
ROW RIGHT OF WAY
RPC RED PLASTIC CAP
SF SQUARE FEET
SAN SANITARY
TYP TYPICAL
YPC YELLOW PLASTIC CAP
N NORTH
S SOUTH
E EAST
W WEST

LEGEND:

— SAN — SANITARY SEWER
— ST — STORM SEWER
— W — WATER LINE
— G — GAS LINE
— UE — UNDERGROUND ELECTRIC
— OE — OVERHEAD ELECTRIC
— TELE — TELEPHONE LINE
— FIO — FIBER OPTIC
— CATV — CABLE TV

⊙ STORM MANHOLE
⊕ CURB INTAKE
⊕ SURFACE INTAKE
⊕ FLARED END SECTION
⊕ SANITARY MANHOLE
⊕ CLEANOUT
⊕ FIRE HYDRANT
⊕ SPRINKLER
⊕ IRRIGATION CONTROL VALVE
⊕ WATER MANHOLE
⊕ WELL
⊕ WATER VALVE
⊕ WATER SHUT OFF
⊕ YARD HYDRANT
⊕ ELECTRIC MANHOLE
⊕ ELECTRIC METER
⊕ ELECTRIC RISER
⊕ ELECTRIC VAULT
⊕ POWER POLE
⊕ TRANSFORMER POLE
⊕ LIGHT POLE
⊕ ELECTRIC JUNCTION BOX
⊕ ELECTRIC PANEL
⊕ TRANSFORMER
⊕ GROUND LIGHT
⊕ GUY WIRE
⊕ ELECTRIC HANDHOLE
⊕ GAS METER
⊕ GAS VALVE
⊕ AIR CONDITIONING UNIT
⊕ TELEPHONE RISER
⊕ TELEPHONE VAULT
⊕ TELEPHONE MANHOLE
⊕ TRAFFIC SIGNAL MANHOLE
⊕ FIBER OPTIC RISER
⊕ FIBER OPTIC FAULT
⊕ CABLE TV RISER
⊕ SIGN
⊕ DENOTES NUMBER OF PARKING STALLS
● PROPERTY CORNER - FOUND AS NOTED
○ PROPERTY CORNER - PLACED 3/4" IRON PIPE WITH YELLOW PLASTIC CAP ID #4775
⊕ SECTION CORNER - FOUND AS NOTED

SITE CONTROL AND BENCHMARKS:

BASES OF BEARING OBTAINED FROM GPS OBSERVATIONS DATUM = NAD 83, IOWA SOUTH BENCHMARK DATUM = CITY WEST DES MOINES DATUM

POINT # 8000
NORTHING = 556311.12
EASTING = 1568318.46
ELEVATION = 60.77
DESCRIPTION: SET 3/4" IRON PIPE W/ RPC

POINT # 8002
NORTHING = 556310.67
EASTING = 1568517.47
ELEVATION = 61.50
DESCRIPTION: FOUND 1/2" IRON ROD W/ BLUE V&K CONTROL CAP

POINT # 8003
NORTHING = 556297.71
EASTING = 1567210.97
ELEVATION = 63.48
DESCRIPTION: SET 3/4" IRON PIPE W/ RPC

POINT # 8004
NORTHING = 556310.26
EASTING = 1569088.11
ELEVATION = 63.62
DESCRIPTION: SET 3/4" IRON PIPE W/ RPC

POINT # 8005
NORTHING = 555827.31
EASTING = 1568967.58
ELEVATION = 73.34
DESCRIPTION: SET 3/4" IRON PIPE W/ RPC

POINT # 80013
NORTHING = 556265.78
EASTING = 1567911.37
ELEVATION = 61.76
DESCRIPTION: FOUND 1/2" IRON ROD W/ BLUE V&K CONTROL CAP

POINT # 80053
NORTHING = 556033.99
EASTING = 1568924.29
ELEVATION = 67.07
DESCRIPTION: FOUND 1/2" IRON ROD W/ BLUE V&K CONTROL CAP

STAKING NOTES:

- CONTRACTOR IS REQUIRED TO HAVE ALL STAKING DONE UNDER THE SUPERVISION OF A LICENSED LAND SURVEYOR AND IN COORDINATION WITH THE PROJECT ENGINEER.
- CONTRACTOR IS REQUIRED TO HAVE ALL STAKING DONE DIRECTLY UNDER THE GENERAL CONTRACTOR BY A SINGLE COMPANY.
- STAKING DOES NOT RELIEVE CONTRACTOR OF ULTIMATE RESPONSIBILITY TO CONSTRUCT THE PROJECT PER PLAN.

I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

SIGNED: DAVID B. BENTZ, PE. 17143 DATE: _____

LICENSE RENEWAL DATE: DEC. 31, 2023
PAGES OR SHEETS COVERED BY THIS SEAL: C0.1, C1.1, C2.1, C3.1, C4.1, C7.1



Bishop Eng
Planning Your Successful Dev

3501 110
Des Moines, IA
Phone: (515) 276-04

Civil Engineering & Land Surv.

SOUTH BRANCH BUSINESS PARK PLAT 2
SE 42ND STREET AND ARMY POST ROAD

COVER SHEET

REFERENCE NUMBER:
190562

DRAWN BY:
BK

CHECKED BY:
DB

REVISION DATE:
08/11/2023 CHECK
09/06/2023 CHECK
09/15/2023 CITY
10/17/2023 CITY
11/10/2023 CITY

PROJECT NUMBER:
190562-2

SHEET NUMBER:

C0.1

SOUTH BRANCH BUSINESS PARK SITE SURVEY

PROPERTY DESCRIPTION:
LOT 2, SOUTH BRANCH BUSINESS PARK, AN OFFICIAL PLAT IN THE CITY OF WEST DES MOINES, POLK COUNTY, IOWA
SUBJECT TO AND TOGETHER WITH ANY AND ALL EASEMENTS AND RESTRICTIONS OF RECORD.
SAID TRACT CONTAINS 29.63 ACRES (1,290,741 SQUARE FEET) MORE OR LESS

ADDRESS:
4350 ARMY POST ROAD

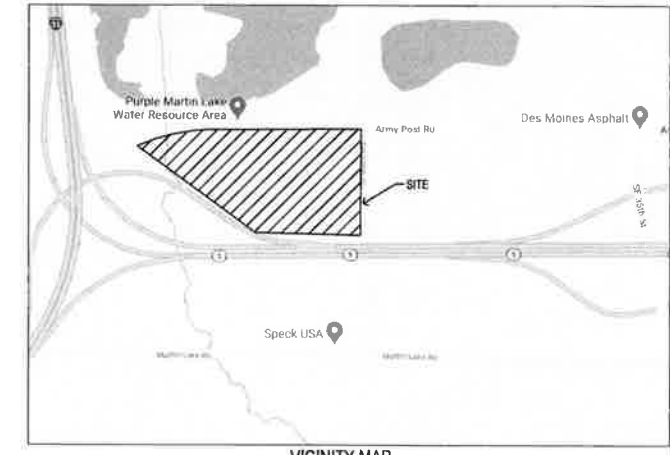
OWNER:
SBBP JV21 LLC
12591 UNIVERSITY AVENUE, SUITE 2000
CLIVE, IOWA 50325

PREPARED FOR:
DAN CARLSON, WB REALTY CO.
12591 UNIVERSITY AVENUE, SUITE 2000
CLIVE, IOWA 50325
515-601-2520
ZONING:
PUD WITH UNDERLYING BUSINESS PARK

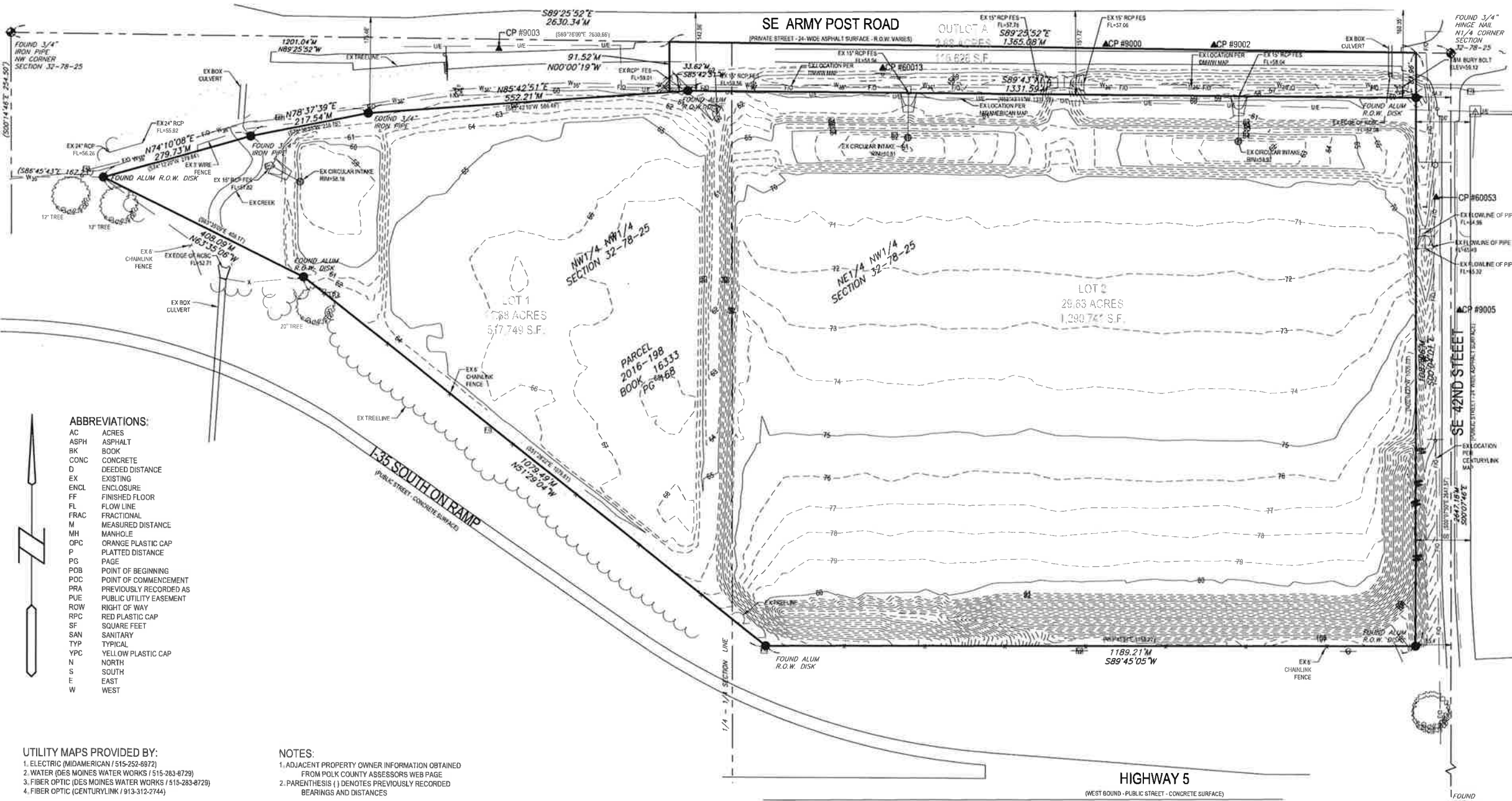
COMPREHENSIVE PLAN:
IL INDUSTRIAL LOW

CITY BENCHMARKS:
CITY OF WEST DES MOINES BM# 101
STANDARD BENCHMARK MONUMENT, 1,584± FEET WEST OF INTERSECTION OF SOUTH 11TH STREET AND ARMY POST ROAD, 54.5 FEET NORTH OF THE CENTERLINE OF ARMY POST ROAD
ELEV = 172.02 WDM DATUM
CITY OF WEST DES MOINES BM# 103
STANDARD BENCHMARK MONUMENT, INTERSECTION OF ARMY POST ROAD AND S. 42ND STREET, NE OF INTERSECTION, 322 FEET NORTH OF THE CENTERLINE OF ARMY POST ROAD, 32 FEET EAST OF THE CENTERLINE OF S. 42ND STREET
ELEV = 54.98 WDM DATUM

