

CITY OF WEST DES MOINES

COUNCIL AGENDA

date: Tuesday, January 2, 2024

time: 5:30 P.M.

MAYOR RUSS TRIMBLE
COUNCILMEMBER AT LARGE RENEE HARDMAN
COUNCILMEMBER AT LARGE MATTHEW MCKINNEY
COUNCILMEMBER 1ST WARD KEVIN L. TREVILLYAN
COUNCILMEMBER 2ND WARD GREG HUDSON
COUNCILMEMBER 3RD WARD DOUG LOOTS

CITY MANAGER.....TOM HADDEN
CITY ATTORNEY.....GRETA TRUMAN
CITY CLERK.....RYAN JACOBSON
DEPUTY CITY CLERK...JULIUS ARRINGTON

West Des Moines City Hall - City Council Chambers 4200 Mills Civic Parkway

*Members of the public wishing to participate telephonically, may do so by calling:
515-207-8241, Enter Conference ID: 404 024 604#*

1. **Call to Order/Pledge of Allegiance/Roll Call/Approval of Agenda**
2. **Citizen Forum** (Pursuant to City Council Procedural Rules citizen remarks are limited to five minutes under this agenda category - if additional time is desired the Mayor/Council may allow continuation as part of the Other Matters portion of the agenda)
3. **Mayor/Council/Manager Report/Other Entities Update**
4. **Consent Agenda**
 - a. Motion - Approval of Minutes of December 18, 2023 Meeting
 - b. Motion - Approval of Bill Lists
 - c. Motion - Approval of Liquor Licenses:
 1. DBH Industries, LLC d/b/a Bix & Co., 111 5th Street - Class C Retail Alcohol License with Outdoor Service and Catering Privileges - Renewal
 2. UP NORT, LLC d/b/a GUESTHOUSE, 9500 University Avenue, Suite 1118 - Class C Retail Alcohol License with Outdoor Service - New
 3. Thompson Hospitality, LLC d/b/a Urban Cellar, 640 South 50th Street, Suite 2110 - Class C Retail Alcohol License with Outdoor Service and Catering Privileges - Renewal
 4. Waterfront Seafood Market, Inc. d/b/a Waterfront Seafood Market, 2900 University Avenue - Class C Retail Alcohol License with Catering Privileges - Renewal
 - d. Motion - Approval of Order for Suspension for Violation of Alcohol Laws
 - e. Motion - Approval of Appointments - City Clerk and Deputy City Clerk
 - f. Resolution - Approval of Interfund Transfers
 - g. Resolution - Approval and/or Ratification of Specific Fees and Charges - Parks and Recreation
 - h. Resolution - Accept Work - 2022 Street Reconstruction Program

- i. Resolution - Approval of First Amendment to Conduit License Agreement - Iowa Network Services, Inc. d/b/a Aureon Network Services
- j. Resolution - Approval of Transportation Alternatives Program Grant Application - Raccoon River East Greenway Trail
- k. Resolution - Approval of Parkland Dedication Agreement- Woodland Estates
- l. Resolution - Establish Consultation Meeting and Public Hearing - Amendment #2 to the 8300 Mills Urban Renewal Area
- m. Resolution - Approval to Amend the Grand Avenue Redevelopment Plan to Add an Additional Property to the Redevelopment Area - Val Air Ballroom, 301 Ashworth Road
- n. Proclamation - Martin Luther King Jr. Day - January 16, 2023

5. Old Business

- a. Val Air Ballroom, 301 Ashworth Road - Establish the Val Air Ballroom Planned Unit Development (PUD) Ordinance Regulating Development of an Event Venue and Restaurant - VAB, LLC
 - 1. Ordinance - Approval of Second, Third Readings and Final Adoption
- b. Amendment to City Code - Title 9 (Zoning) - Modify Regulations Pertaining to Beauty and Barber Shops in the Office District - Mindy and Mike Schmitt and the City of West Des Moines
 - 1. Ordinance - Approval of Second, Third Readings and Final Adoption
- c. Amendment to City Code - Title 6 (Motor Vehicles and Traffic), Chapter 9 (Traffic Schedules), Section 3 (Special Stops Required and Special Yield Required) - Delete Special Yield Required and Add Special Stops Required - Office Plaza Drive North and Office Plaza Drive South - City Initiated
 - 1. Ordinance - Approval of Second, Third Readings and Final Adoption

6. Public Hearings (5:35 p.m.)

- a. Vacation of a Portion of Right of Way Near the Southeast Corner of Grand Avenue and Raccoon River Drive - City Initiated
 - 1. Motion - Continue Public Hearing to January 16, 2024
- b. Amendment #4 to the Coachlight Drive Urban Renewal Area - City Initiated (Continued from December 4, 2023 and December 18, 2023)
 - 1. Motion - Continue Public Hearing to January 16, 2024
- c. Agreement for Private Development - Legacy Partners, LLC (Continued from December 4, 2023 and December 18, 2023)
 - 1. Motion - Continue Public Hearing to January 16, 2024

7. New Business

- a. Kum & Go 0098 Plat 1, 5760 Raccoon River Drive - Accept Public Improvements and Approve Final Plat to Create Two Lots for Commercial Development - Kum & Go, L.C.
 - 1. Resolution - Acceptance of Public Improvements and Approval and Release of Final Plat

- b. Microsoft DSM 42, 11100 Booneville Road - Approval of Major Modification to Site Plan to Allow Construction of a Data Center Building - Microsoft Corporation
 - 1. Resolution - Approval of Major Modification

- c. Microsoft DSM 43, 11100 Booneville Road - Approval of Major Modification to Site Plan to Allow Construction of a Data Center Building - Microsoft Corporation
 - 1. Resolution - Approval of Major Modification

- d. 510 South 19th Street Warehouse, 510 South 19th Street - Approval of Major Modification to Site Plan to Allow Construction of a Warehouse - Dan Southwick
 - 1. Resolution - Approval of Major Modification

8. Receive, File and/or Refer

- a. West Des Moines Water Works - 2024 Budget

9. Other Matters

The City of West Des Moines is pleased to provide accommodations to disabled individuals or groups and encourages their participation in city government. Should special accommodations be required please contact the Clerk's office at least 48 hours in advance, at 222-3600 to have accommodations provided.

December 18, 2023

West Des Moines City Council Proceedings
Monday, December 18, 2023

Mayor Russ Trimble opened the regularly scheduled meeting of the City Council of West Des Moines, Iowa, in the Council Chambers of the West Des Moines City Hall on Monday, December 18, 2023 at 5:30 PM. Council members present were: G. Hudson, M. McKinney, and K. Trevillyan. Council member D. Loots participated via teleconference.

On Item 1. Agenda. It was moved by Trevillyan, second by McKinney approve the agenda as presented.

Vote 23-507: Hudson, Loots, McKinney, Trevillyan...4 yes
Motion carried.

Mayor Trimble swore in At-Large Council Member Matthew McKinney and Second Ward Council Member Greg Hudson, both for four year terms beginning January 1, 2024.

On Item 2. Public Forum: No one came forward.

On Item 3. Council/Manager/Other Entities Reports:

Council member McKinney reported he attended a meeting of the ICON Water Trails Board, where discussion was held on construction projects and the Wild Prairie Showdown fundraiser event which took place in October. He also attended a meeting of the Bravo Greater Des Moines Board, where grants were awarded to various arts, culture, and heritage organizations. He stated it is a privilege to be reelected to another term on the City Council, and he looks forward to keeping the momentum going from the great things the City accomplished during his first term. He also expressed appreciation to his family for their support for his service on the City Council.

Mayor Trimble expressed appreciation to Council members McKinney and Hudson for their commitment to serving their constituents.

Council member Loots congratulated Council members McKinney and Hudson for winning reelection to the City Council, and he stated he is proud to serve with both of them on the City Council.

On Item 4. Consent Agenda.

It was moved by McKinney, second by Trevillyan to approve the consent agenda as presented.

- a. Approval of Minutes of December 4, 2023 Meeting
- b. Approval of Bill Lists

- c. Approval of Liquor Licenses:
 - 1. 7 Stone, LLC d/b/a 7 Stone, 9350 University Avenue - Special Class C Retail Alcohol License - Renewal
 - 2. Bravo Brio Restaurants, LLC d/b/a Bravo!, 120 South Jordan Creek Parkway - Class C Retail Alcohol License with Outdoor Service - Renewal
 - 3. Lakes Venture, LLC d/b/a Fresh Thyme Farmers Market, 2900 University Avenue, Suite 240 - Class B Retail Alcohol License - Renewal
 - 4. LLK Inc. d/b/a Funny Bone Comedy Club & Restaurant, 560 S. Prairie View Drive, Suite 100 - Class C Retail Alcohol License - Renewal
 - 5. Hy-Vee, Inc., d/b/a Hy-Vee Meeting Room, 1725 Jordan Creek Parkway, 2nd Floor Meeting Room - Special Class C Retail Alcohol License - Renewal
 - 6. Martin Bar, LLC d/b/a The Keg Stand, 3530 Westown Parkway - Class C Retail Alcohol License - New
 - 7. Kwik Trip, Inc. d/b/a Tobacco Outlet Plus #565, 1220 Grand Avenue, Suite 101 - Class B Retail Alcohol License - Renewal
 - 8. 3781 EP True, LLC d/b/a Valley Pub, 3781 EP True Parkway - Class C Retail Alcohol License with Outdoor Service - Renewal
 - 9. Pin High Golf Entertainment West Des Moines, LLC d/b/a X Golf West Des Moines, 165 South Jordan Creek Parkway, Suite 135 - Class C Retail Alcohol License with Outdoor Service - Renewal
- d. Approval of Order for Violation of Alcohol Laws
- e. Approval of Appointment - Water Works Board of Trustees
- f. Approval of Purchase and Implementation of First Due Software
- g. Approval to Sell Surplus City Equipment
- h. Approval of Amendment No. 1 to Professional Services Agreement - 2023 Parking Lot Repair Program
- i. Approval of 28E Agreement with the Community Foundation of Greater Des Moines - City Park and Arboretum Project, 2296 Grand Avenue
- j. Order Construction - Riverview Drive Erosion Control and Stabilization
- k. Accept Work:
 - 1. 2022 Sewer Rehabilitation Program
 - 2. Raccoon River Drive Bridge over Realigned Johnson Creek
- l. Approval of First Amendment to Agreement for Private Development - VAB, LLC
- m. Approval of Amendment to Condition of Approval - Woodland Estates Plat 1
- n. Approval and Acceptance of Property Interests - High Gate Sanitary Sewer

Vote 23-508: Hudson, Loots, McKinney, Trevillyan...4 yes
Motion carried.

On Item 5(a) Eagle Brook North, southwest corner of Veterans Parkway and SE 35th Street - Amend the Zoning Map to Establish Single Family Residential (RS-5) and Medium Density Residential (RM-12) Zoning, initiated by Eagle Brook, LLC

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It was moved by Hudson, second by McKinney to consider the second reading of the ordinance.

Vote 23-509: Hudson, Loots, McKinney, Trevillyan...4 yes

Motion carried.

The City Clerk read the preamble to the ordinance.

It was moved by Hudson, second by McKinney to approve the second reading of the ordinance.

Vote 23-510: Hudson, Loots, McKinney, Trevillyan...4 yes

Motion carried.

It was moved by Hudson, second by McKinney to waive the third reading and adopt the ordinance in final form.

Vote 23-511: Hudson, Loots, McKinney, Trevillyan...4 yes

Motion carried.

On Item 5(b) Three Fountains Commercial, southeast corner of 50th Street and University Avenue - Amend the Planned Unit Development (PUD) Ordinance to Reduce the Setback Requirement for Accessory Structures, initiated by Shoppes at Three Fountains, LLC

It was moved by Trevillyan, second by Hudson to consider the second reading of the ordinance.

Vote 23-512: Hudson, Loots, McKinney, Trevillyan...4 yes

Motion carried.

The City Clerk read the preamble to the ordinance.

It was moved by Trevillyan, second by Hudson to approve the second reading of the ordinance.

Vote 23-513: Hudson, Loots, McKinney, Trevillyan...4 yes

Motion carried.

It was moved by Trevillyan, second by Hudson to waive the third reading and adopt the ordinance in final form.

Vote 23-514: Hudson, Loots, McKinney, Trevillyan...4 yes

Motion carried.

On Item 5(c) Amendment to City Code - Title 4 (Health and Safety Regulations), Chapter 3 (Fire Code) - Adopt the International Fire Code, 2021 Edition with Local Amendments and Repeal the

December 18, 2023

International Fire Code, 2018 Edition, with Local Amendments, initiated by the City of West Des Moines

It was moved by Trevillyan, second by Hudson to consider the second reading of the ordinance.

Vote 23-515: Hudson, Loots, McKinney, Trevillyan...4 yes
Motion carried.

The City Clerk read the preamble to the ordinance.

It was moved by Trevillyan, second by Hudson to approve the second reading of the ordinance.

Vote 23-516: Hudson, Loots, McKinney, Trevillyan...4 yes
Motion carried.

It was moved by Trevillyan, second by Hudson to waive the third reading and adopt the ordinance in final form.

Vote 23-517: Hudson, Loots, McKinney, Trevillyan...4 yes
Motion carried.

On Item 6(a) Mayor Trimble indicated this was the time and place for a public hearing to consider Val Air Ballroom, 301 Ashworth Road - Amend Comprehensive Plan Land Use Map to Designate Multi Use Medium (MUM) and Establish the Val Air Ballroom Planned Unit Development (PUD) Ordinance Regulating Development of an Event Venue and Restaurant, initiated by VAB, LLC. He asked for the date the notice was published and the City Clerk indicated the notice was published on December 1, 2023 in the Des Moines Register. Mayor Trimble asked if any written comments had been received. The City Clerk stated on a vote of 7-0, the Plan and Zoning Commission recommended City Council approval of the Comprehensive Plan Amendment and PUD Ordinance.

Mayor Trimble asked if there were any public comments.

Doug Saltgaver, Engineering Resource Group, speaking on behalf of the applicant, expressed appreciation to the City for working with them on this project, and he requested the City Council vote to approve these items.

Mayor Trimble asked if there were any additional public comments; hearing none he declared the public hearing closed.

It was moved by Trevillyan, second by McKinney to adopt Resolution - Approval of Comprehensive Plan Amendment.

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Vote 23-518: Hudson, Loots, McKinney, Trevillyan...4 yes
Motion carried.

It was moved by Trevillyan, second by McKinney to consider the first reading of the ordinance.

Vote 23-519: Hudson, Loots, McKinney, Trevillyan...4 yes
Motion carried.

The City Clerk read the preamble to the ordinance.

It was moved by Trevillyan, second by McKinney to approve the first reading of the ordinance.

Vote 23-520: Hudson, Loots, McKinney, Trevillyan...4 yes
Motion carried.

On Item 6(b) Mayor Trimble indicated this was the time and place for a public hearing to consider Amendment to City Code - Title 9 (Zoning) - Modify Regulations Pertaining to Beauty and Barber Shops in the Office District, initiated by Mindy and Mike Schmitt and the City of West Des Moines. He asked for the date the notice was published and the City Clerk indicated the notice was published on December 1, 2023 in the Des Moines Register. Mayor Trimble asked if any written comments had been received. The City Clerk stated on a vote of 7-0, the Plan and Zoning Commission recommended City Council approval of the Ordinance Amendment.

Mayor Trimble asked if there were any public comments; hearing none he declared the public hearing closed.

It was moved by McKinney, second by Trevillyan to consider the first reading of the ordinance.

Vote 23-521: Hudson, Loots, McKinney, Trevillyan...4 yes
Motion carried.

The City Clerk read the preamble to the ordinance.

It was moved by McKinney, second by Trevillyan to approve the first reading of the ordinance.

Vote 23-522: Hudson, Loots, McKinney, Trevillyan...4 yes
Motion carried.

On Item 6(c) Amendment #4 to the Coachlight Drive Urban Renewal Area, initiated by the City of West Des Moines (Continued from December 4, 2023)

December 18, 2023

It was moved by Hudson, second by Trevillyan to adopt Motion - Continue Public Hearing to January 2, 2024.

Vote 23-523: Hudson, Loots, McKinney, Trevillyan...4 yes
Motion carried.

On Item 6(d) Agreement for Private Development, initiated by Legacy Partners, LLC (Continued from December 4, 2023)

It was moved by Hudson, second by McKinney to adopt Motion - Continue Public Hearing to January 2, 2024.

Vote 23-524: Hudson, Loots, McKinney, Trevillyan...4 yes
Motion carried.

On Item 6(e) Mayor Trimble indicated this was the time and place for a public hearing to consider Conduit Network License Agreement, initiated by Unite Private Networks. He asked for the date the notice was published and the City Clerk indicated the notice was published on December 12, 2023 in the Des Moines Register. Mayor Trimble asked if any written comments had been received. The City Clerk stated none had been received.

Mayor Trimble asked if there were any public comments; hearing none he declared the public hearing closed.

It was moved by Hudson, second by McKinney to adopt Resolution - Approval of Agreement.

Council members McKinney and Hudson spoke in support of the proposed agreement, stating it is good to see the City's conduit network continuing to be used by various companies, as it was intended to be.

Vote 23-525: Hudson, Loots, McKinney, Trevillyan...4 yes
Motion carried.

On Item 6(f) Mayor Trimble indicated this was the time and place for a public hearing to consider Southeast Fire Training Facility, initiated by the City of West Des Moines. He asked for the date the notice was published and the City Clerk indicated the notice was published on December 1, 2023 in the Des Moines Register. Mayor Trimble asked if any written comments had been received. The City Clerk stated none had been received.

Mayor Trimble asked if there were any public comments; hearing none he declared the public hearing closed.

December 18, 2023

It was moved by Trevillyan, second by McKinney to adopt Resolution - Approval of Plans and Specifications, Motion to Receive and File Report of Bids, and Resolution - Award Contract to Elder Corporation.

Council member McKinney spoke in support of this project, stating it is great to see the bids come in under the estimate and to see the different government agencies come together on this joint project.

Vote 23-526: Hudson, Loots, McKinney, Trevillyan...4 yes
Motion carried.

On Item 6(g) Mayor Trimble indicated this was the time and place for a public hearing to consider MidAmerican Energy RecPlex Operational Improvements - Electrical/Mechanical, initiated by the City of West Des Moines. He asked for the date the notice was published and the City Clerk indicated the notice was published on December 1, 2023 in the Des Moines Register. Mayor Trimble asked if any written comments had been received. The City Clerk stated none had been received.

Mayor Trimble asked if there were any public comments; hearing none he declared the public hearing closed.

It was moved by Hudson, second by Trevillyan to adopt Resolution - Approval of Plans and Specifications, Motion to Receive and File Report of Bids, and Resolution - Award Contract to Edge Commercial, LLC.

Vote 23-527: Hudson, Loots, McKinney, Trevillyan...4 yes
Motion carried.

On Item 7(a) Woodland Estates Plat 2, north of the intersection of South 95th Street and Cascade Avenue - Acceptance of Surety and Approval of Final Plat to Create 27 Lots for Single Family Development and Two Street Lots, initiated by Silo 9 Plat 1, LLC

It was moved by Hudson, second by Trevillyan to adopt Resolution - Acceptance of Surety and Approval and Release of Final Plat, subject to the applicant complying with all applicable City Code requirements and the conditions of approval listed in the Resolution.

Vote 23-528: Hudson, Loots, McKinney, Trevillyan...4 yes
Motion carried.

On Item 7(b) Woodland Estates Plat 3, south of the intersection of South 95th Street and Cascade Avenue - Acceptance of Surety and Approval of Final Plat to Create Ten Lots for Single Family Development, One Outlot, and One Street Lot, initiated by Silo 9 Plat 1, LLC

December 18, 2023

It was moved by Hudson, second by McKinney to adopt Resolution - Acceptance of Surety and Approval and Release of Final Plat, subject to the applicant complying with all applicable City Code requirements and the conditions of approval listed in the Resolution.

Vote 23-529: Hudson, Loots, McKinney, Trevillyan...4 yes
Motion carried.

On Item 7(c) Amendment to City Code - Title 6 (Motor Vehicles and Traffic), Chapter 9 (Traffic Schedules), Section 3 (Special Stops Required and Special Yield Required) - Delete Special Yield Required and Add Special Stops Required - Office Plaza Drive North and Office Plaza Drive South, initiated by the City of West Des Moines

It was moved by Trevillyan, second by Hudson to consider the first reading of the ordinance.

Vote 23-530: Hudson, Loots, McKinney, Trevillyan...4 yes
Motion carried.

The City Clerk read the preamble to the ordinance.

It was moved by Trevillyan, second by Hudson to approve the first reading of the ordinance.

Vote 23-531: Hudson, Loots, McKinney, Trevillyan...4 yes
Motion carried.

On Item 7(d) Appointment of City Attorney, initiated by the City of West Des Moines

Mayor Trimble stated Ms. Truman has done a phenomenal job in her role as Assistant City Attorney for the past ten years, and he is looking forward to her serving in the role of City Attorney going forward.

It was moved by Trevillyan, second by Hudson to adopt Motion Approval of Appointment.

The Mayor and Council congratulated Ms. Truman on her appointment to the role of City Attorney and Ms. Grove on her promotion to the role of Deputy City Attorney.

Vote 23-532: Hudson, Loots, McKinney, Trevillyan...4 yes
Motion carried.

On Item 8 - Receive, File and/or Refer: no items

On Item 9 - Other Matters: none

The regular meeting was adjourned at 6:02 p.m.

December 18, 2023

Respectfully submitted,

Ryan T. Jacobson, CMC
City Clerk

ATTEST:

Russ Trimble, Mayor

**CITY OF WEST DES MOINES
CITY COUNCIL MEETING COMMUNICATION**

ITEM: Motion – Approval of Bill Lists

DATE: January 2, 2024


FINANCIAL IMPACT: Section 1-10-3(b) of the West Des Moines City Code provides that no disbursement shall be made from a fund unless such disbursement is authorized by law, ordinance or resolution, was properly budgeted, and supported by a claim approved by the City Council. The following list(s) of municipal expenditures, all of which have been reviewed and authorized by the respective departments as being justified and properly due and the listing of which have been prepared by Finance staff, are, with this agenda item, being submitted to the City Council for approval:

Regular Bi-Weekly Claims	01/02/2024	\$ 638,435.28
EFT Claims	01/02/2024	\$ 300,002.79
End of Month & Off-Cycle	12/05/2023 to 01/15/2024	\$ 449,167.18

RECOMMENDATION: Move to approve Bill Lists as presented.

Lead Staff Member: Tim Stiles, Finance Director

STAFF REVIEWS

Department Director	
Appropriations/Finance	
Legal	
Agenda Acceptance	

PUBLICATION(S) (if applicable)

Published In	
Dates(s) Published	

SUBCOMMITTEE REVIEW (if applicable)

Committee	
Date Reviewed	
Recommendation	

City of West Des Moines, IA
City Council Report
Bank Account: WB VENDOR DISB - WB Vendor Disbursement
Batch Date: 01/02/2024

Type	Date	Number Source	Payee Name	Transaction Amount
Bank Account: WB VENDOR DISB - WB Vendor Disbursement				
Check	01/02/2024	331665 Accounts Payable	BOMGAARS SUPPLY INC	261.95
Check	01/02/2024	331666 Accounts Payable	BROTHERS CLEANING CORPORATION	12,403.42
Check	01/02/2024	331667 Accounts Payable	BSN SPORTS LLC	326.47
Check	01/02/2024	331668 Accounts Payable	CALIBER CONCRETE LLC	94,047.00
Check	01/02/2024	331669 Accounts Payable	CAPITAL CITY FRUIT INC	93.25
Check	01/02/2024	331670 Accounts Payable	CAPITAL SANITARY SUPPLY CO INC	1,789.99
Check	01/02/2024	331671 Accounts Payable	CAPPEL'S ACE HARDWARE	90.97
Check	01/02/2024	331672 Accounts Payable	CAREERBUILDER GOVERNMENT SOLUTIONS LLC	1,500.00
Check	01/02/2024	331673 Accounts Payable	CHRIS CAKES	1,652.00
Check	01/02/2024	331674 Accounts Payable	CHRISTOPHER , F RAMON	100.00
Check	01/02/2024	331675 Accounts Payable	CIRQUE WONDERLAND LLC	63.00
Check	01/02/2024	331676 Accounts Payable	CONSTRUCTION & AGGREGATE PRODUCTS INC	46.00
Check	01/02/2024	331677 Accounts Payable	CORE AND MAIN LP	475.00
Check	01/02/2024	331678 Accounts Payable	CORELL CONTRACTOR INC	116.56
Check	01/02/2024	331679 Accounts Payable	CORY , TARRY	120.00
Check	01/02/2024	331680 Accounts Payable	DES MOINES BREAKERZ LLC	613.58
Check	01/02/2024	331681 Accounts Payable	DES MOINES REGISTER MEDIA	4,345.48
Check	01/02/2024	331682 Accounts Payable	DUKE , CLYDE	300.00
Check	01/02/2024	331683 Accounts Payable	EARL MAY SEED AND NURSERY	441.90
Check	01/02/2024	331684 Accounts Payable	FEDEX	90.18
Check	01/02/2024	331685 Accounts Payable	FERRELLGAS	5.00
Check	01/02/2024	331686 Accounts Payable	FIRE SERVICE TRAINING BUREAU	100.00
Check	01/02/2024	331687 Accounts Payable	FORMARO STUFFED COM LLC	84.36
Check	01/02/2024	331688 Accounts Payable	GALLS LLC	83.74
Check	01/02/2024	331689 Accounts Payable	GEMT- IOWA DEPARTMENT OF HUMAN SERVICES	11,649.85
Check	01/02/2024	331690 Accounts Payable	GRIMES ASPHALT & PAVING	366.00
Check	01/02/2024	331691 Accounts Payable	HAWKEYE TRUCK EQUIPMENT	16.50
Check	01/02/2024	331692 Accounts Payable	HOODZ OF CENTRAL IOWA	2,250.00
Check	01/02/2024	331693 Accounts Payable	HUDSON , LEONARD	100.00
Check	01/02/2024	331694 Accounts Payable	HY VEE INC	1,150.84
Check	01/02/2024	331695 Accounts Payable	IOWA DEPARTMENT OF TRANSPORTATION	4,394.00

City of West Des Moines, IA
City Council Report
Bank Account: WB VENDOR DISB - WB Vendor Disbursement
Batch Date: 01/02/2024