SITE CONTROL AND BENCHMARKS:
BASIS OF BEARING OBTAINED FROM GPS OBSERVATIONS
DATUM = NAD 83, IOWA SOUTH
BENCHMARK DATUM = CITY WEST DES MOINES DATUM
POINT # 9000
NORTHING = 556311.12
EASTING = 1568318.46
ELEVATION = 60.77
DESCRIPTION: SET 3/4" IRON PIPE W/ RPC
POINT # 9002
NORTHING = 556310.87
EASTING = 1568517.47
ELEVATION = 61.50
DESCRIPTION: FOUND 1/2" IRON ROD W/ BLUE V&K CONTROL CAP
POINT # 9003
NORTHING = 556297.71
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ELEVATION = 63.48
DESCRIPTION: SET 3/4" IRON PIPE W/ RPC
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NORTHING = 556310.26
EASTING = 1568068.11
ELEVATION = 63.62
DESCRIPTION: SET 3/4" IRON PIPE W/ RPC
POINT # 9005
NORTHING = 555827.31
EASTING = 1568987.58
ELEVATION = 73.34
DESCRIPTION: SET 3/4" IRON PIPE W/ RPC
POINT # 80013
NORTHING = 556265.78
EASTING = 1567911.37
ELEVATION = 61.76
DESCRIPTION: FOUND 1/2" IRON ROD W/ BLUE V&K CONTROL CAP
POINT # 80053
NORTHING = 556033.98
EASTING = 1568924.28
ELEVATION = 67.07
DESCRIPTION: FOUND 1/2" IRON ROD W/ BLU V&K CONTROL CAP



VICINITY MAP
SCALE: 1" = 1,000'



- LEGEND:**
- SAN — SANITARY SEWER
 - ST — STORM SEWER
 - W — WATER LINE
 - G — GAS LINE
 - UE — UNDERGROUND ELECTRIC
 - OE — OVERHEAD ELECTRIC
 - TELE — TELEPHONE LINE
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 - ⊕ STORM MANHOLE
 - ⊕ CURB INTAKE
 - ⊕ SURFACE INTAKE
 - ⊕ FLARED END SECTION
 - ⊕ SANITARY MANHOLE
 - ⊕ CLEANOUT
 - ⊕ FIRE HYDRANT
 - ⊕ SPRINKLER
 - ⊕ IRRIGATION CONTROL VALVE
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 - ⊕ WELL
 - ⊕ WATER VALVE
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 - ⊕ ELECTRIC HANDHOLE
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 - ⊕ FIBER OPTIC RISER
 - ⊕ FIBER OPTIC FAULT
 - ⊕ CABLE TV RISER
 - ⊕ SIGN
 - BOLLARDS
 - ⊕ DENOTES NUMBER OF PARKING STALLS
 - ⊕ PROPERTY CORNER - FOUND AS NOTED
 - ⊕ PROPERTY CORNER - PLACED 3/4" IRON PIPE WITH YELLOW PLASTIC CAP ID # 14775 OR AS NOTED
 - ⊕ SECTION CORNER - FOUND AS NOTED
 - ▲ SITE CONTROL POINT - MONUMENT AS NOTED

- ABBREVIATIONS:**
- AC ACRES
 - ASPH ASPHALT
 - BK BOOK
 - CONC CONCRETE
 - D DEEDED DISTANCE
 - EX EXISTING
 - ENCL ENCLOSURE
 - FF FINISHED FLOOR
 - FL FLOW LINE
 - FRAC FRACTIONAL
 - M MEASURED DISTANCE
 - MH MANHOLE
 - OPC ORANGE PLASTIC CAP
 - P PLATTED DISTANCE
 - PG PAGE
 - POB POINT OF BEGINNING
 - POC POINT OF COMMENCEMENT
 - PRA PREVIOUSLY RECORDED AS
 - PUE PUBLIC UTILITY EASEMENT
 - ROW RIGHT OF WAY
 - RPC RED PLASTIC CAP
 - SF SQUARE FEET
 - SAN SANITARY
 - TYP TYPICAL
 - YPC YELLOW PLASTIC CAP
 - N NORTH
 - S SOUTH
 - E EAST
 - W WEST

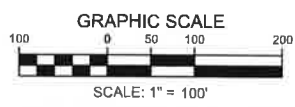
- UTILITY MAPS PROVIDED BY:**
- ELECTRIC (MIDAMERICAN) / 515-252-8972
 - WATER (DES MOINES WATER WORKS) / 515-283-8729
 - FIBER OPTIC (DES MOINES WATER WORKS) / 515-283-8729
 - FIBER OPTIC (CENTURYLINK) / 913-312-2744

- NOTES:**
- ADJACENT PROPERTY OWNER INFORMATION OBTAINED FROM POLK COUNTY ASSESSORS WEB PAGE
 - PARENTS (THIS 1) DENOTES PREVIOUSLY RECORDED BEARINGS AND DISTANCES

UTILITY NOTE:
THE LOCATION OF THE UTILITIES INDICATED ON THE PLANS HAVE BEEN TAKEN FROM THE FIELD SURVEY, EXISTING PUBLIC RECORDS, AND PLANS PROVIDED BY OTHERS. SURFACE UTILITY LOCATIONS HAVE BEEN FIELD LOCATED BY BISHOP ENGINEERING, UNLESS OTHERWISE NOTED. ALL UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE LOCATIONS ONLY. BISHOP ENGINEERING DOES NOT GUARANTEE THE UNDERGROUND LOCATION OF ANY UTILITIES SHOWN. IT SHALL BE THE DUTY OF THE CONTRACTOR TO DETERMINE THE LOCATION AND DEPTH OF ANY UNDERGROUND UTILITIES SHOWN AND IF ANY ADDITIONAL UTILITIES, OTHER THAN THOSE SHOWN ON THE PLANS, MAY BE PRESENT, A REQUEST WAS MADE TO IOWA ONE CALL FOR UTILITY PROVIDERS TO VERIFY, LOCATE, AND MARK THEIR UTILITIES IN THE FIELD.



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ORIGINAL FIELD WORK COMPLETED ON: 12-5-2020
AS-BUILT FIELD WORK FOR OVERALL GRADING COMPLETED ON: 01-25-2023

SOUTH BRANCH BUSINESS PARK PLAT 2
SE 42ND STREET AND ARMY POST ROAD
SITE SURVEY

REFERENCE NUMBER:	190562
DRAWN BY:	BK
CHECKED BY:	DB
REVISION DATE:	08/11/2023 CHECK
	09/06/2023 CHECK
	09/15/2023 CITY
	10/17/2023 CITY
	11/10/2023 CITY
PROJECT NUMBER:	190562-2
SHEET NUMBER:	C1.1

Bishop Engineering
"Planning Your Successful Development"
3501 104th Street
Des Moines, Iowa 50322-3625
Phone: (515) 276-0467 Fax: (515) 276-0417
Civil Engineering & Land Surveying
Established 1959

11/10/2023 7:55:46 AM MILAND PROJECTS 2019190562-2 - LOT 2 SOUTH BRANCH BUSINESS PARK DWG SITE SURVEY.DWG

PRELIMINARY - NOT FOR CONSTRUCTION

SOUTH BRANCH BUSINESS PARK PLAT 2 PRELIMINARY PLAT

PROPERTY DESCRIPTION:
LOT 2, SOUTH BRANCH BUSINESS PARK, AN OFFICIAL PLAT IN THE CITY OF WEST DES MOINES, POLK COUNTY, IOWA
SUBJECT TO AND TOGETHER WITH ANY AND ALL EASEMENTS AND RESTRICTIONS OF RECORD.
SAID TRACT CONTAINS 28.63 ACRES (1,290,741 SQUARE FEET) MORE OR LESS

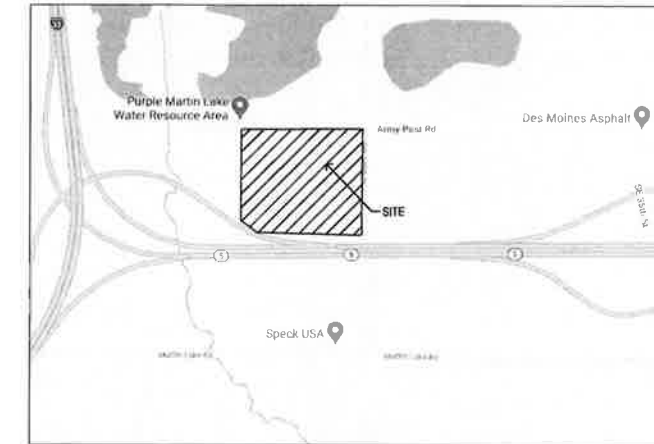
ADDRESS:
4350 ARMY POST ROAD
OWNER:
SBPP JV21 LLC
12591 UNIVERSITY AVENUE, SUITE 2000
CLIVE, IOWA 50325

PREPARED FOR:
DAN CARLSON, WB REALTY CO.
12591 UNIVERSITY AVENUE, SUITE 2000
CLIVE, IOWA 50325
ZONING:
PUD WITH UNDERLYING BUSINESS PARK

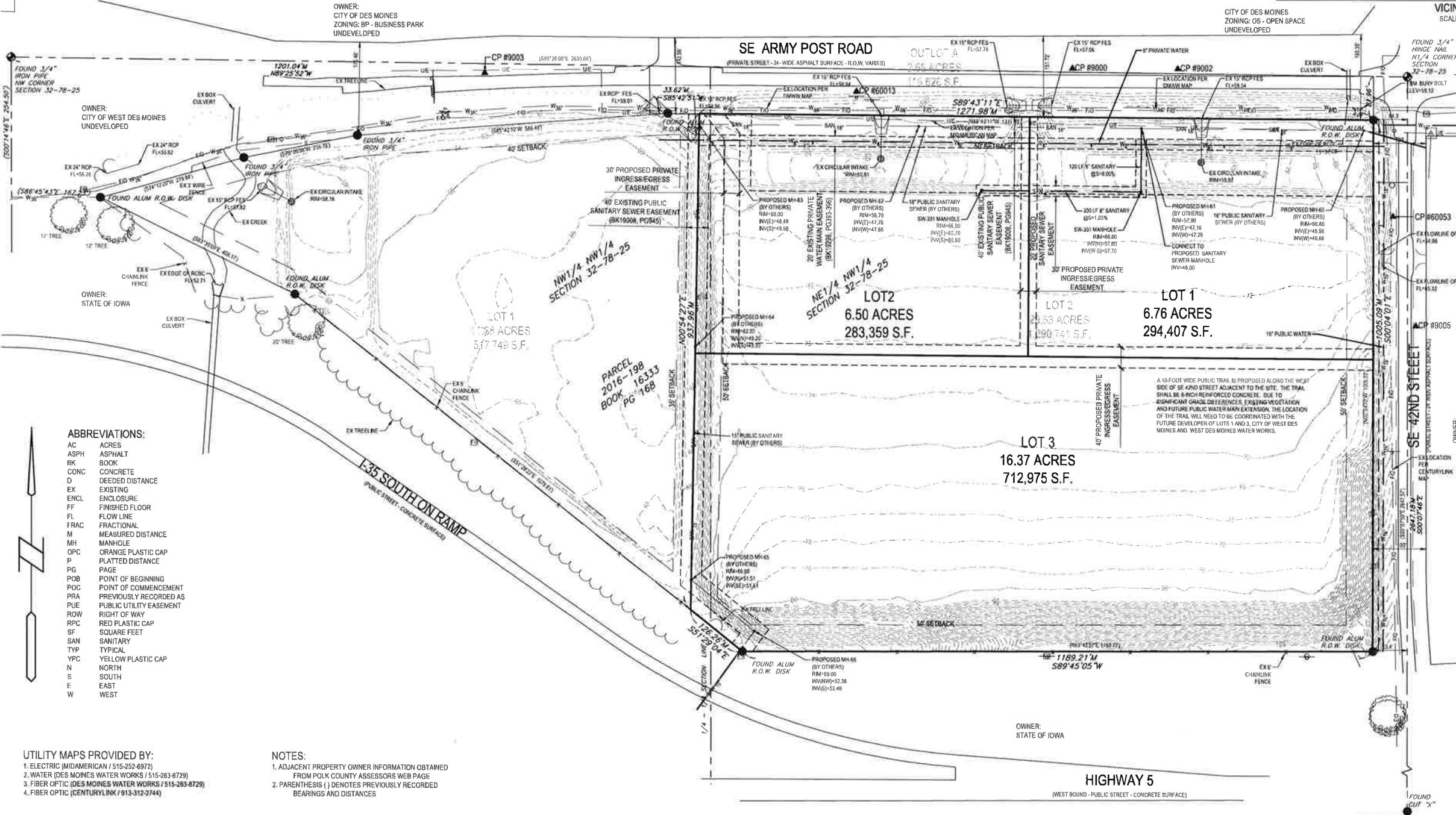
COMPREHENSIVE PLAN:
IL INDUSTRIAL LOW

BULK REGULATIONS:
SETBACKS
FRONT: ARMY POST ROAD (NORTH) = 50 FEET
FRONT: SE 42ND STREET (EAST) = 50 FEET
REAR: HIGHWAY 5 (SOUTH) = 50 FEET
SIDE: WEST = 50 FEET

CITY BENCHMARKS:
CITY OF WEST DES MOINES BMM 101
STANDARD BENCHMARK MONUMENT, 1.584± FEET
WEST OF INTERSECTION OF SOUTH 11TH STREET
AND ARMY POST ROAD, 54.5 FEET NORTH OF THE
CENTERLINE OF ARMY POST ROAD
ELEV = 172.02 WDM DATUM
CITY OF WEST DES MOINES BMM 103
STANDARD BENCHMARK MONUMENT, INTERSECTION
OF ARMY POST ROAD AND S. 42ND STREET, NE OF
INTERSECTION, 322 FEET NORTH OF THE CENTERLINE
OF ARMY POST ROAD, 32 FEET EAST OF THE
CENTERLINE OF S. 42ND STREET
ELEV = 54.98 WDM DATUM



VICINITY MAP
SCALE: 1" = 1,000'



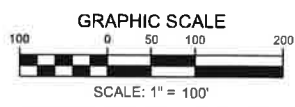
- LEGEND:**
- SAN - SANITARY SEWER
 - ST - STORM SEWER
 - W - WATER LINE
 - G - GAS LINE
 - UE - UNDERGROUND ELECTRIC
 - OE - OVERHEAD ELECTRIC
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 - FIO - FIBER OPTIC
 - CATV - CABLE TV
 - SM - STORM MANHOLE
 - CI - CURB INTAKE
 - SI - SURFACE INTAKE
 - FES - FLARED END SECTION
 - SMH - SANITARY MANHOLE
 - CN - CLEANOUT
 - FH - FIRE HYDRANT
 - SP - SPRINKLER
 - ICV - IRRIGATION CONTROL VALVE
 - WM - WATER MANHOLE
 - W - WELL
 - WV - WATER VALVE
 - WGO - WATER SHUT OFF
 - YH - YARD HYDRANT
 - EMH - ELECTRIC MANHOLE
 - EM - ELECTRIC METER
 - ER - ELECTRIC RISER
 - EV - ELECTRIC VAULT
 - PP - POWER POLE
 - TP - TRANSFORMER POLE
 - LP - LIGHT POLE
 - EJ - ELECTRIC JUNCTION BOX
 - EP - ELECTRIC PANEL
 - TR - TRANSFORMER
 - GL - GROUND LIGHT
 - GW - GUY WIRE
 - EH - ELECTRIC HANDHOLE
 - GM - GAS METER
 - GV - GAS VALVE
 - ACU - AIR CONDITIONING UNIT
 - TRR - TELEPHONE RISER
 - TV - TELEPHONE VAULT
 - TMH - TELEPHONE MANHOLE
 - TSMH - TRAFFIC SIGNAL MANHOLE
 - FOMH - FIBER OPTIC MANHOLE
 - FOR - FIBER OPTIC RISER
 - FOF - FIBER OPTIC FAULT
 - CTR - CABLE TV RISER
 - S - SIGN
 - B - BOLLARDS
 - PS - DENOTES NUMBER OF PARKING STALLS
 - PC - PROPERTY CORNER - FOUND AS NOTED
 - PO - PROPERTY CORNER - PLACED 3/4" IRON PIPE WITH YELLOW PLASTIC CAP ID # 14775 OR AS NOTED
 - SC - SECTION CORNER - FOUND AS NOTED
 - SCP - SITE CONTROL POINT - MONUMENT AS NOTED

- ABBREVIATIONS:**
- AC - ACRES
 - ASPH - ASPHALT
 - BK - BOOK
 - CONC - CONCRETE
 - D - DEEDED DISTANCE
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 - P - PLATTED DISTANCE
 - PG - PAGE
 - POB - POINT OF BEGINNING
 - POC - POINT OF COMMENCEMENT
 - PRA - PREVIOUSLY RECORDED AS
 - PUE - PUBLIC UTILITY EASEMENT
 - ROW - RIGHT OF WAY
 - RPC - RED PLASTIC CAP
 - SF - SQUARE FEET
 - SAN - SANITARY
 - TYP - TYPICAL
 - YPC - YELLOW PLASTIC CAP
 - N - NORTH
 - S - SOUTH
 - E - EAST
 - W - WEST

- UTILITY MAPS PROVIDED BY:**
- ELECTRIC (IWD/AMERICAN / 515-252-6972)
 - WATER (DES MOINES WATER WORKS / 515-283-8729)
 - FIBER OPTIC (DES MOINES WATER WORKS / 515-283-8729)
 - FIBER OPTIC (CENTURYLINK / 913-312-2744)

- NOTES:**
- ADJACENT PROPERTY OWNER INFORMATION OBTAINED FROM POLK COUNTY ASSESSORS WEB PAGE
 - PARENTHESES () DENOTES PREVIOUSLY RECORDED BEARINGS AND DISTANCES

UTILITY NOTE:
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ORIGINAL FIELD WORK COMPLETED ON: 12-5-2020
AS-BUILT FIELD WORK FOR OVERALL GRADING COMPLETED ON: 01-25-2023

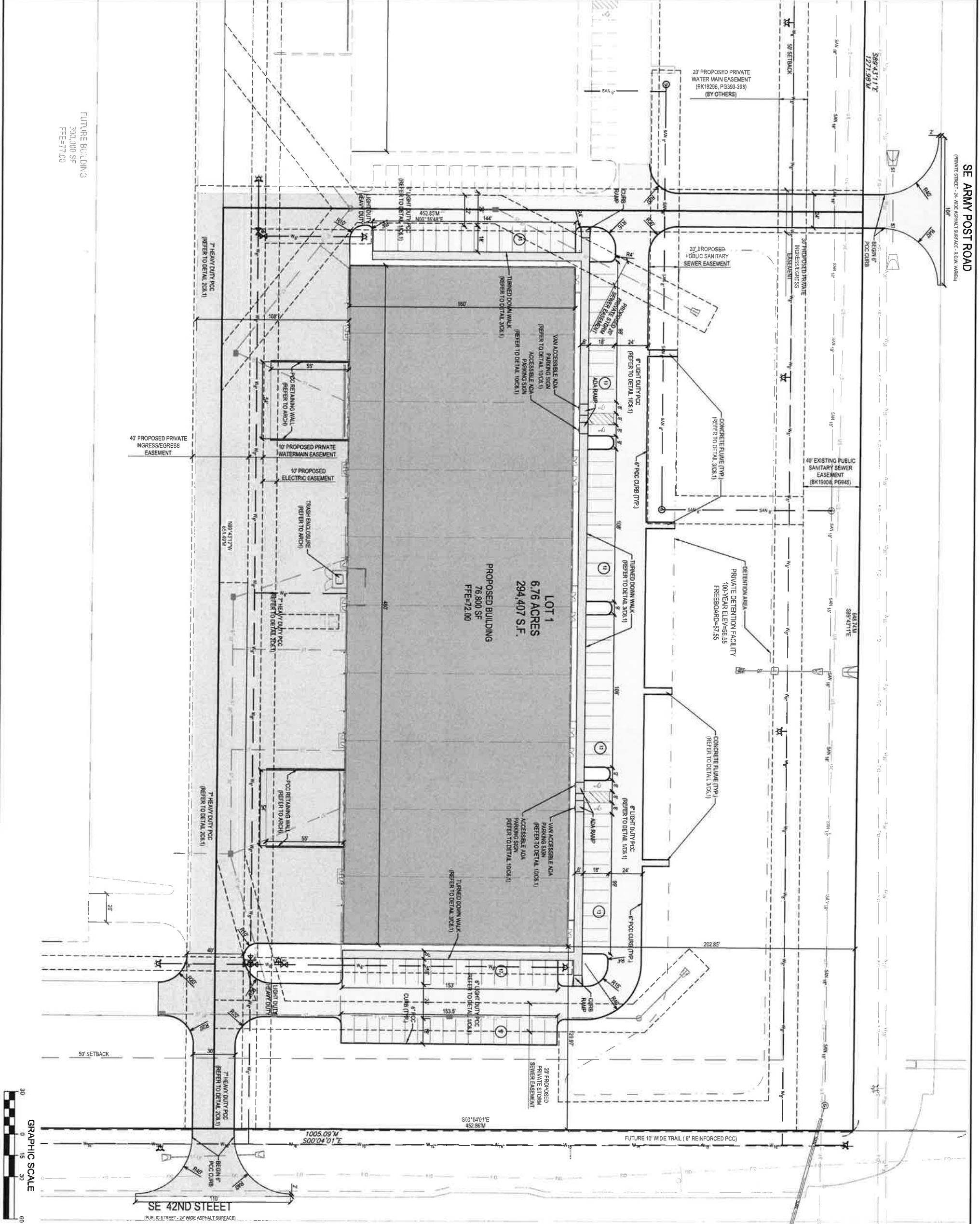
Bishop Engineering
"Planning Your Successful Development"
3501 104th Street
Des Moines, Iowa 50322-3825
Phone: (515)276-0467 Fax: (515)276-0317
Civil Engineering & Land Surveying
Established 1959

SOUTH BRANCH BUSINESS PARK PLAT 2
SE 42ND STREET AND ARMY POST ROAD
PRELIMINARY PLAT

REFERENCE NUMBER:
190562
DRAWN BY:
BK
CHECKED BY:
DB
REVISION DATE:
08/11/2023 CHECK
09/06/2023 CHECK
09/15/2023 CITY
10/17/2023 CITY
11/10/2023 CITY
PROJECT NUMBER:
190562-2
SHEET NUMBER:
C1.2

PRELIMINARY- NOT FOR CONSTRUCTION

11/10/2023 10:46:29 AM M:\LAND PROJECTS 2019\190562-2 - LOT 2 SOUTH BRANCH BUSINESS PARK\DWG12 LAYOUT.DWG



300,000 SF
FFE=77.00

FUTURE BUILDING

7" HEAVY DUTY PCC (REFER TO DETAIL 203.1)

6" LIGHT DUTY PCC (REFER TO DETAIL 1003.1)

6" PCC CURB (TYP.)