Type	Date	Number Source	Payee Name	Transaction Amount
Check	01/02/2024	331696 Accounts Payable	IOWA PRISON INDUSTRIES	17,953.80
Check	01/02/2024	331697 Accounts Payable	J PETTIECORD INC	1,520.00
Check	01/02/2024	331698 Accounts Payable	JENSEN BUILDERS	51,820.13
Check	01/02/2024	331699 Accounts Payable	JOHNSON CONTROLS FIRE PROTECTION LP- IL	579.60
Check	01/02/2024	331700 Accounts Payable	JOHNSON CONTROLS INC- TX	5,995.00
Check	01/02/2024	331701 Accounts Payable	KARL CHEVROLET INC	63,168.07
Check	01/02/2024	331702 Accounts Payable	LOGOED APPAREL & PROMOTIONS	239.19
Check	01/02/2024	331703 Accounts Payable	LOWE'S HOME CENTER INC	537.23
Check	01/02/2024	331704 Accounts Payable	MARTIN MARIETTA MATERIALS INC	941.00
Check	01/02/2024	331705 Accounts Payable	MENARDS- CLIVE	60.64
Check	01/02/2024	331706 Accounts Payable	MERRITT COMPANY INC	3,145.00
Check	01/02/2024	331707 Accounts Payable	MID IOWA CONTRACTING	14,334.85
Check	01/02/2024	331708 Accounts Payable	MIDWEST WHEEL	523.64
Check	01/02/2024	331709 Accounts Payable	MUNICIPAL COLLECTIONS OF AMERICA INC	265.24
Check	01/02/2024	331710 Accounts Payable	MUSCO SPORTS LIGHTING LLC	35,636.00
Check	01/02/2024	331711 Accounts Payable	NATIONWIDE OFFICE CLEANERS LLC	2,642.64
Check	01/02/2024	331712 Accounts Payable	NUANCE COMMUNICATIONS INC	4,500.00
Check	01/02/2024	331713 Accounts Payable	PEPSI BEVERAGES COMPANY	840.21
Check	01/02/2024	331714 Accounts Payable	PMA ASSET MANAGEMENT LLC	5,982.37
Check	01/02/2024	331715 Accounts Payable	POLK COUNTY RECORDER	99.00
Check	01/02/2024	331716 Accounts Payable	QUALITY STRIPING INC	11,673.20
Check	01/02/2024	331717 Accounts Payable	RDG PLANNING & DESIGN	14,438.83
Check	01/02/2024	331718 Accounts Payable	ROBERT HALF TECHNOLOGY	2,700.00
Check	01/02/2024	331719 Accounts Payable	SHEKAR ENGINEERING PLC	52,864.24
Check	01/02/2024	331720 Accounts Payable	SMITH FERTILIZER AND GRAIN	7,457.55
Check	01/02/2024	331721 Accounts Payable	SOUTH MAPLE GROVE VILLAS OWNERS ASSOCIATION	764.26
Check	01/02/2024	331722 Accounts Payable	SOUTHWEST POLK WATER SERVICE INC	20.00
Check	01/02/2024	331723 Accounts Payable	STREICHERS	776.79
Check	01/02/2024	331724 Accounts Payable	SYMMETRY ENERGY SOLUTIONS LLC	6,872.01
Check	01/02/2024	331725 Accounts Payable	TEKSYSTEMS INC	5,599.44
Check	01/02/2024	331726 Accounts Payable	THE UNDERGROUND COMPANY	25,746.20
Check	01/02/2024	331727 Accounts Payable	TIPPI TOES DES MOINES	1,900.00

City of West Des Moines, IA
City Council Report

Bank Account: WB VENDOR DISB - WB Vendor Disbursement
Batch Date: 01/02/2024

Type	Date	Number Source	Payee Name	Transaction Amount
Check	01/02/2024	331728 Accounts Payable	TK ELEVATOR CORPORATION	7,919.56
Check	01/02/2024	331729 Accounts Payable	TRIVISTA COMPANIES INC - O'HALLORAN INTERNATIONAL	676.92
Check	01/02/2024	331730 Accounts Payable	TRUE VALUE & V&S VARIETY STORE	81.64
Check	01/02/2024	331731 Accounts Payable	UNIFIED CONTRACTING SERVICES	2,400.00
Check	01/02/2024	331732 Accounts Payable	UNITED PARCEL SERVICE	93.98
Check	01/02/2024	331733 Accounts Payable	VERIZON WIRELESS	4,741.59
Check	01/02/2024	331734 Accounts Payable	VERMEER SALES AND SERVICE INC	87,408.99
Check	01/02/2024	331735 Accounts Payable	VETTER EQUIPMENT	715.85
Check	01/02/2024	331736 Accounts Payable	VICE CONCRETE	18,365.27
Check	01/02/2024	331737 Accounts Payable	WALMART	50.00
Check	01/02/2024	331738 Accounts Payable	WARREN COUNTY ECONOMIC DEVELOP	7,500.00
Check	01/02/2024	331739 Accounts Payable	WASTE CONNECTIONS INC	1,347.26
Check	01/02/2024	331740 Accounts Payable	WEX BANK	1,073.85
Check	01/02/2024	331741 Accounts Payable	WINKELMAN , ERIC	107.00
Check	01/02/2024	331742 Accounts Payable	BOWEN , GARY	14,815.00
Check	01/02/2024	331743 Accounts Payable	AT&T MOBILITY	9,431.32
Check	01/02/2024	331744 Accounts Payable	CENTURYLINK	159.98
Check	01/02/2024	331745 Accounts Payable	CENTURYLINK	416.86
Check	01/02/2024	331746 Accounts Payable	MIDAMERICAN ENERGY	61.34
Check	01/02/2024	331747 Accounts Payable	MIDAMERICAN ENERGY	122.42
Check	01/02/2024	331748 Accounts Payable	MIDAMERICAN ENERGY	86.13
Check	01/02/2024	331749 Accounts Payable	MIDAMERICAN ENERGY	144.15
Check	01/02/2024	331750 Accounts Payable	MIDAMERICAN- DM-WDM TL	43.00
EFT	01/02/2024	12571 Accounts Payable	ADVANTAGE ASSET TRACKING CORPORATION	2,460.02
EFT	01/02/2024	12572 Accounts Payable	ALL CITY MANAGEMENT SERVICES INC	6,268.08
EFT	01/02/2024	12573 Accounts Payable	ALL STAR CONCRETE LLC	19,950.56
EFT	01/02/2024	12574 Accounts Payable	ALLIANCE CONSTRUCTION GROUP LLC	36,565.55
EFT	01/02/2024	12575 Accounts Payable	AMERICAN SECURITY LLC	1,137.82
EFT	01/02/2024	12576 Accounts Payable	ARNOLD MOTOR SUPPLY LLP 39711	769.68
EFT	01/02/2024	12577 Accounts Payable	BAUER BUILT	316.16
EFT	01/02/2024	12578 Accounts Payable	BECKER ARENA PRODUCTS INC	620.82
EFT	01/02/2024	12579 Accounts Payable	BEST PORTABLE TOILETS	1,569.39
EFT	01/02/2024	12580 Accounts Payable	BOOT BARN INC	832.05

City of West Des Moines, IA
City Council Report
 Bank Account: WB VENDOR DISB - WB Vendor Disbursement
 Batch Date: 01/02/2024

Type	Date	Number Source	Payee Name	Transaction Amount
EFT	01/02/2024	12581 Accounts Payable	BROCKWAY MECHANICAL & ROOFING	1,320.14
EFT	01/02/2024	12582 Accounts Payable	CDW GOVERNMENT INC	135.00
EFT	01/02/2024	12583 Accounts Payable	CINTAS CORP	685.15
EFT	01/02/2024	12584 Accounts Payable	CISNEROS , DANIEL EDUARDO	100.00
EFT	01/02/2024	12585 Accounts Payable	DAN PERRY SCULPTURE LLC - DANIEL PERRY	5,000.00
EFT	01/02/2024	12586 Accounts Payable	DILLARD , CARLOS	300.00
EFT	01/02/2024	12587 Accounts Payable	DOLL DISTRIBUTING LLC	298.90
EFT	01/02/2024	12588 Accounts Payable	EJS SUPPLY LLC	3,755.26
EFT	01/02/2024	12589 Accounts Payable	EMC RISK SERVICES	7,144.16
EFT	01/02/2024	12590 Accounts Payable	EXCEED SERVICES CORPORATION	3,223.72
EFT	01/02/2024	12591 Accounts Payable	EXCEL MECHANICAL INC	37,429.08
EFT	01/02/2024	12592 Accounts Payable	GBA SYSTEMS INTEGRATORS LLC	12,490.00
EFT	01/02/2024	12593 Accounts Payable	HAHN , JENNIFER	7,261.00
EFT	01/02/2024	12594 Accounts Payable	HEINTZ , JASON	75.00
EFT	01/02/2024	12595 Accounts Payable	HOME INC	9,548.90
EFT	01/02/2024	12596 Accounts Payable	IOWA INTERSTATE RAILROAD LTD	397.65
EFT	01/02/2024	12597 Accounts Payable	ISG	1,502.50
EFT	01/02/2024	12598 Accounts Payable	LOGAN CONTRACTORS SUPPLY INC	11,793.96
EFT	01/02/2024	12599 Accounts Payable	MARTIN BROTHERS	8,974.50
EFT	01/02/2024	12600 Accounts Payable	MCCUBBIN , COURTNEY	52.00
EFT	01/02/2024	12601 Accounts Payable	MOATS , WILLIAM	120.00
EFT	01/02/2024	12602 Accounts Payable	NORSOLV SYSTEMS- NORTHLAND PRODUCTS	66.60
EFT	01/02/2024	12603 Accounts Payable	PER MAR SECURITY SERVICES	781.92
EFT	01/02/2024	12604 Accounts Payable	PERFICUT COMPANIES INC	3,037.50
EFT	01/02/2024	12605 Accounts Payable	QUESTCDN.COM	924.00
EFT	01/02/2024	12606 Accounts Payable	R&R SPECIALTIES OF WISCONSIN INC	78.60
EFT	01/02/2024	12607 Accounts Payable	RELIABLE MAINTENANCE COMPANY	14,400.00
EFT	01/02/2024	12608 Accounts Payable	RELIANT FIRE APPARATUS INC	5,312.32
EFT	01/02/2024	12609 Accounts Payable	RENEWABLE ENERGY GROUP INC	14,393.59
EFT	01/02/2024	12610 Accounts Payable	RJ LAWN & LANDSCAPE	720.85
EFT	01/02/2024	12611 Accounts Payable	ROTO-ROOTER	1,125.00
EFT	01/02/2024	12612 Accounts Payable	SKOLD DOOR & FLOOR COMPANY INC	3,831.68
EFT	01/02/2024	12613 Accounts Payable	SPRAYER SPECIALTIES INC	330.11
EFT	01/02/2024	12614 Accounts Payable	STAR EQUIPMENT LTD	1,471.10

City of West Des Moines, IA
City Council Report

Bank Account: WB VENDOR DISB - WB Vendor Disbursement
Batch Date: 01/02/2024

Type	Date	Number Source	Payee Name	Transaction Amount
EFT	01/02/2024	12615 Accounts Payable	STEAM STARZ LLC - JANICE BEARD	416.00
EFT	01/02/2024	12616 Accounts Payable	STIVERS FORD	148.89
EFT	01/02/2024	12617 Accounts Payable	SWINTON , ASHLEE	2,340.46
EFT	01/02/2024	12618 Accounts Payable	TECHOPS SPECIALTY VEHICLES LLC	60,270.83
EFT	01/02/2024	12619 Accounts Payable	TELLO ITS LLC	3,395.00
EFT	01/02/2024	12620 Accounts Payable	TRACK INC	106.64
EFT	01/02/2024	12621 Accounts Payable	TRIPLETT COMPANIES	27.04
EFT	01/02/2024	12622 Accounts Payable	TSCHUDIN , JODI	1,845.00
EFT	01/02/2024	12623 Accounts Payable	UNIFIRST CORPORATION	625.82
EFT	01/02/2024	12624 Accounts Payable	VAISALA INC	1,000.00
EFT	01/02/2024	12625 Accounts Payable	VAN WALL EQUIPMENT	1,016.44
EFT	01/02/2024	12626 Accounts Payable	WAYTEK INC	240.35
WB VENDOR DISB WB Vendor Disbursement Totals:			Transactions: 142	<u>\$938,438.07</u>
Checks:	86	\$638,435.28		
EFTs:	56	\$300,002.79		

City of West Des Moines
Payment Register

From Payment Date: 12/05/2023 - To Payment Date: 01/15/2024

Number	Date	Payee Name	Transaction Amount
440	12/07/2023	VOYA BENEFITS COMPANY LLC	12,316.45
441	12/14/2023	VOYA BENEFITS COMPANY LLC	8,915.60
12565	12/15/2023	WEST BANK	10,572.91
12566	12/15/2023	MEDONE LC	83,430.96
12567	12/11/2023	DELTA DENTAL OF IOWA	8,682.89
12569	12/12/2023	WELLMARK BLUE CROSS	166,198.50
12570	12/19/2023	WELLMARK BLUE CROSS	150,808.91
201066	12/14/2023	COUNTRY CLUB INVESTMENTS- PARK WEST APARTMENTS	400.00
201067	12/14/2023	COUNTRY CLUB INVESTMENTS- PARK WEST APARTMENTS	419.52
201068	12/14/2023	HVG MAPLE GROVE ASSOCIATION LLC	1,000.00
201069	12/14/2023	MIDAMERICAN ENERGY- HS	191.48
201070	12/14/2023	SWIFT PROPERTIES LLC	999.59
201071	12/14/2023	WEST DES MOINES WATER WORKS- HS	514.34
201072	12/14/2023	WESTWOOD APARTMENTS - WDM ARTISAN LLC	999.03
201073	12/14/2023	ELEVATE AT JORDAN CREEK LP	869.00
201074	12/21/2023	HOLLENSBE, RONDA	1,000.00
201075	12/21/2023	POINTE ON 88TH	848.00
201076	12/21/2023	TIMAK INVESTMENT IV LC	1,000.00
			449,167.18

**CITY OF WEST DES MOINES
CITY COUNCIL MEETING COMMUNICATION**

ITEM: Approval of Liquor Licenses

DATE: January 2, 2024

FINANCIAL IMPACT: None

BACKGROUND: In accordance with the Iowa Code Section 123.1 and the West Des Moines City Code Title 3, Business and Licensing, Chapter 2, Beer and Liquor Control, the following licenses have been investigated and reviewed by the WDM Police Department and, when necessary, by Building Inspection and/or Fire Department staff, and are presented to the City Council for approval. Copies of license applications are available, for your review, in the Office of the City Clerk.