CONCRETE FILLUM (TYP.) (REFER TO DETAIL 303.1)

ORIENTATION AREA PRIVATE DETENTION FACILITY 100-YEAR ELEV=66.55 FREEBOARD=67.55

TURNED DOWN WALK (REFER TO DETAIL 303.1)

VAN ACCESSIBLE ADA PARKING SIGN ACCESSIBLE ADA PARKING SIGN (REFER TO DETAIL 1003.1)

TRASH ENCLOSURE (REFER TO ARCH)

PCC RETAINING WALL (REFER TO ARCH)

500'04'01"E 452.85M

1005.09'W 500'04'01"E

50' SETBACK

GRAPHIC SCALE

30 0 15 30 60

SE 42ND STREET

(PUBLIC STREET - 24' WIDE ASPHALT SURFACE)

PROJECT NUMBER: 190562-2	DATE: 08/09/2023
SHEET NUMBER: C2.1	CHECKED BY: DB
	DESIGNED BY: BK
	DATE: 08/09/2023
	CHECKED BY: DB
	DATE: 09/15/2023
	CITY: 11/10/2023

SOUTH BRANCH BUSINESS PARK PLAT 2
SE 42ND STREET AND ARMY POST ROAD

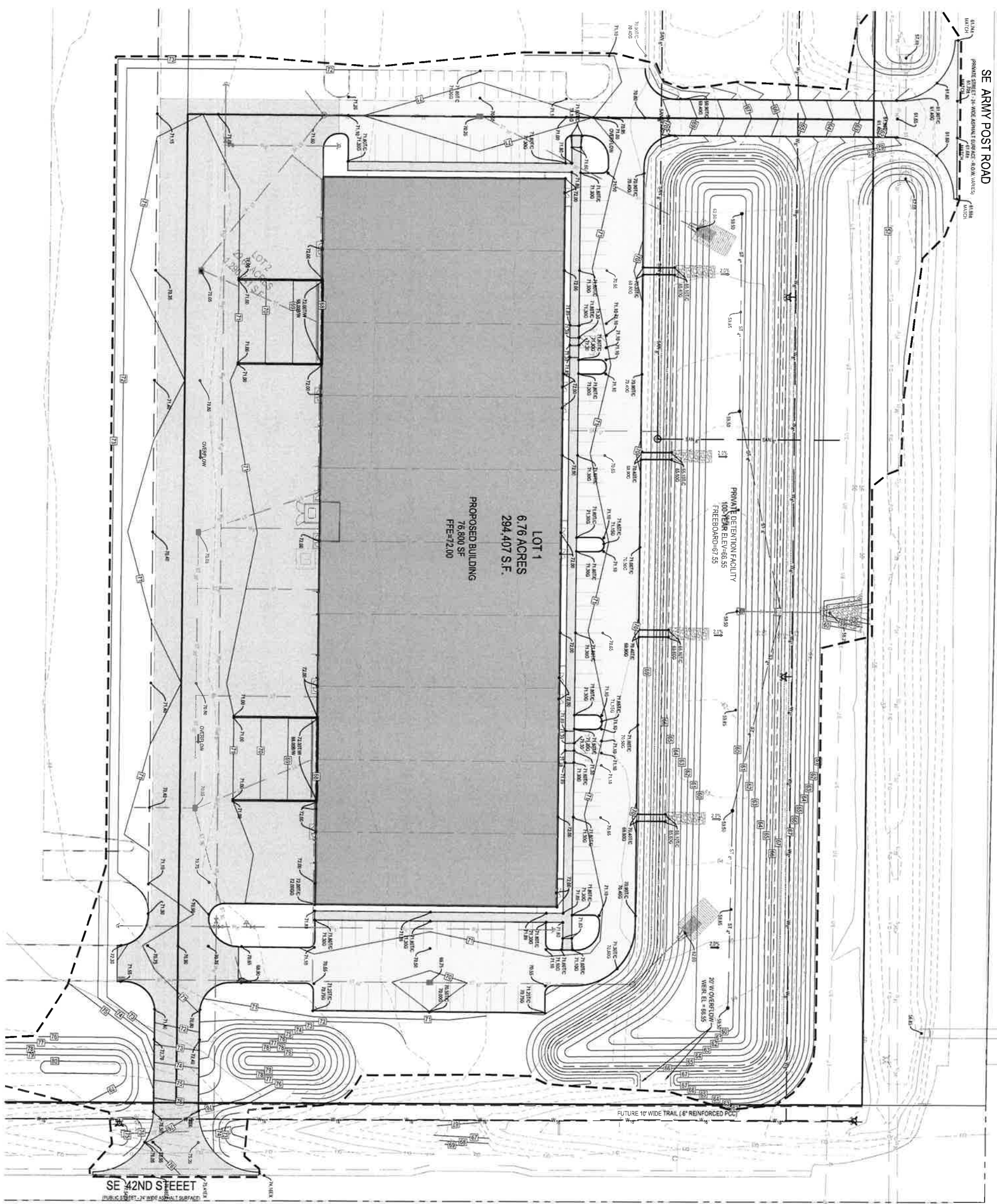
LAYOUT PLAN - LOT 1

Bishop Engineering
 "Planning Your Successful Development"

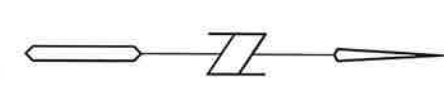
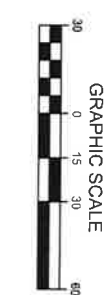
3501 104th Street
 Des Moines, Iowa 50322-3825
 Phone: (515)276-0467 Fax: (515)276-0217
 Civil Engineering & Land Surveying Established 1959

PRELIMINARY - NOT FOR CONSTRUCTION

11/10/2023 10:25:57 AM M:\LAND PROJECTS 2019\190562-2 - LOT 2 SOUTH BRANCH BUSINESS PARK\DWG\3 GRADING.DWG



LOT 1
6.76 ACRES
294,407 S.F.
PROPOSED BUILDING
76,800 SF
FEE=12.00



- TOPSOIL NOTES:**
1. STRIP AND STOCKPILE THE TOP 6" OF SOIL ON ALL DISTURBED AREAS
 2. RESEED TOPSOIL TO A MINIMUM DEPTH OF 6" DUAL GREEN (NON PAVED AREAS) IMPORT TOPSOIL AS NECESSARY TO ACHIEVE A MINIMUM DEPTH OF 6"
 3. TOPSOIL SHALL BE FREE OF ALL ROCK AND DEBRIS LARGER THAN 3/4" IN SIZE
 4. TOPSOIL IS DEFINED AS FERTILE, FRABLE LOAM, CAPABLE OF SUSTAINING TOPOGRAPHS PLANT GROWTH FROM WELL DRAINAGE SITE REASONABLY FREE FROM SIBSON, CLAY LUMPS, ROOTS, GRASS WEEDS, STONES LARGER THAN 3/4" IN DIAMETER, AND OTHERS' MATTER, ACIDITY RANGE (PH) OF 5.5 TO 7.5, CONTAINING MINIMUM 4 PERCENT AND MAXIMUM 20 PERCENT ORGANIC MATTER.
 5. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ALL TOPSOIL REQUIREMENTS OF MPDS GENERAL PERMIT NO. 2 ARE MET.

- GRADING LEGEND:**
- 150' --- EXISTING CONTOUR
 - 150' --- PROPOSED CONTOUR
 - 150' --- FINISHED GROUND ELEVATION
 - 150' --- TOP OF CURB ELEVATION
 - 150' --- GUTTER ELEVATION
 - 150' --- TOP OF WALL ELEVATION
 - 150' --- BOTTOM OF WALL ELEVATION
 - 150' --- EDGE OF WALK ELEVATION
 - 150' --- TOP OF STAR ELEVATION
 - 150' --- BOTTOM OF STAR ELEVATION
- NOTE: WALL ELEVATIONS SHOWN ON PLAN ARE FINISHED GROUND GRADIES AT THE TOP AND BOTTOM OF THE WALL.

SOUTH BRANCH BUSINESS PARK PLAT 2 SE 42ND STREET AND ARMY POST ROAD

GRADING PLAN - LOT 1

Bishop Engineering
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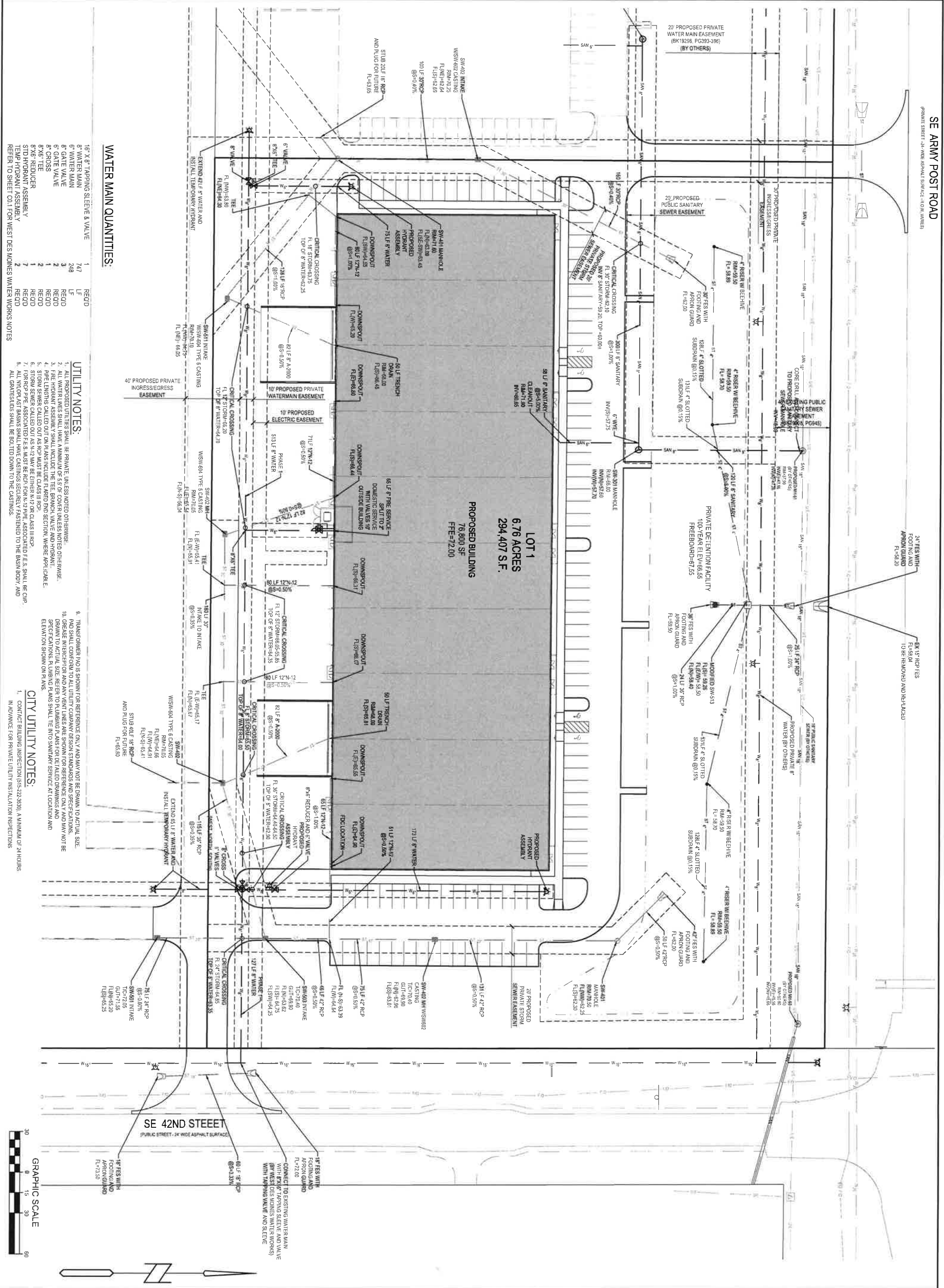
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PROJECT NUMBER: 190562-2	REVISION DATE: 08/11/2023 CHECK 09/08/2023 CHECK 09/15/2023 CITY 11/10/2023 CITY
SHEET NUMBER: C3.1	DRAWN BY: BR
	CHECKED BY: DB
	REFERENCE NUMBER: 190562

PRELIMINARY- NOT FOR CONSTRUCTION

11/10/2023 11:20:27 AM MILAND PROJECTS 2019190562-2 - LOT 2 SOUTH BRANCH BUSINESS PARK DWG14 UTILITY.DWG



WATER MAIN QUANTITIES:

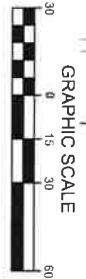
16" X 8" TAPPING SLEEVE & VALVE	1	REQ'D
6" WATER MAIN	747	LF
6" WATER MAIN	248	REQ'D
6" GATE VALVE	2	REQ'D
6" GATE VALVE	2	REQ'D
6" CROSS	2	REQ'D
8" X 6" TEE	2	REQ'D
8" X 6" REDUCER	2	REQ'D
STD HYDRANT ASSEMBLY	2	REQ'D
TEMP HYDRANT ASSEMBLY	2	REQ'D
REFER TO SHEET C01.1 FOR WEST DES MOINES WATER WORKS NOTES		

UTILITY NOTES:

1. ALL PROPOSED UTILITIES SHALL BE PRIVATE UNLESS NOTED OTHERWISE.
2. ALL WATER LINES SHALL HAVE A MINIMUM OF 5' OF COVER UNLESS NOTED OTHERWISE.
3. FIRE HYDRANT ASSEMBLY SHALL INCLUDE THE TEE BRANCH, VALVE AND HYDRANT.
4. PIPE LENGTHS CALLED OUT ON PLANS INCLUDE THE FLARED END SECTION, WHERE APPLICABLE.
5. STORM SEWERS CALLED OUT AS RCP MUST BE CLASS III RCP.
6. STORM SEWERS CALLED OUT AS N-12 MAY BE EITHER N-12 OR CLASS III RCP.
7. FOR RCP PIPE ASSIGNED FE.S, THE RCP FOR N-12 PIPE, ASSOCIATED FE.S SHALL BE COMP.
8. ALL GRADES SHALL BE ROUNDED DOWN TO THE GROUNDS.
9. TRANSFORMER PAD IS SHOWN FOR REFERENCE ONLY AND MAY NOT BE DRAWN TO ACTUAL SIZE.
10. GRADE SHALL CONFORM TO ALL UTILITY COMPANY DESIGN STANDARDS AND SPECIFICATIONS.
11. ALL UTILITIES SHALL BE SHOWN FOR REFERENCE ONLY AND MAY NOT BE DRAWN TO ACTUAL SIZE.
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CITY UTILITY NOTES:

1. CONTRACT BUILDING INSPECTION (915-222-3530), A MINIMUM OF 24 HOURS IN ADVANCE FOR PRIVATE UTILITY INSTALLATION INSPECTIONS.



<p>PROJECT NUMBER: 190562-2</p> <p>SHEET NUMBER: C4.1</p>	<p>SOUTH BRANCH BUSINESS PARK PLAT 2 SE 42ND STREET AND ARMY POST ROAD</p> <p>UTILITY PLAN - LOT 1</p>	<p>Bishop Engineering "Planning Your Successful Development"</p> <p>3501 104th Street Des Moines, Iowa 50322-3825 Phone: (515)276-0467 Fax: (515)276-0217 Civil Engineering & Land Surveying Established 1959</p>
<p>REVISION DATE: 08/11/2023 CHECK 09/06/2023 CITY 09/15/2023 CITY 10/17/2023 CITY 11/10/2023 CITY</p> <p>CHECKED BY: DB</p> <p>DESIGN BY: BK</p> <p>REFERENCE NUMBER: 190562</p>		

PRELIMINARY - NOT FOR CONSTRUCTION

LANDSCAPE NOTES:

- ALL SODDING/SEEDING & LANDSCAPE PLANTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE URBAN STANDARD SPECIFICATIONS, UNLESS SPECIFIED OTHERWISE.
- SOD/SEED ALL DISTURBED AREAS WITHIN THE CONTRACT LIMITS, UNLESS NOTED OTHERWISE. SOD/SEED LIMITS SHOWN ON PLAN ARE FOR REFERENCE ONLY. FINAL LIMITS MAY CHANGE BASED ON CONSTRUCTION ACTIVITIES.
- STAKE SOD ON ALL SLOPES 3:1 OR GREATER.
- PLANT QUANTITIES ARE FOR CONTRACTORS CONVENIENCE, THE DRAWING SHALL PREVAIL IF A CONFLICT OCCURS.
- ALL PLANT MATERIAL SHALL CONFORM TO THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1).
- CONTRACTOR SHALL WARRANTY ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR FROM THE DATE OF INITIAL ACCEPTANCE.
- FOR WARRANTY PURPOSES, THE DATE OF INITIAL ACCEPTANCE SHALL BE SUBMITTED IN WRITING TO THE OWNER AND/OR OWNER'S REPRESENTATIVE AFTER ALL PLANT MATERIALS HAVE BEEN INSTALLED AND REVIEWED BY OWNER OR OWNER'S REPRESENTATIVE. PLANT MATERIALS WILL ONLY BE ACCEPTED IF THEY ARE IN AN ALIVE AND THRIVING CONDITION.
- CONDITIONAL ACCEPTANCE OF PLANT MATERIAL MAY BE GIVEN FOR PLANTS INSTALLED IN A DORMANT CONDITION WITH INITIAL ACCEPTANCE OCCURRING THE FOLLOWING SPRING ONCE THEY ARE SHOWN TO BE ALIVE AND THRIVING.
- IT IS THE CONTRACTORS RESPONSIBILITY TO REMOVE IDENTIFICATION TAGS AND CORDS ON ALL PLANT MATERIAL PRIOR TO THE COMPLETION OF THE CONTRACT. IDENTIFICATION TAGS (INCLUDING SIZING INFORMATION) MUST BE LEFT ON UNTIL AFTER ACCEPTANCE BY OWNER OR OWNER'S REPRESENTATIVE.
- CONTRACTOR SHALL PLACE SHREDDED HARDWOOD MULCH AROUND ALL TREES, SHRUBS AND GROUND COVER BEDS TO A DEPTH OF 4 INCHES, UNLESS NOTED.
- STAKING AND GUYING OF TREES SHALL BE AT THE DISCRETION OF THE CONTRACTOR BASED ON CURRENT ACCEPTED NURSERY STANDARDS. GENERALLY, TREES IN LARGE OPEN AREAS SUBJECT TO SIGNIFICANT WIND SHALL BE STAKED. STAKE AND WRAP TREES IMMEDIATELY AFTER PLANTING. CONTRACTOR SHALL ADJUST AND MAINTAIN GUYING TENSION THROUGHOUT THE PLANT ESTABLISHMENT PERIOD. REMOVE ALL STAKES AND GUY WIRES NO MORE THAN ONE YEAR AFTER INSTALLATION.
- THE LANDSCAPING CONTRACTOR SHALL HAVE ALL UTILITIES LOCATED BEFORE STARTING ANY SITE WORK OR PLANTING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES.
- NO LANDSCAPE MATERIAL SHALL BE SUBSTITUTED WITHOUT THE AUTHORIZATION OF THE LANDSCAPE ARCHITECT.
- ALL EDGING SHALL BE DURAEDEGE 3/16" STEEL EDGING - COLOR BLACK, OR APPROVED EQUAL.
- CONTRACTOR SHALL BE RESPONSIBLE MAINTAINING APPROPRIATE LEVEL OF WATERING FOR ALL NEW PLANTS FOR A PERIOD OF 30 DAYS.
- ALL SHRUB AND PERENNIAL PLANTING BEDS SHALL BE MULCHED WITH 4" THICK SHREDDED HARDWOOD MULCH.
- ALL SHRUB AND PERENNIAL PLANTING BEDS SHALL INCORPORATE TYPAR 3301 NONWOVEN LANDSCAPE FABRIC (OR SIMILAR) AND 3" THICK LAYER OF WASHED RIVER ROCK (1.5" NOMINAL SIZE).
- ALL BEDS TO RECEIVE GRANULAR PRE-EMERGENT WEED CONTROL BEFORE AND AFTER MULCH/ROCK IS INSTALLED.

FUTURE EMERGENCY ACCESS CONNECTION TO BE COORDINATED WITH THE DEVELOPMENT IMPROVEMENTS FOR LOT 1, SOUTH BRANCH BUSINESS PARK AT THE TIME OF LOT 1 OR LOT 2 & LOT 3 PLAT 2 DEVELOPMENT