1. DBH Industries, LLC d/b/a Bix & Co., 111 5th Street - Class C Retail Alcohol License with Outdoor Service and Catering Privileges - Renewal
2. UP NORT, LLC d/b/a GUESTHOUSE, 9500 University Avenue, Suite 1118 - Class C Retail Alcohol License with Outdoor Service - New
3. Thompson Hospitality, LLC d/b/a Urban Cellar, 640 South 50th Street, Suite 2110 - Class C Retail Alcohol License with Outdoor Service and Catering Privileges - Renewal
4. Waterfront Seafood Market, Inc. d/b/a Waterfront Seafood Market, 2900 University Avenue - Class C Retail Alcohol License with Catering Privileges - Renewal

OUTSTANDING ISSUES (if any): None

RECOMMENDATION: Motion to approve the issuance of liquor licenses in the City of West Des Moines.

Lead Staff Member: Ryan T. Jacobson, City Clerk *RTJ*

STAFF REVIEWS

Department Director	Ryan T. Jacobson, City Clerk
Appropriations/Finance	
Legal	
Agenda Acceptance	<i>RTJ</i>

CITY OF WEST DES MOINES
CITY COUNCIL MEETING COMMUNICATION

ITEM: Motion - Approval of Order for Suspension for Violation of Alcohol Laws

DATE: January 2, 2024

FINANCIAL IMPACT: TBD

BACKGROUND:

Pursuant to state law, a municipality is entitled to assess a civil penalty against an alcohol permittee who has been found in violation of providing alcoholic beverages to persons under 21 years of age at their respective place of business. Failure to pay the civil penalty as ordered shall result in automatic suspension of the license or permit for a period of 14 days.

On or about September 22, 2023, an employee of Thawee Wathana LLC d/b/a Banana Leaf Asian Bistro ("Permittee") was cited for selling alcoholic beverages to a person under 21 years of age. The City of West Des Moines Legal Department sent a notice of the violation to the Permittee on November 9, 2023, and December 18, 2023. Since that time, said Permittee has not acknowledged the order or returned payment of the fine for its alcohol violation.

The penalty for a first violation is a \$500 civil penalty against the Alcohol Permittee.

OUTSTANDING ISSUES (if any):

If no payment is received prior to January 1, 2024, Permittee shall serve a 14-day suspension for non-payment of the civil penalty beginning at 6:00 a.m. Thursday, January 4, 2024, and ending 6:00 a.m. Thursday, January 18, 2024.

RECOMMENDATION:

It is recommended that the City Council approve the Order for Suspension regarding the above-referenced violation of alcohol law.

Lead Staff Member: Jessica Grove, Deputy City Attorney

STAFF REVIEWS

Department Director	
Appropriations/Finance	
Legal	
Agenda Acceptance	<i>JA</i>

PUBLICATION(S) (if applicable)

Published In	
Dates(s) Published	

SUBCOMMITTEE REVIEW (if applicable)

Committee			
Date Reviewed			
Recommendation	Yes	No	Split

BEFORE THE CITY OF WEST DES MOINES

Thawee Wathana LLC
5515 Mills Civic Parkway
West Des Moines, IA 50266
Alcohol License No. BW0096909

d/b/a Banana Leaf Asian Bistro
5515 Mills Civic Parkway, Suite 140
West Des Moines, IA 50266

ORDER FOR SUSPENSION

On the 2nd day of January 2024, the West Des Moines City Council has before it a Motion for Suspension. The City FINDS that Thawee Wathana LLC d/b/a Banana Leaf Asian Bistro (“Permittee”) is subject to a mandatory \$500.00 civil penalty prescribed by Iowa Code sections 123.39(4) and 123.50(3)(a) for a violation of Iowa Code section 123.49(2)(h), selling, giving, or otherwise supplying liquor, wine or beer to a person under the legal age. Permittee has not paid the \$500 civil penalty which results in an automatic suspension of the license or permit.

IT IS THEREFORE ORDERED that Permittee shall serve a license suspension, beginning at 6:00 a.m. Thursday, January 4, 2024, and ending 6:00 a.m. Thursday, January 18, 2024.

Greg Hudson, Presiding Officer

Copies emailed to:

West Des Moines Police Entertainment Response Unit Sergeant
West Des Moines Police Entertainment Response Unit Lieutenant
Iowa Alcoholic Beverage Division
West Des Moines City Clerk

**CITY OF WEST DES MOINES
CITY COUNCIL MEETING COMMUNICATION**

ITEM: Appointment of City Clerk and Deputy City Clerk

DATE: January 2, 2024

FINANCIAL IMPACT: None

BACKGROUND: West Des Moines City Code requires the City Council appointment of a City Clerk and a Deputy City Clerk when a new Council is seated after the biannual Municipal Election. We are requesting reappointment of Ryan T. Jacobson as City Clerk and Julius Arrington as Deputy City Clerk for the 2024-2025 Council term.

OUTSTANDING ISSUES (if any): None

RECOMMENDATION:

Motion to appoint Ryan T. Jacobson as City Clerk and Julius Arrington as Deputy City Clerk for the 2024-2025 Council term.

Lead Staff Member: Ryan T. Jacobson, City Clerk RTJ

STAFF REVIEWS

Department Director	Ryan T. Jacobson, City Clerk
Appropriations/Finance	
Legal	
Agenda Acceptance	<i>RTJ</i>

PUBLICATION(S) (if applicable)

Published In	
Dates(s) Published	

SUBCOMMITTEE REVIEW (if applicable)

Committee			
Date Reviewed			
Recommendation	Yes	No	

CITY OF WEST DES MOINES CITY COUNCIL MEETING COMMUNICATION

ITEM: Approving Interfund Transfers

DATE: January 2, 2024

FINANCIAL IMPACT: None

BACKGROUND: Effective April 13, 2019, an update to the Iowa Administrative Rules Code 545-2 now requires greater disclosures for all interfund transfers including the amount, purpose, and originating and receiving fund. The Finance Department continually reviews the status of the City's General, Road Use Tax, Tax Increment Financing, Capital Project, Debt Service, Local Option Sales Tax and Enterprise Funds.

The City of West Des Moines did adopt transfer amounts in the FY 23-24 Budget and Exhibit A represents transfers to be authorized for the fiscal year ended June 30, 2024.

RECOMMENDATION: Approval of Resolution Authorizing Transfer of Funds.

Lead Staff Member: Lesley Montgomery, Accounting Manager *LS*

STAFF REVIEWS

Department Director	Tim Stiles <i>TS</i>
Appropriations/Finance	
Legal	
Agenda Acceptance	<i>AS</i>

PUBLICATION(S) (if applicable)

Published In	Not required
Dates(s) Published	

SUBCOMMITTEE REVIEW (if applicable)

Committee	N/A		
Date Reviewed	N/A		
Recommendation	Yes	No	Split

RESOLUTION AUTHORIZING TRANSFER OF FUNDS

WHEREAS, the City of West Des Moines did adopt transfer amounts in the FY 2023-2024 Budget; and

WHEREAS, Exhibit A represents the transfers to be authorized at this time.

THEREFORE, BE IT RESOLVED BY THE CITY OF WEST DES MOINES, IOWA, that the Accounting Manager be instructed to transfer the appropriate amounts to each fund for the purpose stated in Exhibit A attached.

PASSED AND APPROVED this 2nd day of January, 2024.

Presiding Officer

ATTEST:

Ryan T. Jacobson, City Clerk

EXHIBIT A

#	From	Fund #	To	Fund #	Amount	Purpose
1	Police Custodial	830	General	100	10,105.46	Release police custodial funds to general fund for closed cases
2	Police Custodial	830	State Forfeited Funds	405	17,757.00	Release police custodial funds to state forfeited fund
3	Police Custodial	830	State Forfeited Funds	405	1,891.00	Release police custodial funds to state forfeited fund
4	Police Custodial	830	State Forfeited Funds	405	1,277.00	Release police custodial funds to state forfeited fund
5	Police Custodial	830	General	100	4,405.16	Release police custodial funds to general fund for closed cases

CITY COUNCIL MEETING COMMUNICATION

DATE: January 2, 2024

ITEM: Resolution Approving and Ratifying Fees and Charges – Effective January 2, 2024

FINANCIAL IMPACT: Utilizing usage statistics from FY23 the proposed rates and fees would result in an additional \$43,150 in revenue to the RecPlex for FY25.

BACKGROUND: Staff evaluates fees throughout the year and typically makes recommendations and adjustments twice annually. Fees are adjusted on July 1 at the start of the fiscal year and on January 1 at the beginning of the calendar year. Park Board approved these fees on Thursday, December 21 with a Recommendation to Council for final approval. Fees have gone to Finance and Administration in the past but because of the cancellation for the December 20 meeting, they did not this time. Contract for the upcoming year will be going out in early January so it's imperative these get approved at the beginning of the new year.

The Parks and Recreation Department is proposing the following adjustments:

MidAmerican Energy Company RecPlex Charges and Fees

Type	Current	Proposed	Last Changed
Ice Rental			
Ice Rental – In Season (October – March)	\$285.00/HR	\$295.00/HR	2023
Court Rental			
Full Court Rental – 1 BB/2 VB (Year-Round, All Day)	\$48.00/HR	\$50.00/HR	2023
Outdoor Turf Rental			
Outdoor Field Rental – Full Field (Year-Round, All Day)	\$80.00/HR	\$82.00/HR	2023
Pickleball Court Rental			
Court Rental – Per Hour/Per Court (Red/White/Grey)	\$18.00/HR	\$20.00/HR	2023
Drop-in Fees			
Drop-in Pickleball (Eight players per court)	\$3.00/per session	\$5.00/per session	2021
Birthday Parties			
Esports Party – Additional Participant	\$5.00	\$10.00	2021
Skating Party – Additional Participant	\$15.00	\$20.00	2021

Rental Rates

Rental rates are reviewed regularly to ensure the RecPlex remains competitively priced among comparable facilities within the area while balancing the expectation that revenues derived from rates and fees must cover all operating expenses at the facility.

The proposed rate adjustments will provide an increase in revenue to help offset increases in building operations primarily comprised of staffing, utility, and general operational costs. The proposed adjustments will not create unrealistic year-over-year increases to the many user groups that call the RecPlex home and will remain reasonable for all user demographics.

Birthday Parties

The proposed adjustment to the additional participant fee is consistent with increases in cost for the Esports and Skating parties that were approved in the past. The rate reflects the additional charges to add-on a participant to the base package which is currently 11 kids per party.

OUTSTANDING ISSUES: None

RECOMMENDATION: Approve and ratify the updated list of Consolidated City Fees and Charges with all changes effective July 1, 2024

Lead Staff Member: Shayne Ratcliff, RecPlex General Manager

STAFF REVIEWS

Department Director	Ryan Penning, Director of Parks & Recreation <i>RP</i>
Appropriations/Finance	Tim Stiles, Finance Director <i>(A for TS)</i>
Legal	Greta Truman, City Attorney
Agenda Acceptance	<i>RP</i>

PUBLICATION(S) (if applicable)

Published In	
Dates(s)	

SUBCOMMITTEE REVIEW (if applicable)

Committee	
Date Reviewed	
Recommendation	

RESOLUTION NO. _____

RESOLUTION UPDATING CERTAIN FEES REQUESTED BY STAFF OR AS REQUIRED BY CITY POLICY AND IOWA CODE.

WHEREAS, effort has been made to consolidate all fees, rates, and charges into one reference document to be ratified by Council, and

WHEREAS, various updates to rates are proposed by staff and where applicable, approved by the Library or Water Works Board, or recommended by the West Des Moines Parks Board,

NOW, THEREFORE, BE IT RESOLVED

BY THE COUNCIL OF THE CITY OF WEST DES MOINES, IOWA, that the attached schedule of charges and fees are ratified and approved as January 2, 2024, and

BE IT FURTHER RESOLVED, that previous resolutions in conflict with this resolution are hereby repealed.

PASSED AND APPROVED, this 2nd of January, 2024.

Greg Hudson, Presiding Officer

ATTEST:

Ryan Jacobson, City Clerk

City of West Des Moines, Iowa
Schedule of Rates, Fees, and Charges
Proposed as of January 1, 2024

Description	Fee	Last Change (Approval Date)
I. MidAmerican Energy Company RecPlex*		
Ice Rental		
i. In Season (October – March)	\$ 285 <u>295</u> .00 per hour	Resolution (11/7/2022)
ii. Off Season (April – September)	250.00 per hour	Resolution (6/15/2020)
Court Rental		
i. Full Court (1BB/2 VB)	485 <u>0</u> .00 per hour	Resolution (11/7/2022)
ii. Half Court (1/2 BB/1 VB)	25.00 per hour	Resolution (11/7/2022)
Indoor Turf Rental		
i. Prime – Full Field	400.00 per hour	Resolution (6/15/2020)
ii. Prime – 1/3 Field	160.00 per hour	Resolution (6/15/2020)
iii. 2 nd Tier – Full Field	340.00 per hour	Resolution (6/15/2020)
iv. 2 nd Tier – 1/3 Field	140.00 per hour	Resolution (6/15/2020)
v. 3 rd Tier – Full Field	250.00 per hour	Resolution (6/15/2020)
vi. 3 rd Tier – 1/3 Field	110.00 per hour	Resolution (6/15/2020)
vii. Off Season – Full Field (Apr 15-Nov 15)	125.00 per hour	Resolution (2/01/2021)
viii. Off Season – 1/3 Field (Apr 15-Nov 15)	60.00 per hour	Resolution (11/7/2022)
Performance Center		
i. Full Room	45.00 per hour	Resolution (6/20/2022)
Outdoor Turf Rental		
i. Full Field	808 <u>2</u> .00 per hour	Resolution (11/7/2022)
Multipurpose Sports Areas		
i. Pickleball Court (Single)	182 <u>0</u> .00 per hour	Resolution (2/01/2021)
ii. Practice/Warmup Turf Area – no cages	100.00 per hour	Resolution (6/15/2020)
iii. Practice/Warmup Turf Area – all cages	125.00 per hour	Resolution (6/15/2020)
Batting Cages		
i. Per Tunnel	25.00 per hour	Resolution (6/15/2020)
Multipurpose Rooms		
i. Activities Room	25.00 per hour	Resolution (6/15/2020)
ii. Community Rooms A, B, and C	45.00 per hour	Resolution (6/15/2020)
iii. Overlook Room	35.00 per hour	Resolution (6/15/2020)
E-Sports Room		
i. Full Room	150.00 per hour	Resolution (6/15/2020)
Public Skating		
i. Admission	7.00	Resolution (6/15/2020)
ii. Rental Skates	4.00	Resolution (6/15/2020)
Drop In – Per Session		
i. Open Hockey	8.00	Resolution (6/15/2020)
ii. Open Freestyle	12.00	Resolution (6/15/2020)
iii. Open Freestyle – Coaches fee	10.00	Resolution (6/15/2020)
iv. Open Gym (Basketball/Volleyball)	5.00	Resolution (2/01/2021)
v. Open Gym (Pickleball)	35 <u>0</u> .00	Resolution (2/01/2021)
vi. Open Field (Soccer/Lacrosse)	5.00	Resolution (2/01/2021)
vii. Open Esports (per station)	8.00	Resolution (6/15/2020)
viii. Open Walking	3.00	Resolution (6/15/2020)
ix. Youth Play (5 and under)	1.00	Resolution (6/15/2020)
Special Event Rental – Main Arena Rink, Courts and Turf		
i. Full service (set up & clean up)	8,000.00 per day	Resolution (6/20/2022)
ii. Full service (limited set up & clean up)	2,000.00 per day	Resolution (6/15/2020)
iii. Limited service (minimal set/clean up)	1,000.00 per day	Resolution (6/15/2020)
iv. Limited service (no set up & clean up)	450.00 per day	Resolution (6/15/2020)

City of West Des Moines, Iowa
 Schedule of Rates, Fees, and Charges
 Proposed as of January 1, 2024

Description	Fee	Last Change (Approval Date)
Special Event Rental – Arena 2		
i. Full service (set up & clean up)	4,000.00 per day	Resolution (6/15/2020)
ii. Full service (limited set/clean up)	1,500.00 per day	Resolution (6/15/2020)
iii. Limited service (minimal set/clean up)	1,000.00 per day	Resolution (6/15/2020)
iv. Limited service (no set up & clean up)	450.00 per day	Resolution (6/15/2020)

* RecPlex General Manager has discretion to adjust rental fees to maximize facility use during non-peak days/times

XLVI. Parties

a. Birthday Parties at Nature Lodge (Maximum of 15 Participants)		
i. First 12 (including birthday child)	\$ 160.00 for 2 hours	Resolution (6/15/2020)
ii. Each Participant More than 12	17.00	Resolution (6/15/2020)
b. Birthday Parties at Aquatic Centers (Maximum of 15 Participants)		
i. First 10 (plus 1 adult)	170.00 for 2 hours	Resolution (6/15/2020)
ii. Each Participant More than 10	17.00	Resolution (6/15/2020)
c. Birthday Parties at MidAmerican Energy Rec Plex (Based on 11 Participants)		
i. Activities Room	\$ 150.00 for 2 hours	Resolution (6/21/2021)
1. Each Participant More than 11	5.00	Resolution (6/21/2021)
ii. Overlook Room	\$ 175.00 for 2 hours	Resolution (6/21/2021)
1. Each Participant More than 11	5.00	Resolution (6/21/2021)
iii. Kum & Go Room	\$ 200.00 for 2 hours	Resolution (6/21/2021)
1. Each Participant More than 11	5.00	Resolution (6/21/2021)
iv. During Public Skate	\$ 300.00 for 2 hours	Resolution (6/21/2021)
1. Each Participant More than 11	520.00	Resolution (6/21/2021)
v. Esports Room	\$ 350.00 for 2 hours	Resolution (6/21/2021)
1. Each Participant More than 11	510.00	Resolution (6/21/2021)

XLVII. Crossroads Tennis Court Reservations (1 hour minimum)

a. Non-profit/Schools (Per Hour)	7.00	Resolution (02/21/2021)
b. Public (Per Hour)	10.00	Resolution (02/21/2021)
c. For-Profit/Private Instruction (Per Hour)	20.00	Resolution (02/21/2021)

**CITY OF WEST DES MOINES
CITY COUNCIL MEETING COMMUNICATION**

DATE: January 2, 2024

ITEM:

Resolution – Accepting Work
2022 Street Reconstruction Program

FINANCIAL IMPACT:

The total construction cost for the 2022 Street Reconstruction Program was \$1,480,603.68 which was paid from account no. 500.000.000.5250.490 with the ultimate funding intended to come from Road Use Tax and General Obligation Bonds. The original cost of the project was \$1,597,426.83. There were three (3) Change Orders on the project that totaled (\$116,823.15). Liquidated damages were assessed in the amount of \$14,000.00 for 28 days at \$500.00 per day. In addition, \$47,186.75 was withheld from the final payment to cover expenditures the City realized in repairing fiber conduit network that Shekar Engineering, PLC damaged during construction. The City utilized an on-call contract to perform the repairs to ensure that the repairs were done satisfactorily.

BACKGROUND:

Shekar Engineering, PLC was working under an agreement dated February 21, 2022 for construction services for the 2022 Street Reconstruction Program. The project involved complete reconstruction of 8th Street from just south of Maple Street to just south of Vine Street. The existing roadway pavement was removed and replaced, including portions of the side streets. Roadway pavement replacement was bid as Portland cement concrete (PCC) Alternate 1 versus hot mixed asphalt (HMA) Alternate 2, but ultimately Alternate 1 was the lowest bid and was selected. Storm sewer crossings and intakes were modified, removed/replaced, and relocated. Driveway approaches were replaced and sidewalks were upgraded at intersections where necessary to facilitate driveway approach replacement. The sidewalk/trail and roadway surface along the west side of 8th Street at the intersections with Maple Street and Elm Street is the lid of a reinforced concrete box culvert which were removed and replaced.

This action accepts the public improvements and authorizes staff to pay the retainage no sooner than 30 days.

This agenda item was distributed to the Public Services Council Subcommittee by e-mail only since there was no meeting.

OUTSTANDING ISSUES:

None.


RECOMMENDATION:

City Council Adopt:

- Resolution Accepting Work for the 2022 Street Reconstruction Program.

Lead Staff Member: Brian J. Hemesath, P.E., City Engineer

STAFF REVIEWS

Department Director	Brian J. Hemesath, P.E., City Engineer
Appropriations/Finance	Tim Stiles, Finance Director
Legal	Greta Truman, City Attorney
Agenda Acceptance	

PUBLICATION(S) (if applicable)

Published In	
Dates(s) Published	

SUBCOMMITTEE REVIEW (if applicable)

Committee			
Date Reviewed			
Recommendation	Yes	No	Split

RESOLUTION ACCEPTING WORK

WHEREAS, on February 21, 2022, the City Council entered into a contract with Shekar Engineering, PLC of Des Moines, Iowa, for the following described public improvement:

**2022 Street Reconstruction Program
Project No. 0510-001-2022**

and,

WHEREAS, said contractor has substantially completed the construction of said improvement in accordance with plans and specifications as shown by the report of the City Engineer filed with the City Clerk on January 2, 2024; and,

WHEREAS, the City has retained \$74,030.18 (5%) of the construction costs;

WHEREAS, the City has retained \$14,000.00 in liquidated damages;

WHEREAS, the City has withheld \$47,186.75 from the final payment to cover expenditures the City realized in repairing fiber conduit network that Shekar Engineering, PLC damaged during construction;

therefore,

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF WEST DES MOINES, IOWA, that said report of the City Engineer is hereby approved and said public improvement is accepted as having been substantially completed in accordance with plans and specifications and the total final construction cost of said improvement is \$1,480,603.68 as shown in said report, and that the Finance Director is hereby authorized to make payment to the Contractor in the amount of \$74,030.18, which includes retainage for the project, no sooner than 30 days subject to the Contractor satisfying all the conditions of the contract.

PASSED AND APPROVED on this **2nd** day of **January, 2024**.

Greg Hudson, Presiding Officer

ATTEST:

Ryan T. Jacobson
City Clerk



ENGINEERING SERVICES
4200 Mills Civic Parkway, Suite 2D
PO Box 65320
West Des Moines, IA 50265-0320
(515) 222-3475 Fax (515) 273-0602

RETAINAGE

West Des Moines

Contractor: **Shekar Engineering, PLC**
2600 MLK Jr. Pkwy., #200
Des Moines, IA 50310

Project Title	2022 Street Reconstruction Program	
WDM Project File Number	0510-001-2022	
Purchase Order Number	2022-00000685	
Orig. Contract Amount & Date	\$1,597,426.83	
Estimated Completion Date	09/30/22	
Pay Period End Date	12/4/23	
Pay Request Number	Retainage	
Date	2/5/24	

BID ITEMS							
Item No.	Description	Unit	Est. Qty	Unit Price	Extended Price	Quantity Completed	Value Completed
DIVISION 2 EARTHWORK							
2.01	CLEARING AND GRUBBING	LS	1.00	\$15,000.00	\$15,000.00	1.00	\$15,000.00
2.02	EXCAVATION, CLASS 10, ROADWAY AND BORROW	CY	1066	\$10.00	\$10,660.00	1066	\$10,660.00
2.03	EXCAVATION, CORE-OUT	CY	100	\$25.00	\$2,500.00	99	\$2,467.25
2.04	EARTH SHOULDER FINISHING	STA	39.57	\$350.00	\$13,849.50	39.57	\$13,849.50
2.05	SUBGRADE PREPARATION	SY	9556.3	\$10.00	\$95,563.00	5038.4	\$50,384.40
2.06	SUBGRADE TREATMENT, CEMENT TREATMENT	SY	1991.3	\$26.79	\$53,346.93	0.0	\$0.00
2.07	MODIFIED SUBBASE	SY	8926.3	\$11.00	\$98,189.30	7955.5	\$87,510.72
2.08	SPECIAL BACKFILL	SY	545.4	\$30.00	\$16,362.00	545.4	\$16,362.00
DIVISION 3 TRENCH EXCAVATION AND BACKFILL							
3.01	REPLACEMENT OF UNSUITABLE BACKFILL MATERIA	CY	20	\$40.00	\$800.00	99	\$3,947.60
DIVISION 4 SEWERS AND DRAINS							
4.01	STORM SEWER, TRENCHED, 15 IN. RCP 2000D	LF	137	\$155.00	\$21,235.00	137	\$21,235.00
4.02	STORM SEWER, TRENCHED, 18 IN. RCP 2000D	LF	36	\$165.00	\$5,940.00	105	\$17,318.40
4.03	STORM SEWER, TRENCHED, 18 IN. RCAP 2000D	LF	70	\$170.00	\$11,900.00	0	\$0.00
4.04	STORM SEWER, TRENCHED, 24 IN. RCP 2000D	LF	5	\$190.00	\$950.00	5	\$950.00
4.05	REMOVAL OF STORM SEWER, 12 IN. RCP	LF	8.8	\$25.00	\$220.00	8.8	\$220.00
4.06	REMOVAL OF STORM SEWER, 15 IN. RCP	LF	139.2	\$27.00	\$3,758.40	139.2	\$3,758.40
4.07	REMOVAL OF STORM SEWER, 18 IN. RCP	LF	71.6	\$30.00	\$2,148.00	71.6	\$2,148.00
4.08	REMOVAL OF STORM SEWER, 24 IN. RCP	LF	9.8	\$35.00	\$343.00	9.8	\$343.00
4.09	SUBDRAIN, TYPE 1, CASE C, 6 IN.	LF	2196.3	\$15.00	\$32,944.50	2196.3	\$32,944.50
4.10	SUBDRAIN CLEANOUT, TYPE A-1, 6 IN.	EA	1	\$500.00	\$500.00	1	\$500.00
4.11	SUBDRAIN OUTLETS AND CONNECTIONS, INTO STRUCTURE, 6 IN.	EA	13	\$500.00	\$6,500.00	9	\$4,500.00
DIVISION 5 WATER MAINS AND APPURTENANCES							
5.01	WATER MAIN, TRENCHED, DIP, 8 IN.	LF	60	\$135.00	\$8,100.00	0	\$0.00
DIVISION 6 STRUCTURES FOR SANITARY AND STORM SEWERS							
6.01	INTAKE, SW-503	EA	1	\$3,950.00	\$3,950.00	1	\$3,950.00
6.02	INTAKE, SW-505	EA	3	\$4,500.00	\$13,500.00	3	\$13,500.00
6.03	INTAKE, SW-507	EA	2	\$5,000.00	\$10,000.00	2	\$10,000.00
6.04	INTAKE, SW-509	EA	7	\$5,500.00	\$38,500.00	7	\$38,500.00
6.05	INTAKE ADJUSTMENT, MINOR, SW-501	EA	4	\$2,000.00	\$8,000.00	4	\$8,000.00
6.06	INTAKE ADJUSTMENT, MINOR, SW-505	EA	4	\$2,250.00	\$9,000.00	4	\$9,000.00
6.07	MANHOLE ADJUSTMENT, MINOR	EA	3	\$2,000.00	\$6,000.00	2	\$4,000.00

6.08	CONNECTION TO EXISTING PIPE OR CULVERT	EA	7	\$1,250.00	\$8,750.00	7	\$8,750.00
6.09	REMOVE MANHOLE	EA	2	\$1,500.00	\$3,000.00	2	\$3,000.00
6.10	REMOVE INTAKE	EA	12	\$2,000.00	\$24,000.00	12	\$24,000.00
DIVISION 7 STREETS AND RELATED WORK							
7.01	REMOVAL OF SIDEWALK	SY	319.3	\$5.00	\$1,596.50	330.0	\$1,650.20
7.02	REMOVAL OF DRIVEWAY	SY	930.3	\$6.00	\$5,581.80	921.0	\$5,526.00
7.03	SIDEWALK, PCC, 4 IN.	SY	163.8	\$45.00	\$7,371.00	170.7	\$7,681.05
7.04	SIDEWALK, PCC, 6 IN.	SY	176.5	\$53.00	\$9,354.50	176.5	\$9,354.50
7.05	DETECTABLE WARNING	SF	324	\$45.00	\$14,580.00	324	\$14,580.00
7.06	DRIVEWAY, TYPE A, PCC, 6 IN.	SY	1299.3	\$53.00	\$68,862.90	1322.2	\$70,073.95
7.07	PAVEMENT REMOVAL	SY	7623.5	\$18.00	\$137,223.00	7623.5	\$137,223.00