PLANTING SCHEDULE - OVERALL

COORD	QUAN	COMMON NAME	LATIN NAME	OVERSTORY TREES	SIZE	ROOT	NOTES
01	4	MULTI-SPECIES MIX	VARIOUS SPECIES	27" CA	180"	180"	SEE SPECIFICATIONS
02	30	SPRING BURNING BUSH	SPRING BURNING BUSH	27" CA	180"	180"	SEE SPECIFICATIONS
03	10	RED TWIG DOGWOOD	RED TWIG DOGWOOD	27" CA	180"	180"	SEE SPECIFICATIONS
04	1	DOGWOOD	DOGWOOD	27" CA	180"	180"	SEE SPECIFICATIONS
05	1	DOGWOOD	DOGWOOD	27" CA	180"	180"	SEE SPECIFICATIONS
06	1	DOGWOOD	DOGWOOD	27" CA	180"	180"	SEE SPECIFICATIONS
07	1	DOGWOOD	DOGWOOD	27" CA	180"	180"	SEE SPECIFICATIONS
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09	1	DOGWOOD	DOGWOOD	27" CA	180"	180"	SEE SPECIFICATIONS
10	1	DOGWOOD	DOGWOOD	27" CA	180"	180"	SEE SPECIFICATIONS
11	1	DOGWOOD	DOGWOOD	27" CA	180"	180"	SEE SPECIFICATIONS
12	1	DOGWOOD	DOGWOOD	27" CA	180"	180"	SEE SPECIFICATIONS
13	1	DOGWOOD	DOGWOOD	27" CA	180"	180"	SEE SPECIFICATIONS
14	1	DOGWOOD	DOGWOOD	27" CA	180"	180"	SEE SPECIFICATIONS
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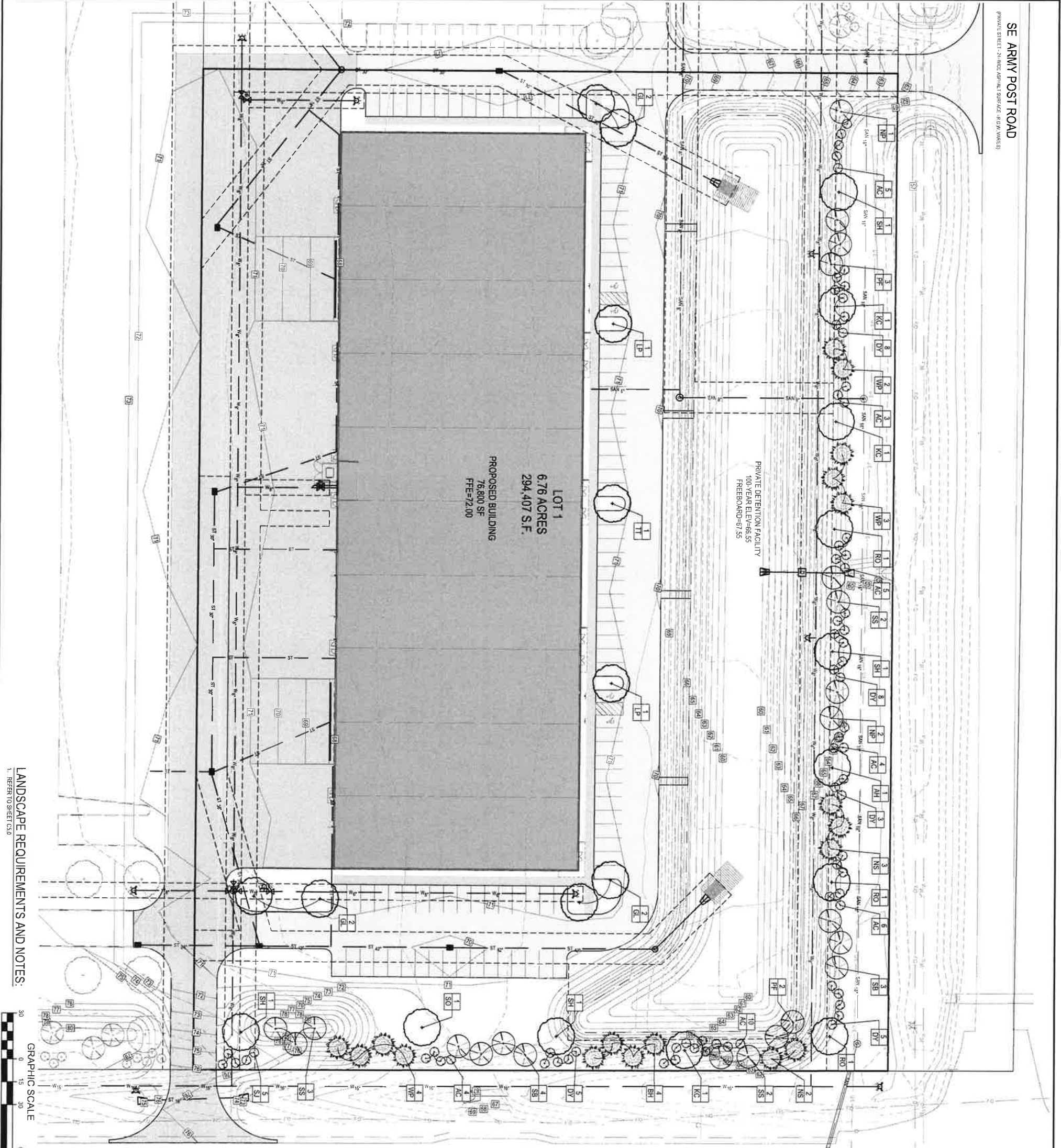
PLANTING SCHEDULE - LOT 1

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45	1	DOGWOOD	DOGWOOD	27" CA	180"	180"	SEE SPECIFICATIONS
46	1	DOGWOOD					

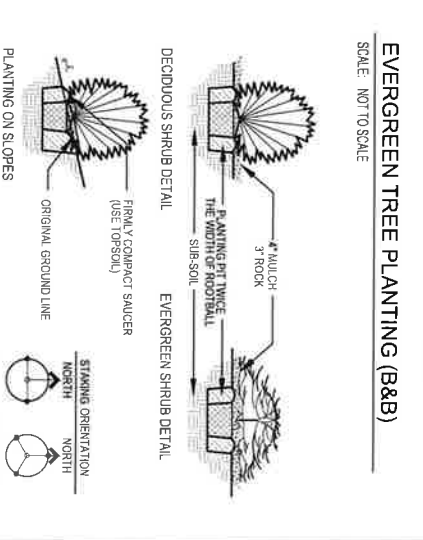
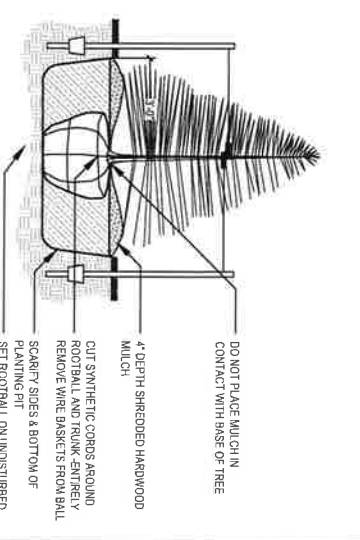
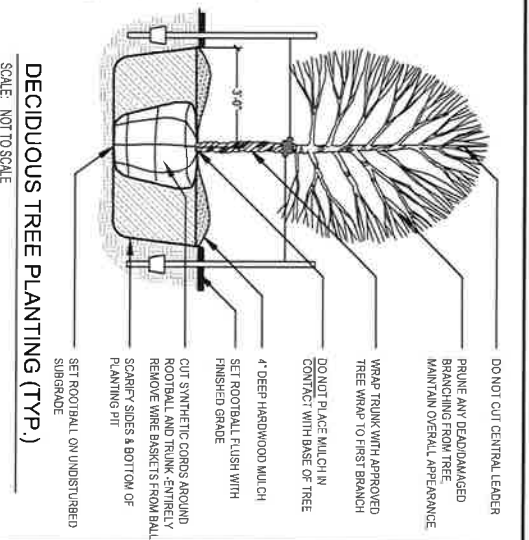
PRELIMINARY- NOT FOR CONSTRUCTION