DIVISION 8 TRAFFIC CONTROL							
8.01	TEMPORARY TRAFFIC CONTROL	LS	1.00	\$12,937.50	\$12,937.50	1.00	\$12,937.50
8.02	REMOVE AND REINSTALL SIGN	EA	2	\$862.50	\$1,725.00	2	\$1,725.00
DIVISION 9 SITE WORK AND LANDSCAPING							
9.01	SOD	SQ	593.0	\$126.50	\$75,014.50	593.0	\$75,014.50
9.02	SWPPP PREPARATION	LS	1.00	\$2,300.00	\$2,300.00	1.00	\$2,300.00
9.03	SWPPP MANAGEMENT	LS	1.00	\$4,600.00	\$4,600.00	1.00	\$4,600.00
9.04	FILTER SOCK, 9 IN.	LF	641	\$4.60	\$2,948.60	641	\$2,948.60
9.05	FILTER SOCK, REMOVAL	LF	641	\$1.15	\$737.15	641	\$737.15
9.06	EROSION CONTROL MULCHING, HYDROMULCHING	AC	1.4	\$5,175.00	\$7,245.00	0.0	\$0.00
9.07	INLET PROTECTION DEVICE	EA	21	\$287.50	\$6,037.50	21	\$6,037.50
9.08	INLET PROTECTION DEVICE, MAINTENANCE	EA	21	\$86.25	\$1,811.25	21	\$1,811.25
DIVISION 11 MISCELLANEOUS							
11.01	CONSTRUCTION SURVEY	LS	1.00	\$28,000.00	\$28,000.00	1.00	\$28,000.00
11.02	MAINTENANCE OF SOLID WASTE COLLECTION	LS	1.00	\$5,000.00	\$5,000.00	1.00	\$5,000.00
11.03	CONCRETE WASHOUT	LS	1.00	\$7,500.00	\$7,500.00	1.00	\$7,500.00
11.04	REMOVE AND REINSTALL JUNCTION BOX	EA	11	\$3,500.00	\$38,500.00	11	\$38,500.00
11.05	PROTECT FIBER LINE	EA	11	\$1,500.00	\$16,500.00	0	\$0.00
11.06	CULVERT REMOVALS	LS	1.00	\$7,500.00	\$7,500.00	1.00	\$7,500.00
11.07	STRUCTURAL CONCRETE	CY	36.2	\$850.00	\$30,770.00	36.2	\$30,770.00
11.08	EPOXY COATED REINFORCING	LB	6442	\$3.50	\$22,547.00	6442	\$22,547.00
11.09	CONCRETE REPAIR	SF	4	\$1,000.00	\$4,000.00	3	\$2,940.00
ALTERNATE 1 - 7 IN. REINFORCED PCC PAVEMENT							
20.01	EXCAVATION, CLASS 10, WASTE	CY	1954	\$10.00	\$19,540.00	1954	\$19,540.00
20.02	PAVEMENT, REINFORCED PCC, 7 IN.	SY	7825.5	\$68.00	\$532,134.00	7825.5	\$532,134.00
CHANGE ORDER 1							
1.01	PDMS Display Boards	Day/EA	14.00	\$292.50	\$4,095.00	14.00	\$4,095.00
1.02	Investigating existing water service at old storm intake.	LS	1.00	\$3,169.21	\$3,169.21	1.00	\$3,169.21
1.03	Removing abandoned watermain per LF (3 sections)	LF	16.00	\$30.00	\$480.00	16.00	\$480.00
1.04	Plug cut ends of abandoned watermain with concrete	EA	6	\$25.00	\$150.00	6	\$150.00
CHANGE ORDER 2							
2.01	Temporary access for 536 8th st	TN	50.00	\$75.00	\$3,750.00	66.06	\$4,954.50
2.02	Gate at 504 8th ST - materials	LS	1.00	\$80.00	\$80.00	1.00	\$80.00
2.03	Gate at 504 8th ST - labor	MH	6.00	\$45.00	\$270.00	6.00	\$270.00
2.04	Valve box replacement - valve riser	EA	2	\$250.00	\$500.00	2.00	\$500.00
2.05	Valve box replacement - replacement	EA	2.00	\$2,250.00	\$4,500.00	2.00	\$4,500.00
2.06	Storm MH - labor for demo	MH	28.00	\$45.00	\$1,260.00	28.00	\$1,260.00
2.07	Storm MH - equipment for demo	LS	1.00	\$450.00	\$450.00	1.00	\$450.00
2.08	Storm MH - labor form/cure/strip	MH	36	\$45.00	\$1,620.00	36.00	\$1,620.00
2.09	Storm MH - form Material	LS	1.00	\$500.00	\$500.00	1.00	\$500.00
2.10	Storm MH - concrete	CY	1.00	\$195.00	\$195.00	1.00	\$195.00
2.11	Storm MH - casting	LS	1.00	\$1,100.00	\$1,100.00	1.00	\$1,100.00
2.12	Curb demo - operator labor	MH	6	\$50.00	\$300.00	6.00	\$300.00
2.13	Curb demo - general labor	MH	4.00	\$40.00	\$160.00	4.00	\$160.00
2.14	Curb demo - JD50 Equipment	HR	4.00	\$85.00	\$340.00	4.00	\$340.00
2.15	Curb demo - skidloader equipment	HR	2.00	\$75.00	\$150.00	2.00	\$150.00
2.16	Curb demo - hauling via sub	HR	2	\$150.00	\$300.00	6.00	\$900.00
				TOTAL	\$1,605,321.04		\$1,480,603.68

MATERIALS STORED SUMMARY			
Description	# of Units	Unit Price	Extended Cost
			\$0.00
			\$0.00
TOTAL			\$0.00

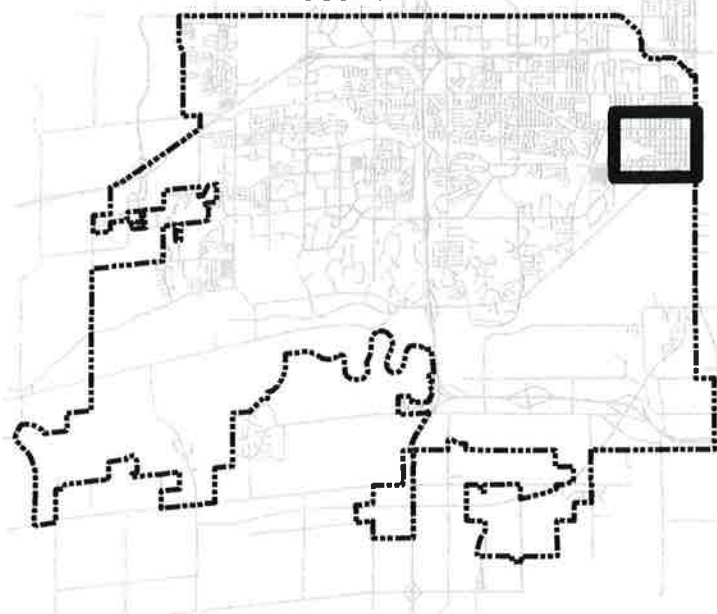
PAY REQUEST SUMMARY		
	Total Approved	Total Completed
Contract Price	\$1,597,426.83	\$1,480,603.68
Approved Change Order 1	\$7,894.21	
Approved Change Order 2	\$15,475.00	
Approved Change Order 3	(\$140,192.36)	
Revised Contract Price	\$1,480,603.68	\$1,480,603.68
Less Estimated Grinding and Sealing		\$0.00
Liquidated Damages		\$14,000.00
Conduit Damages		\$47,186.75
Retainage (0%)		\$0.00
Total Earned Less Retainage		\$1,419,416.93
Total Previously Approved (list each)	Pay Request 1	\$177,077.82
	Pay Request 2	\$380,971.00
	Pay Request 3	\$656,658.63
	Pay Request 4	\$81,477.88
	Pay Request 5	\$32,785.90
	Pay Request 6	\$16,415.52
Total Previously Approved		\$1,345,386.75
Amount Due This Request		\$74,030.18
Percent Complete		100%
Percent of Contract Period Utilized		100%

The amount **\$74,030.18** is recommended for approval for payment in accordance with the terms of the Contract

Contractor: {{Cmpy2_es_;signer2:company }} Signature: {{Sig2_es_;signer2:signature }} Name: {{Name2_es_;signer2:fullname}} Title: {{Tit2_es_;signer2:title }} Date: {{Dte2_es_;signer2:date }} City of West Des Moines	Recommended By: {{Cmpy1_es_;signer1:company }} Signature: {{Sig1_es_;signer1:signature }} Name: {{Name1_es_;signer1:fullname}} Title: {{Tit1_es_;signer1:title }} Date: {{Dte1_es_;signer1:date }} City of West Des Moines	Checked By: <small>{{Tit5_es_;signer5:fullname}}</small> <small>{{Sig5_es_;signer5:signature}}</small> Signature: {{Sig5_es_;signer5:signature }} Name: {{Name5_es_;signer5:fullname}} Title: {{Tit5_es_;signer5:title }} Date: {{Dte5_es_;signer5:date }} City of West Des Moines



VICINITY MAP



LEGEND

PROJECT LOCATION



PROJECT:

2022 Street Reconstruction Program

LOCATION:

Exhibit "A"

DRAWN BY: JPM

DATE: 1/4/2022

PROJECT NUMBER/NAME: 0510-001-2022

SHT. 1 of 1

**CITY OF WEST DES MOINES
CITY COUNCIL MEETING COMMUNICATION**

DATE: January 02, 2024

ITEM:

Resolution – Approval of First Amendment to Conduit License Agreement between City of West Des Moines and Iowa Network Services, Inc. (dba Aureon Network Services)

FINANCIAL IMPACT:

Approximately \$3,997.00 in conduit lease revenue.

BACKGROUND:

In March 2022 the City and Iowa Network Services, Inc. (dba Aureon Network Services) executed a license agreement that allows Iowa Network Services, Inc. (dba Aureon Network Services) to access a segment of Local Access conduit that is not yet part of the Digital Enterprise Conduit Network. The 4,216 lineal feet of licensed conduit, which is located along the south side of Grand Avenue between South 88th St and South Jordan Creek Parkway, was installed with funds separate from the funds used for the Conduit Network. This conduit was installed with the 2019 Grand Avenue Improvements project.

Iowa Network Services, Inc. (dba Aureon Network Services) has requested to amend the Agreement to enable the licensing of 627 feet of additional conduit located in the South 11th Street right-of-way between Railroad Avenue and Lincoln Street. Per the terms of the Agreement, the per lineal-foot license fee is \$7.00, with a lump sum payment for this segment of conduit to be \$3,997.00. The term length of this amendment will be prorated to expire on the same date as the initial term. In addition, a proposed term of the First Amendment to the Agreement will also allow Iowa Network Services, Inc. (dba Aureon Network Services) to add additional conduit to the Agreement administratively if agreed upon by both the city and Iowa Network Services, Inc. (dba Aureon Network Services). All other terms of the original Agreement will remain the same. The term of the Agreement is twenty years, with the option for Iowa Network Services, Inc. (dba Aureon Network Services) to renew the Agreement for two successive five-year terms.


OUTSTANDING ISSUES: None

RECOMMENDATION:

- Approve the First Amendment to the Conduit License Agreement between the City of West Des Moines and Iowa Network Services, Inc. (dba Aureon Network Services)

Lead Staff Member: Brian J. Hemesath, P.E., City Engineer

STAFF REVIEWS

Department Director	Brian J. Hemesath, P.E., City Engineer
Appropriations/Finance	Tim Stiles, Finance Director
Legal	Greta Truman, Assistant City Attorney
Agenda Acceptance	

PUBLICATION(S) (if applicable)

Published In	
Dates(s) Published	

SUBCOMMITTEE REVIEW (if applicable)

Committee	Public Services		
Date Reviewed	December 11, 2023		
Recommendation	Yes	No	Split

RESOLUTION NO. _____

RESOLUTION APPROVING FIRST AMENDMENT TO CONDUIT LICENSE AGREEMENT BETWEEN THE CITY OF WEST DES MOINES, IOWA AND IOWA NETWORK SERVICES, INC. DBA AUREON NETWORK SERVICES

WHEREAS, on March 21, 2022 the City of West Des Moines approved a conduit license agreement between the City and Iowa Network Services, Inc. (dba Aureon Network Services) governing the terms and conditions in which the City will reserve space within the City's conduit system to accommodate the installation and maintenance of Iowa Network Services, Inc. (dba Aureon Network Services) fiber optic cable in connection with the provision of communication services by Iowa Network Services, Inc. (dba Aureon Network Services) in the city; and

WHEREAS, Iowa Network Services, Inc. (dba Aureon Network Services) has requested an amendment to the agreement to allow the reservation of additional City conduit for use by Iowa Network Services, Inc. (dba Aureon Network Services) upon mutual written agreement of the parties; and

WHEREAS, the attached First Amendment to the Conduit License Agreement between the City of West Des Moines, Iowa and Iowa Network Services, Inc. (dba Aureon Network Services) allows the reservation of City conduit for use by Iowa Network Services, Inc. (dba Aureon Network Services) to be added to the Agreement administratively upon mutual written agreement of the parties.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF WEST DES MOINES, IOWA THAT:

1. The First Amendment to the Conduit License Agreement between the City of West Des Moines, Iowa and Iowa Network Services, Inc. (dba Aureon Network Services) is approved.
2. The Mayor is authorized to sign the Agreement and the City Clerk is directed to attest to the Mayor's signature.

PASSED AND ADOPTED on this **2nd** day of **January, 2024**.

Greg Hudson, Presiding Officer

ATTEST:

Ryan T. Jacobson, City Clerk

**FIRST AMENDMENT TO CONDUIT LICENSE AGREEMENT BETWEEN THE CITY
OF WEST DES MOINES, IOWA AND IOWA NETWORK SERVICES, INC. (DBA
AUREON NETWORK SERVICES)**

THIS FIRST AMENDMENT TO THE Conduit License Agreement between the City of West Des Moines, Iowa and Iowa Network Services, Inc. (dba Aureon Network Services) (“First Amendment”) is entered and shall be effective as of January 2, 2024.

RECITALS

WHEREAS, on March 10, 2022 Iowa Network Services, Inc. (dba Aureon Network Services) executed the Conduit License Agreement between the City of West Des Moines, Iowa and Iowa Network Services, Inc. (dba Aureon Network Services) (“Agreement”) and on March 21, 2022 the City Council of the City of West Des Moines approved the Agreement; and

WHEREAS, the Agreement provided for the reservation by Iowa Network Services, Inc. (dba Aureon Network Services) of City conduit, which was to be identified in subsequent amendments, by exhibit the specific areas of the City in which the conduit reserved by Iowa Network Services, Inc. (dba Aureon Network Services) is located; and

WHEREAS, the parties acknowledge the potential need by Iowa Network Services, Inc. (dba Aureon Network Services) to reserve additional conduit in as-of-yet to be identified areas of the City; and

WHEREAS, the parties desire the ability to administratively amend the Agreement to add conduit at such time as Iowa Network Services, Inc. (dba Aureon Network Services) identifies the specific area of the City in which the conduit is required; and

WHEREAS, the following provision authorize the parties to administratively amend the Agreement in order to add exhibits identifying specific areas of the City in which City conduit will be reserved for use by Iowa Network Services, Inc. (dba Aureon Network Services).

NOW, THEREFORE, in consideration of the mutual promises of the Parties the mutual covenants, conditions and consideration stated in the Agreement and this First Amendment to the Agreement, the Parties hereby agree as follows:

1. Section 1, subsection 1.1, paragraph (xii) of the Agreement is amended by deleting this subsection in its entirety and replacing it with the following:

“Licensed Conduit” means all or a portion of City Conduit specifically identified in Exhibit A, Exhibit A-1 or in such other exhibits subsequently added administratively by mutual written agreement of the Parties, in which space shall be reserved and/or designated for Iowa Network Services, Inc. (dba Aureon Network Services) to “pull” or “run” and then maintain Fiber Optic Cable in accordance with and subject to the terms of this Agreement.

2. Section 10, subsection 10.2 of the Agreement is amended by deleting this subsection in its entirety and replacing it with the following:

Amendments. This Agreement may be administratively amended from time to time by mutual written agreement of the Parties.

3. Exhibit A is hereby amended by adding the following:

EXHIBIT A-1
Licensed Conduit

For purposes of this Agreement, Licensed Conduit shall also mean:

Approximately 627 linear feet of 1.5” conduit, beginning near the intersection of Railroad Avenue and S 11th Street, running along the west side of S 11th Street (see depiction below).

4. All other terms and conditions of the Agreement as originally written and not in conflict with the amendments made herein shall remain unchanged.

IN WITNESS WHEREOF, the parties hereto have caused this First Amendment to be executed by its duly authorized respective officers.

CITY OF WEST DES MOINES, IOWA
an Iowa municipal corporation

Greg Hudson, Presiding Officer

ATTEST:

Ryan T. Jacobson, City Clerk

STATE OF IOWA)
) SS:
COUNTY OF POLK)

On this 2nd day of January, 2024, before me, the undersigned, a Notary Public in and for the State of Iowa, personally appeared **PRESIDING OFFICER and RYAN T. JACOBSON**, to me personally known, and, who, being by me duly sworn, did say that they are the Mayor and City Clerk, respectively, of the **CITY OF WEST DES MOINES, IOWA**, an Iowa municipal corporation; that the record was signed on behalf of the corporation, by authority of its City Council as contained in Resolution 4() approved on the 2nd day of January, 2024 and that **PRESIDING OFFICER and RYAN T. JACOBSON** acknowledged the execution of the instrument to be their voluntary act and deed and the voluntary act and deed of the corporation by it voluntarily executed.

Notary Public in and for the State of Iowa

IOWA NETWORK SERVICES, INC. (DBA AUREON NETWORK SERVICES)

Scott Behn, CEO

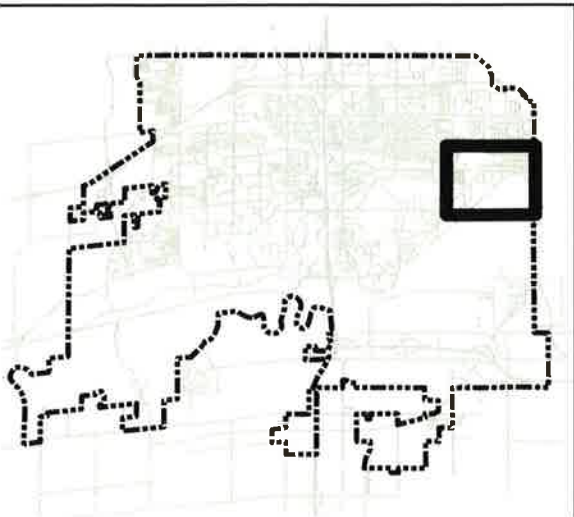
STATE OF _____)
) SS:
COUNTY OF _____)

This record was acknowledged before me on this ___ day of _____, 2023 by
SCOTT BEHN, CEO of Iowa Network Services, Inc. (dba Aureon Network Services) on behalf of whom the
record was executed.

Notary Public in and for the State Iowa



VICINITY MAP



Length of 1.5" Orange conduit between points A and B is 214 feet and between points C and D is 413 feet.



**CITY OF WEST DES MOINES
CITY COUNCIL MEETING COMMUNICATION**

DATE: January 2, 2024

ITEM: Resolution – Authorizing Application for Transportation Alternatives Program (TAP) Grant Funding – Des Moines Area Metropolitan Planning Organization

FINANCIAL IMPACT: Potentially up to \$600,000.

BACKGROUND: The Des Moines Area Metropolitan Planning Organization (MPO) is accepting Transportation Alternatives Program (TAP) aka Surface Transportation Block Grant (STBG) Set-Aside applications from member governments. Applications are due January 5, 2024. The MPO will evaluate applications and announce grant funding recommendations in March 2024 for Federal Fiscal Year 2028.




The TAP grant application is for the Raccoon River East Greenway Trail project that would extend a paved trail from Raccoon River Park to 1st Street within a greenway corridor. The Raccoon River East Greenway Trail would form a portion of the Five Waters Marathon Loop Trail as well as create a new 10K loop that would include the Levee and Raccoon River Park trails. The total estimated cost of the project is \$1,725,000 including design, construction, resident services, and contingency.

The TAP program requires the recipient of funds to commit non-federal matching funds equal to at least 20% of the total project cost. No City funding for the project has been budgeted to date. \$250,000 is being requested for design and engineering in the FY 24-25 CIP program. The City’s remaining share for construction would be budgeted as part of a future CIP request with the intent to construct the improvements in 2027-2028. The application currently indicates the City would commit 65% of the funds to the project. The City would potentially be able to reduce its share of the project by applying for an additional TAP funding as part of FFY 2029 request. This item was distributed and approved by the Grant Review Team on December 18, 2023.

RECOMMENDATION: That the Council authorize staff to file an application for the listed project and that the Council authorize the Mayor and the City Manager to act on the City’s behalf in filing the application, approve the indicated priority and match amounts for the project, and agree to maintain the completed project for at least twenty years, as indicated in the proposed resolution.

Lead Staff Member: Marco Alvarez, Superintendent of Parks 

STAFF REVIEWS

Department Director	Ryan Penning, Director of Parks & Recreation 
Appropriations/Finance	Tim Stiles, Finance Director 
Legal	Assistant City Attorney, Greta Truman
Agenda Acceptance	

PUBLICATION(S) (if applicable)

Published In	
Dates(s) Published	

SUBCOMMITTEE REVIEW (if applicable)

Committee	Grant Review Team		
Date Reviewed	12/18/23		
Recommendation	Yes	No	Split

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF WEST DES MOINES, IOWA, AUTHORIZING THE CITY TO SUBMIT AN APPLICATION TO THE DES MOINES METROPOLITAN PLANNING ORGANIZATION FOR FEDERAL TRANSPORTATION ALTERNATIVES PROGRAM GRANT FUNDING FOR FFY 2028 AND PLEDGING THAT THE CITY WILL PROVIDE MATCHING FUNDS FOR FEDERAL FUNDS RECEIVED

WHEREAS, the City of West Des Moines is a full member of the Des Moines Area Metropolitan Planning Organization; and

WHEREAS, the Federal Transportation Alternatives Program (TAP) provides funding to local jurisdictions for the construction of eligible projects; and

WHEREAS, the program is administered by the Des Moines Area Metropolitan Planning Organization which prioritizes and ranks all project applications; and

WHEREAS, the City Council of the City of West Des Moines, on January 2, 2024, directed staff to file an application for Transportation Alternatives Program (TAP) funding for Federal Fiscal Year 2028;

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF WEST DES MOINES HEREBY RESOLVES AS FOLLOWS:

SECTION 1. The City Council authorizes the City Manager and the Mayor to sign the application to the Des Moines Metropolitan Planning Organization and sign all pertinent papers on behalf of the City as they relate to this application.

SECTION 2. The City of West Des Moines supports and approves the application for a Federal Transportation Alternatives Program grant for the project identified in Exhibit A.

SECTION 3. The City of West Des Moines pledges matching funds for federal funds received, as required by the Federal Transportation Alternatives Program.

SECTION 4. The City of West Des Moines accepts and agrees to maintain improvements partially funded by the Federal Transportation Alternatives Program for a minimum of twenty (20) years upon completion of the project.

PASSED AND ADOPTED this 2nd day of January, 2024.

Greg Hudson, Presiding Officer

I HEREBY CERTIFY that the foregoing resolution was duly adopted by the City Council of the City of West Des Moines, Iowa, at a regular meeting held on January 2, 2024, by the following vote:

ATTEST:

Ryan Jacobson, City Clerk

Exhibit A

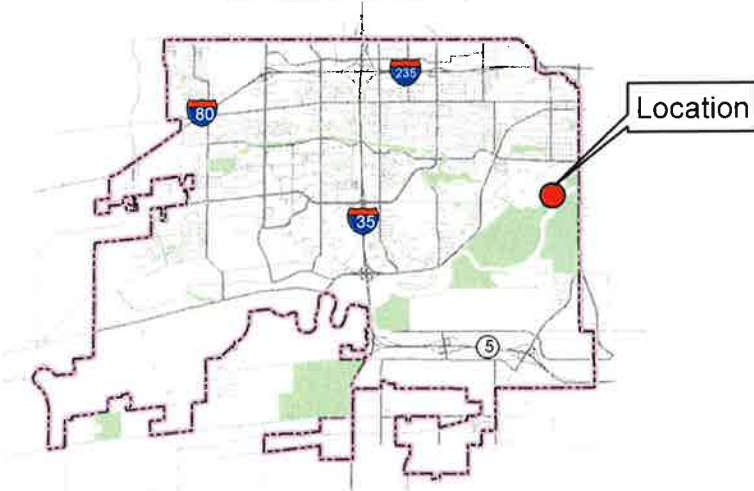
**City of West Des Moines
Transportation Alternatives Program Application
January 2024
For Federal Fiscal Year 2028**

Transportation Alternatives Program	Total Est. Cost	TAP Funds Already Awarded	FY 2028 TAP Funds Request	City Match	Match Percent
Raccoon River East Greenway Trail	\$1,725,000	\$0	\$600,000	\$1,125,000*	65%*

*The City would potentially be able to reduce its share of the project by applying for additional TAP funding with Federal Fiscal Year 2029 request.

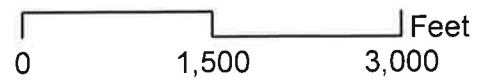


VICINITY MAP



LEGEND

- Park & Greenway
- Existing Multi-Use Trail
- Proposed Multi-Use Trail



	PROJECT: 2028 TRANSPORTATION ALTERNATIVE PROGRAM (TAP) GRANT APPLICATION			
	LOCATION: RACCOON RIVER EAST GREENWAY TRAIL			
	DRAWN BY: MAA	DATE: 12/27/2023	PROJECT NO.:	SHT. 1 of 1

**CITY OF WEST DES MOINES
CITY COUNCIL MEETING COMMUNICATION**

DATE: January 2, 2024

ITEM: Woodland Estates Development – Approval and Acceptance of Parkland Dedication Agreement – Silo 9 Plat 1, LLC

Resolution – Approval and Acceptance of Parkland Dedication Agreement

FINANCIAL IMPACT: Undetermined



BACKGROUND: The Council approved the Woodland Estates Development Plat 1 on February 21, 2022 and Plats 2 & 3 on December 18, 2023. As part of the review and approval of any development application containing residential development, parkland dedication is required to provide for recreational opportunities for the residents of this development. Approval of the Woodland Estates Plat 1 Final Plat included a condition of approval requiring the provision of the executed Parkland Dedication Agreement with the plat which contains the park ground, which would have been Plat 3. Changes to the terms of the original agreement in regard to the total number of lots within the subdivision and the amenities to be provided have been made that required the agreement be re-presented to the Parks Board for their consideration. The Parkland Dedication agreement was previously presented to the Park and Recreation Advisory Board at their September 21, 2021 meeting and was re-presented with the updated terms to the Board at their December 21, 2023 meeting and recommended approving.

OUTSTANDING ISSUES: None.