11/10/2023 1:52:31 PM MILAND PROJECTS 2019190562-2 - LOT 2 SOUTH BRANCH BUSINESS PARK/DWG15 LANDSCAPE.DWG

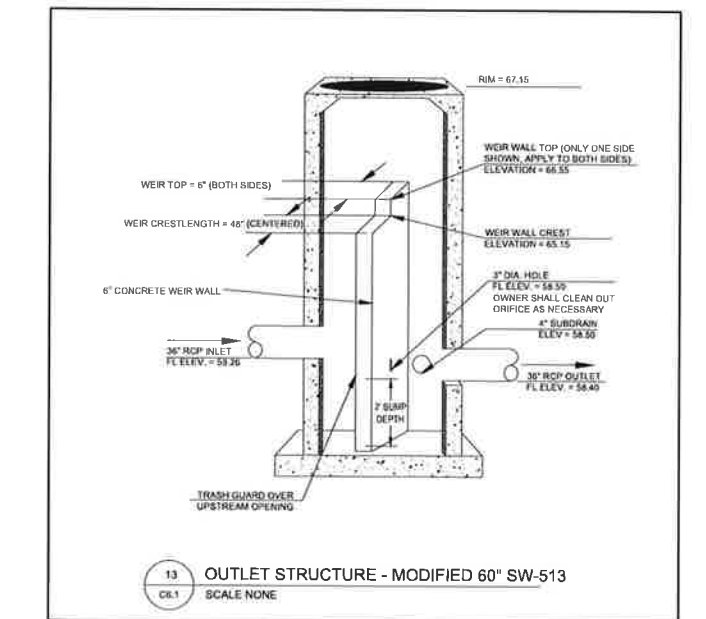
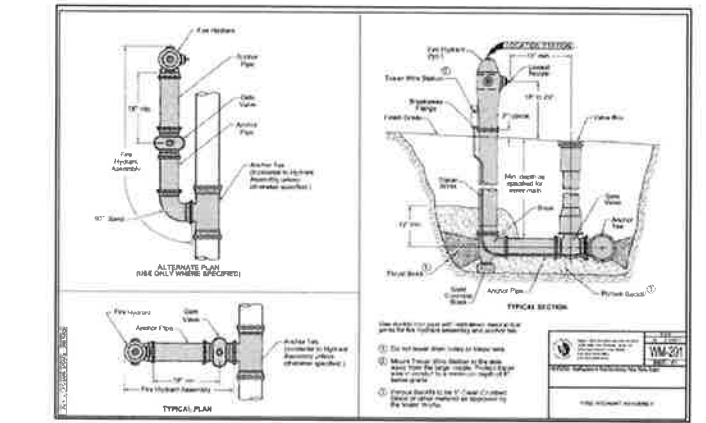
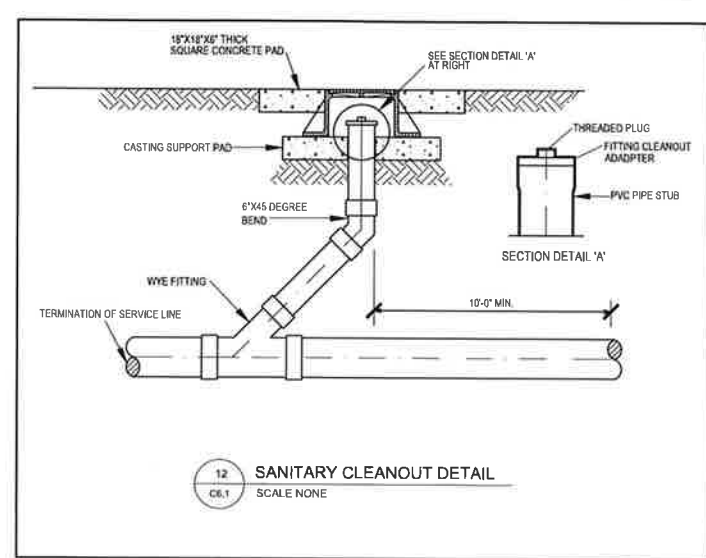
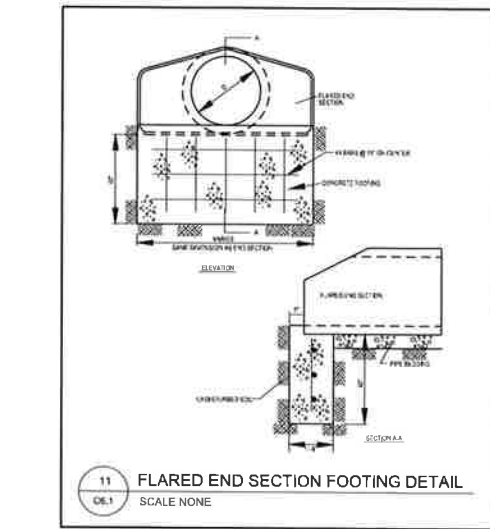
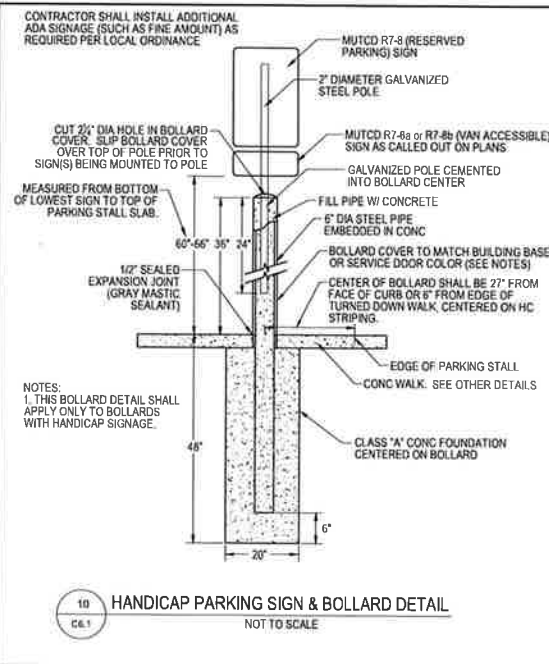
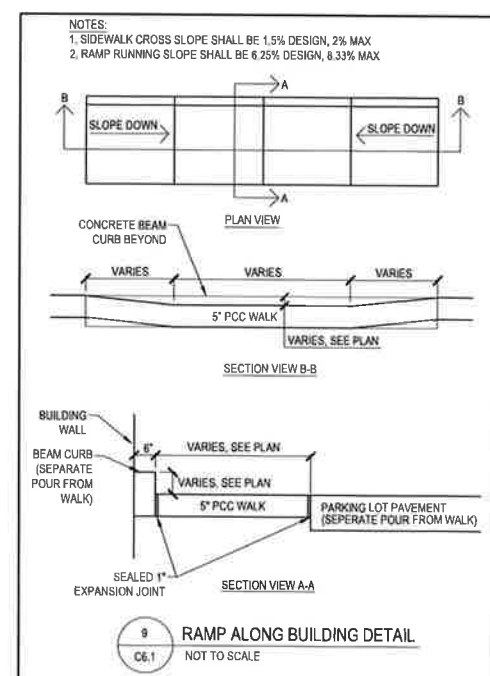
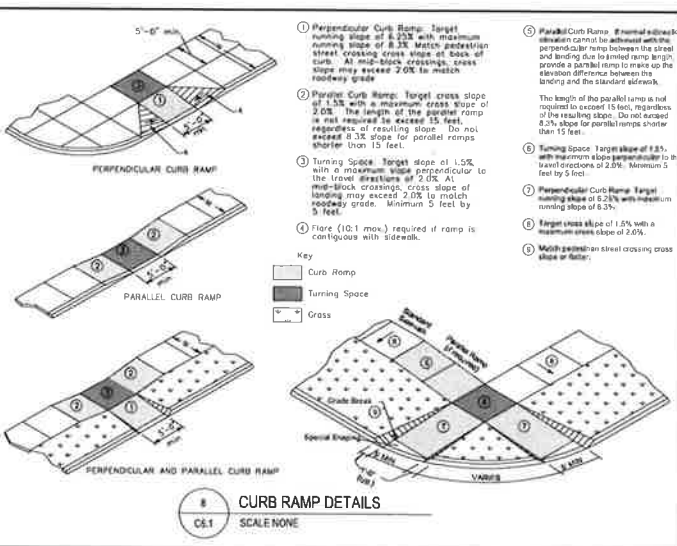
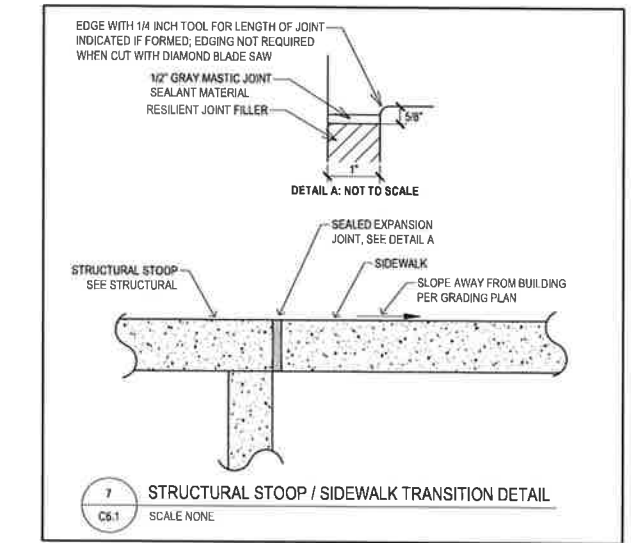
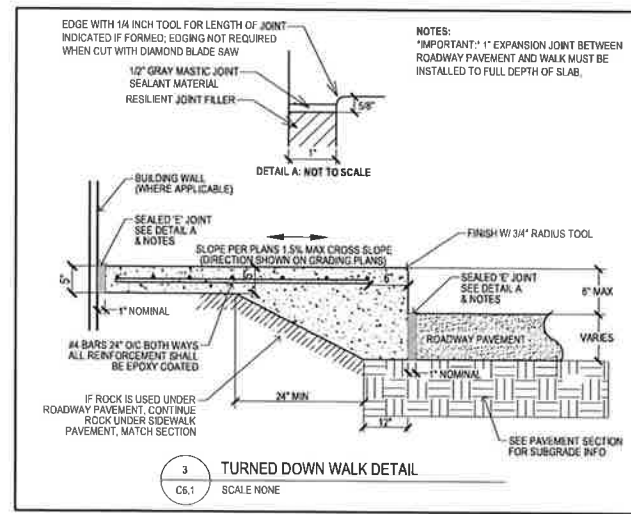
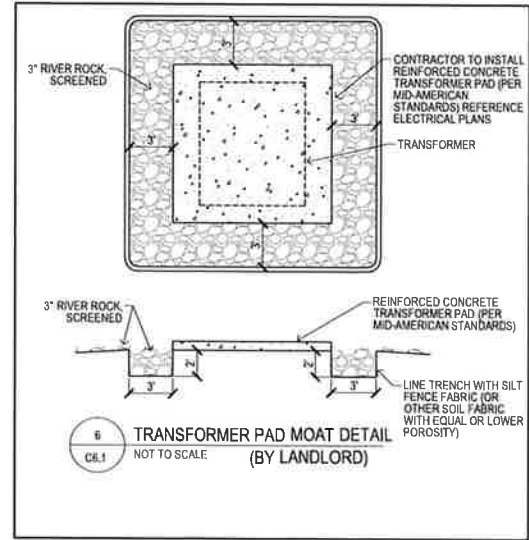
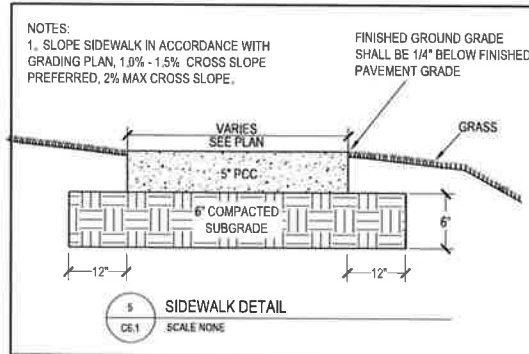
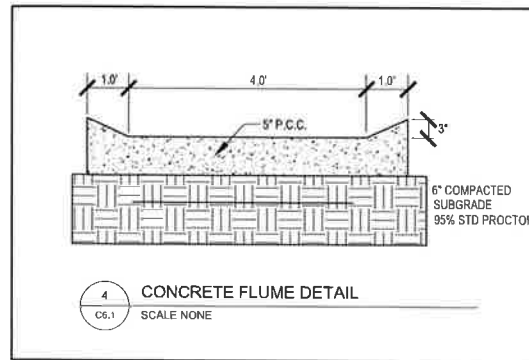
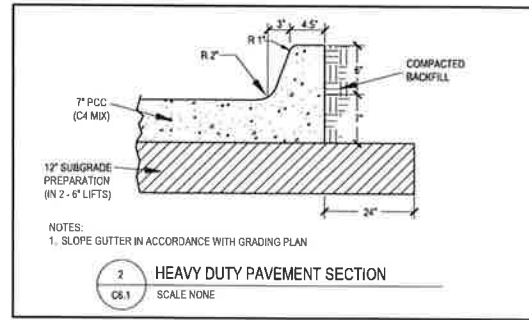
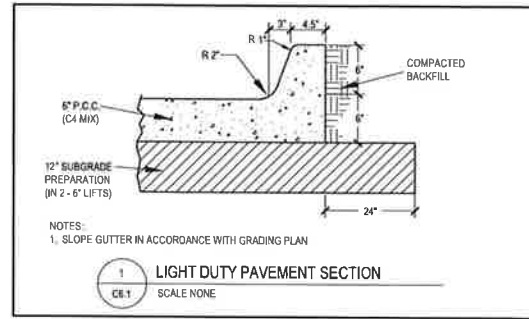
SE ARMY POST ROAD
PRIVATE STREET - 24" WIDE ASPHALT SURFACE - 8' ROW (MIN)



LANDSCAPE REQUIREMENTS AND NOTES:
1. REFER TO SHEET C5.0

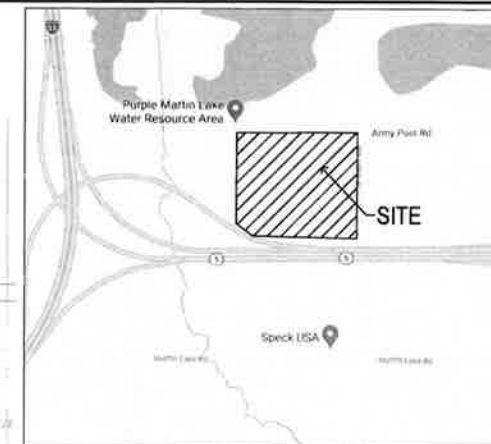
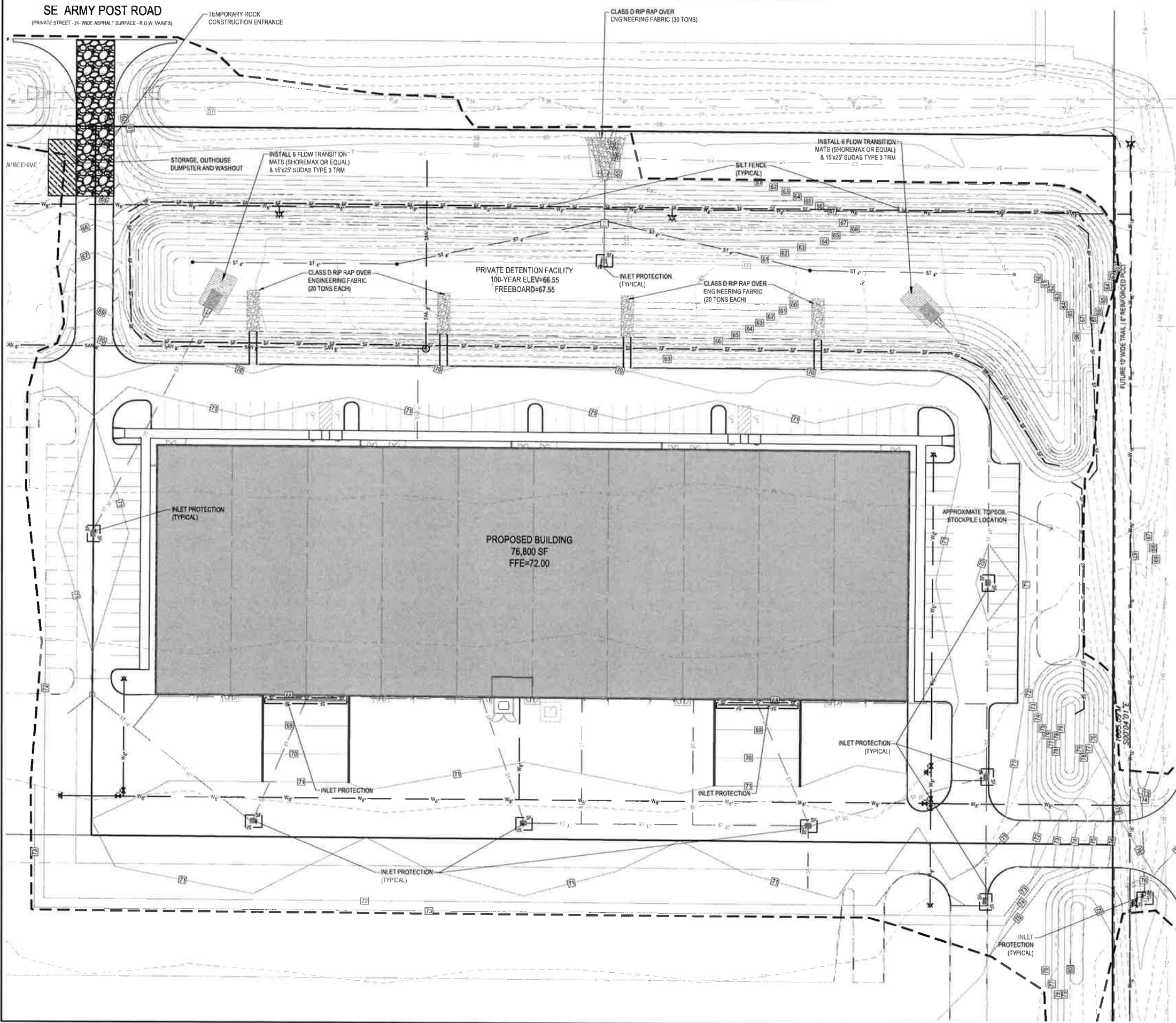


<p>Bishop Engineering "Planning Your Successful Development"</p> <p>3501 104th Street Des Moines, Iowa 50322-3825 Phone: (515)276-0467 Fax: (515)276-0217 Civil Engineering & Land Surveying Established 1959</p>	<p>SOUTH BRANCH BUSINESS PARK PLAT 2 SE 42ND STREET AND ARMY POST ROAD</p>	
	<p>LANDSCAPE PLAN - LOT 1</p>	
<p>PROJECT NUMBER: 190562-2</p> <p>SHEET NUMBER: C5.1</p>	<p>DESIGN BY: BK</p> <p>CHECKED BY: DB</p> <p>REVISION DATE: 08/11/2023 CHECK</p> <p>09/08/2023 CITY</p> <p>10/17/2023 CITY</p> <p>11/10/2023 CITY</p>	<p>REFERENCE NUMBER: 190562</p>



PRELIMINARY - NOT FOR CONSTRUCTION

STORM WATER POLLUTION PREVENTION PLAN



VICINITY MAP
SCALE: 1" = 1,000'

PROPERTY DESCRIPTION:
 LOT 2, SOUTH BRANCH BUSINESS PARK, AN OFFICIAL PLAT IN THE CITY OF WEST DES MOINES, POLK COUNTY, IOWA

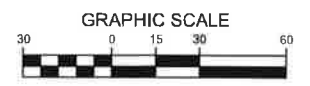
SUBJECT TO AND TOGETHER WITH ANY AND ALL EASEMENTS AND RESTRICTION OF RECORD,

SAID TRACT CONTAINS 29.63 ACRES (1,290,741 SQUARE FEET) MORE OR LESS

ADDRESS:
 4350 ARMY POST ROAD

OWNER:
 SBPP JV21 LLC
 12591 UNIVERSITY AVENUE, SUITE 2000
 CLIVE, IOWA 50325

PREPARED FOR:
 DAN CARLSON, WB REALTY CO.
 12591 UNIVERSITY AVENUE, SUITE 2000
 CLIVE, IOWA 50325
 515-691-2520



- EROSION CONTROL NOTES:**
- SEE SUPPLEMENTAL DETAIL STORM WATER POLLUTION PLAN NARRATIVE FOR ALL EROSION CONTROL MEASURES. ADDITIONAL DETAILS AND NOTES, ADDITIONAL NOTES AND MEASURES IN NARRATIVE SHALL BE CONSIDERED INCIDENTAL AND SHALL BE INCLUDED IN THE ORIGINAL BID.
 - SWPPP PLAN AND NARRATIVE ARE CONSIDERED A LIVING DOCUMENT AND WILL NEED PERIODIC UPDATES AND ADJUSTMENTS AS NECESSARY DEPENDING ON SITE CONDITIONS TO ASSURE COMPLIANCE WITH NPDES GENERAL PERMIT NO. 2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO UPDATE THE SWPPP AND IMPLEMENT ANY AND ALL MEASURES NECESSARY TO COMPLY WITH SAID PERMIT NO. 2.
 - INSTALL PERIMETER SILT FENCE AS SHOWN ON PLANS PRIOR TO CONSTRUCTION.
 - INSTALL INTAKE PROTECTION WITH SILT FENCE IMMEDIATELY AFTER STORM SEWER CONSTRUCTION.
 - INSTALL FINISHED PAVING INLET PROTECTION IMMEDIATELY AFTER PAVING IS COMPLETED AROUND INTAKE.
 - OTHER EROSION CONTROL TYPES MAY NOT BE SUBSTITUTED FOR SILT FENCE.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLYING A CONCRETE WASHOUT IN ACCORDANCE WITH NPDES GENERAL PERMIT NO. 2 DURING ALL CONCRETE WORK.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLYING TEMPORARY RESTROOM FACILITIES. SANITARY WASTE SHALL BE DISPOSED OF PER ALL FEDERAL, STATE AND LOCAL REGULATIONS.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ALL TOPSOIL REQUIREMENTS OF NPDES GENERAL PERMIT NO. 2 ARE MET.

- EROSION CONTROL REMOVAL NOTES:**
- AFTER FINAL STABILIZATION HAS OCCURRED, AS DEFINED IN NPDES GENERAL PERMIT NO. 2, CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL TEMPORARY EROSION CONTROL DEVICES INCLUDING, BUT NOT LIMITED TO, SILT FENCE, INLET PROTECTION, AND TEMPORARY STANDPIPES.

CITY BENCHMARKS:

CITY OF WEST DES MOINES BM# 101
 STANDARD BENCHMARK MONUMENT, 1,584± FEET WEST OF INTERSECTION OF SOUTH 11TH STREET AND ARMY POST ROAD, 54.5 FEET NORTH OF THE CENTERLINE OF ARMY POST ROAD
 ELEV = 172.02 WDM DATUM

CITY OF WEST DES MOINES BM# 103
 STANDARD BENCHMARK MONUMENT, INTERSECTION OF ARMY POST ROAD AND S. 42ND STREET, NE OF INTERSECTION, 322 FEET NORTH OF THE CENTERLINE OF ARMY POST ROAD, 32 FEET EAST OF THE CENTERLINE OF S. 42ND STREET
 ELEV = 54.98 WDM DATUM

Bishop Engineering
 "Planning Your Successful Development"

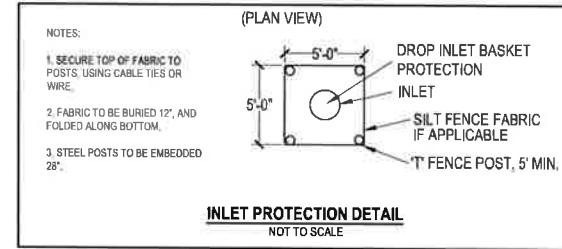
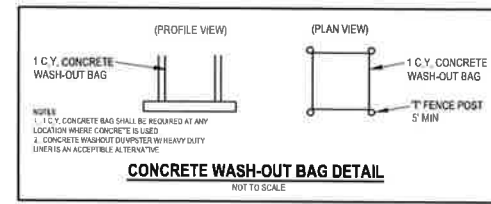
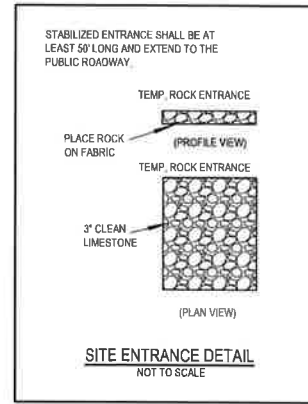
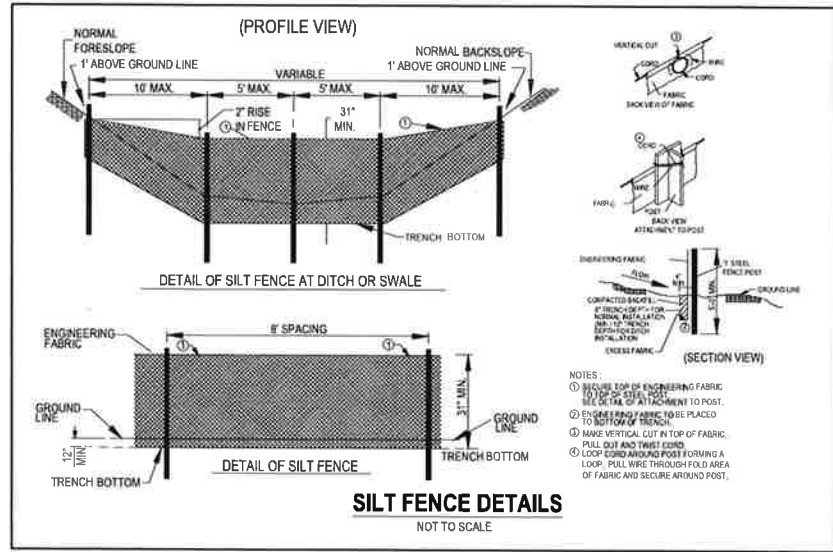
3501 104th Street
 Des Moines, Iowa 50322-3825
 Phone: (515) 276-0467 Fax: (515) 276-0417
 Civil Engineering & Land Surveying Established 1959

SOUTH BRANCH BUSINESS PARK PLAT 2
SE 42ND STREET AND ARMY POST ROAD
SWPPP - LOT 1

REFERENCE NUMBER:	190562
DRAWN BY:	BK
CHECKED BY:	DB
REVISION DATE:	08/11/2023 CHECK 09/06/2023 CHECK 09/15/2023 CITY 10/17/2023 CITY 11/10/2023 CITY
PROJECT NUMBER:	190562-2
SHEET NUMBER:	C7.1

11/10/2022 10:31:55 AM MILAND PROJECTS 2019190562-2 - LOT 2 SOUTH BRANCH BUSINESS PARK\DWG\C7 SWPPP.DWG

STORM WATER POLLUTION PREVENTION PLAN



A RESOLUTION OF THE PLANNING AND ZONING COMMISSION
NO. PZ-23-060

WHEREAS, pursuant to the provisions of Title 9, Zoning and Title 10, Subdivision Regulations of the West Des Moines Municipal Code, the applicant and property owner, SBBP JV21, L.L.C., an Iowa Limited Liability Company, requests approval of a Preliminary Plat for the purpose of subdividing that 29.63-acre property located at the southwest corner of SE 42nd Street and SE Army Post Road (generally 4350 SE Army Post Road) as depicted on the location map included in the staff report. The applicant proposes the creation of three (3) lots; and

WHEREAS, additionally, pursuant to the provisions of Title 9, Zoning of the West Des Moines Municipal Code, the applicant and property owner SBBP JV21, L.L.C., requests approval of the Phased Site Plan for the 6.76-acre portion of the property located at 4350 SE Army Post Road for the purpose of installing footings, foundations, and private utilities for a 294,407 sq. ft. warehouse; and

WHEREAS, the Preliminary Plat complies with Iowa Code Chapters 354 and 414, the Comprehensive Plan and City Code; and

WHEREAS, the Phased Site Plan complies with the findings stated in the applicable provisions of Title 9, Chapter 1, the Comprehensive Plan and City Code.

NOW THEREFORE, the Planning and Zoning Commission of the City of West Des Moines recommends the City Council approve the Preliminary Plat and Site Plan (PPSP-006205-2023), subject to compliance with all the conditions of approval as stated in the staff report, including conditions added at the meeting, and attached hereto as Exhibit "A", if applicable.

PASSED AND ADOPTED on November 27, 2023.

Andrew Conlin, Chair
Planning and Zoning Commission

I HEREBY CERTIFY that the foregoing resolution was duly adopted by the Planning and Zoning Commission of the City of West Des Moines, Iowa, at a regular meeting on November 27, 2023, by the following vote:

AYES:

NAYS:

ABSTENTIONS:

ABSENT:

ATTEST:

Recording Secretary