RECOMMENDATION: That the Council adopt a resolution approving and accepting the Woodland Estates Parkland Dedication Agreement

Lead Staff Member: Marco Alvarez, Superintendent of Parks 

STAFF REVIEWS

Department Director	Ryan Penning, Director of Parks and Recreation 
Appropriations/Finance	Tim Stiles, Finance Director
Legal	Jessica Grove, Assistant City Attorney
Agenda Acceptance	

PUBLICATION(S) (if applicable)

Published In	N/A
Dates(s) Published	N/A

SUBCOMMITTEE REVIEW (if applicable)

Committee	N/A		
Date Reviewed			
Recommendation	Yes	No	Split

RESOLUTION

**A RESOLUTION APPROVING AND ACCEPTING A PARKLAND DEDICATION AGREEMENT
RELATED TO THE SITE PLAN APPROVAL FOR
WOODLAND ESTATES DEVELOPMENT**

WHEREAS, it is the policy of the City of West Des Moines, Iowa to approve and accept agreements dedicating land for recreational purposes to satisfy the provisions of the Municipal Code; and

WHEREAS, the following document has been presented to the City for approval and acceptance;

Parkland Dedication Agreement for Woodland Estates Development

WHEREAS, it is in the best interest of the citizens of the City to approve and accept the above-described document.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF WEST DES MOINES, IOWA THAT the document described is hereby approved and accepted and shall be filed with the county recorder as appropriate.

PASSED AND APPROVED this 2nd day of January, 2024.

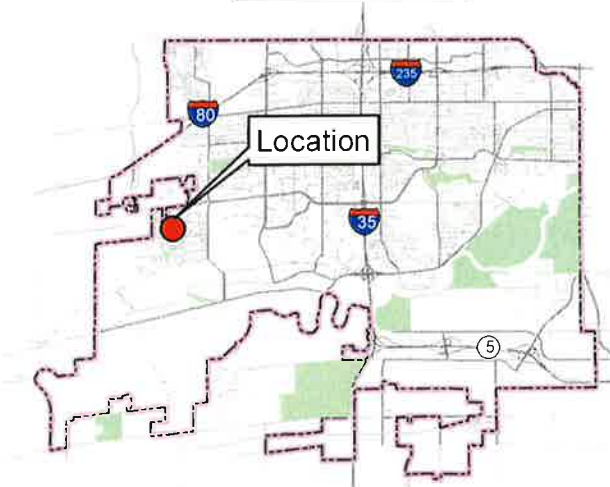
Greg Hudson, Presiding Officer

ATTEST:


Ryan T. Jacobson, City Clerk

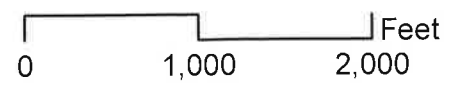


VICINITY MAP



LEGEND

 Park & Greenway



	PROJECT: WOODLAND ESTATES DEVELOPMENT - PARKLAND DEDICATION AGREEMENT			
	LOCATION: S 95TH STREET AND CASCADE AVENUE			
DRAWN BY: MAA	DATE: 12/27/2023	PROJECT NO.:	SHT. 1 of 1	

Prepared by: Jessica D. Grove, City of West Des Moines Choose an item. Dept., PO Box 65320,
West Des Moines, Iowa 50265-0320 515-222-3620

Return to: City Clerk, City of West Des Moines, PO Box 65320, West Des Moines, IA 50265 (515) 222-3600

SPACE ABOVE THIS LINE FOR RECORDER

PARKLAND DEDICATION AGREEMENT DEDICATION OF PARK & GREENWAY LANDS AND PROVISION OF PUBLIC IMPROVEMENTS

Agreement between the City of West Des Moines and Silo 9 Plat 1, LLC, an Iowa limited liability company (Property Owner and Developer) for Dedication of Park & Greenway Lands and Improvements as a Condition of Approval for the Development Application for Woodland Estates Development (Plats 1 - 4)

WHEREAS, West Des Moines Municipal Code Section 10-1-4 (“Ordinance”) provides that the Developer shall dedicate land for the public use for park purposes and for greenway use; and

WHEREAS, the Ordinance provides that the Developer may present a plan as an alternative to park or greenway land dedication; and

WHEREAS, said alternative plan must meet the purposes of the park and greenway dedication provisions and directly and proportionately benefit the Development seeking approval; and

WHEREAS, on December 21, 2023, the West Des Moines Parks and Recreation Advisory Board reviewed the alternative plan submitted by the Developer and has found that said plan meets the purposes of the park and greenway dedication provisions and directly and proportionately benefits the applied-for development; and

WHEREAS, this Parkland Agreement (“Agreement”) entered into between the City of West Des Moines, an Iowa municipal corporation (“City”) and **Silo 9 Plat 1, LLC, an Iowa limited liability company (Property Owner and Developer)**, is intended to regulate the required park and greenway lands dedication under the Ordinance by the Developer, and to maximize park

land usefulness by providing for joint dedication of lands with other developments in the same park districts.

WHEREFORE, be it agreed by the parties to this Agreement as follows:

1. The parkland dedication requirements are calculated as follows:
 - a. Woodland Estates (Final Plat 1, Final Plat 2, Final Plat 3, Future Final Plat 4/Phasing Plan), as submitted (See Attachments B, C, D & E) with 81 proposed residential lots requires dedication of 1.44 acres (consisting of 0.56 park acres and 0.88 greenway acres) of lands to satisfy the provisions of the Ordinance. (See Attachment A for “Parkland Dedication Requirements”).
2. As an alternate to land dedication, the Developer shall provide ‘On Site Open Space’ within the actual development site on Woodland Estates Plat 3, Outlot Z (Private Parkland), to fulfill the requirement. This area to include a recreational based open space will include a mown walking path. The Private Parkland shall allow full access to all residents of this development and cover 1.48 acres of the Parkland Dedication Requirements. (See Attachment D).
3. The Developer shall allow full access to all residents of the Woodland Estates Development to the Private Parkland. The Developer shall not adopt or enforce any restrictive covenant that restricts access in any manner to any resident of the Woodland Estates Development to the Private Parkland.
4. The Developer shall be responsible for all future maintenance, including by not limited to maintaining a mown path within the required Private Parkland. The Developer may assign this responsibility to the Woodland Estates Owners Association, Inc., a non-profit corporation (Homeowners Association) and thereafter such future maintenance shall be the sole responsibility of said Homeowners Association.
5. Failure by Developer to fully perform the obligations detailed in this Agreement is a violation of the conditions of approval for the Development Application. If such failure to perform occurs, the City may take any legal action to enforce performance and the City may deem said failure to perform to be a Municipal Infraction, as provided by Section 1-4-1 of the West Des Moines Municipal Code. The City may also elect to withhold a Certificate of Occupancy until all of the Property Owners and Developer’s obligations have been fulfilled.
6. The person signing this Agreement on behalf of the Developer and Owner warrants that he or she possesses the authority to sign on behalf of the Developer and Owner or has received approval by the officials, executives, or members of the Developer and Owner to bind the Developer and Owner to the terms of this Agreement.
7. The Developer and Owner acknowledges and agree that the terms of this Agreement shall be binding upon its respective heirs, assigns, successors in interest, or lessees, if any.

8. This Agreement shall become binding upon the Parties once the City officially approves and accepts it, which approval and acceptance shall be noted on this Agreement by the signature of the Mayor and City Clerk.

Silo 9 Plat 1, LLC, an Iowa limited liability company, Owner and Developer

By: 
Jake Ried, Manager

STATE OF IOWA)
) ss
COUNTY OF Dallas)

This record was acknowledged before me this 21 day of Dec., 2023 by **Jake Ried, Manager of Silo Plat 1, LLC, an Iowa limited liability company** on behalf of whom the record was executed.




Notary Public

CITY OF WEST DES MOINES, IOWA:

Presiding Officer

ATTEST:

Ryan T. Jacobson, City Clerk

STATE OF IOWA)
)ss
COUNTY OF POLK)

On this ____ day of _____, 20__, before me a Notary Public in and for said County, personally appeared Russ Trimble and Ryan T. Jacobson, to me personally known, who being duly sworn, did say that they are the Mayor and City Clerk, respectively of the City of West Des Moines, Iowa, a municipal corporation, created and existing under the laws of the State of Iowa and that said record was signed on behalf of said municipal corporation by authority and resolution of its City Council as contained in Roll Call No. _____, passed on the _____ day of _____, 20__, and said Mayor and City Clerk acknowledged said record to be the free act and deed of said municipal corporation by it voluntarily executed.

Notary Public

PARKLAND DEDICATION REQUIREMENTS

12/5/2023

Project Location: Developer:
Woodlands Silo 9 Plat 1, LLC,
Estates Jake Reid

	# units	Population Multiplier	Estimated Population	Per 1000 people	Park Dedication Factor	Greenway Dedication Factor
<u>Single Family Detached</u>						
Description: Final Plat 1	22	2.90	63.8			
Final Plat 2	27	2.90	78.3			
Final Plat 3	10	2.90	29			
Future Plat 4	22	2.90	63.8			
TOTAL	81		234.9			
<u>Single Family Attached</u>						
Description: Townhome/Condos	0	1.63	0			
TOTAL	0		0			
<u>Multifamily Unit</u>						
Description: Apartments	0	1.73	0			
TOTAL	0		0			
TOTAL POPULATION			234.9	0.2349	2.39	3.76
Park Dedication (Acres)			0.56			
Greenway Dedication (Acres)			0.88			
TOTAL DEDICATION (Acres)			1.44			

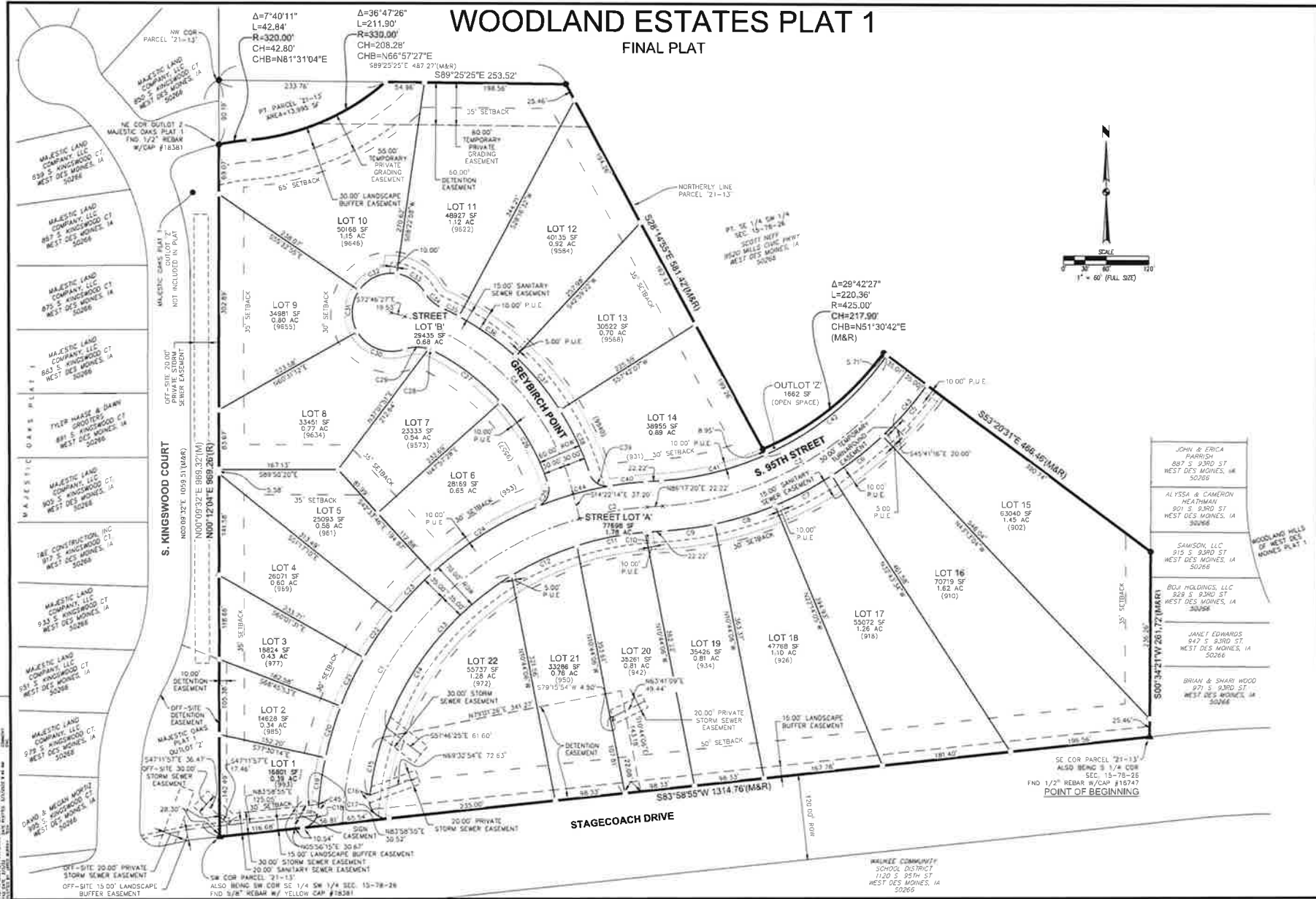
Proposed alternative to fulfill parkland requirement:

Calculations taken from Woodland Estates Final Plats 1, 2, 3 and Phasing Exhibit (Future Plat 4)

The developer has provided a location for an on-site private park located on Woodland Estates Plat 3, Outlot Z, 1.48 acres, to serve the residents of this development. The private park includes mown trails.

ATTACHMENT B

WOODLAND ESTATES PLAT 1
FINAL PLAT



DATE	2/2/2011
DRAWN BY	W. MICHAEL JOWA
CHECKED BY	W. MICHAEL JOWA
SCALE	1" = 60' (FULL SIZE)
PROJECT	WOODLAND ESTATES PLAT 1
CLIENT	WOODLAND ESTATES PLAT 1
ENGINEER	W. MICHAEL JOWA
TECH	W. MICHAEL JOWA
REVIEW	W. MICHAEL JOWA

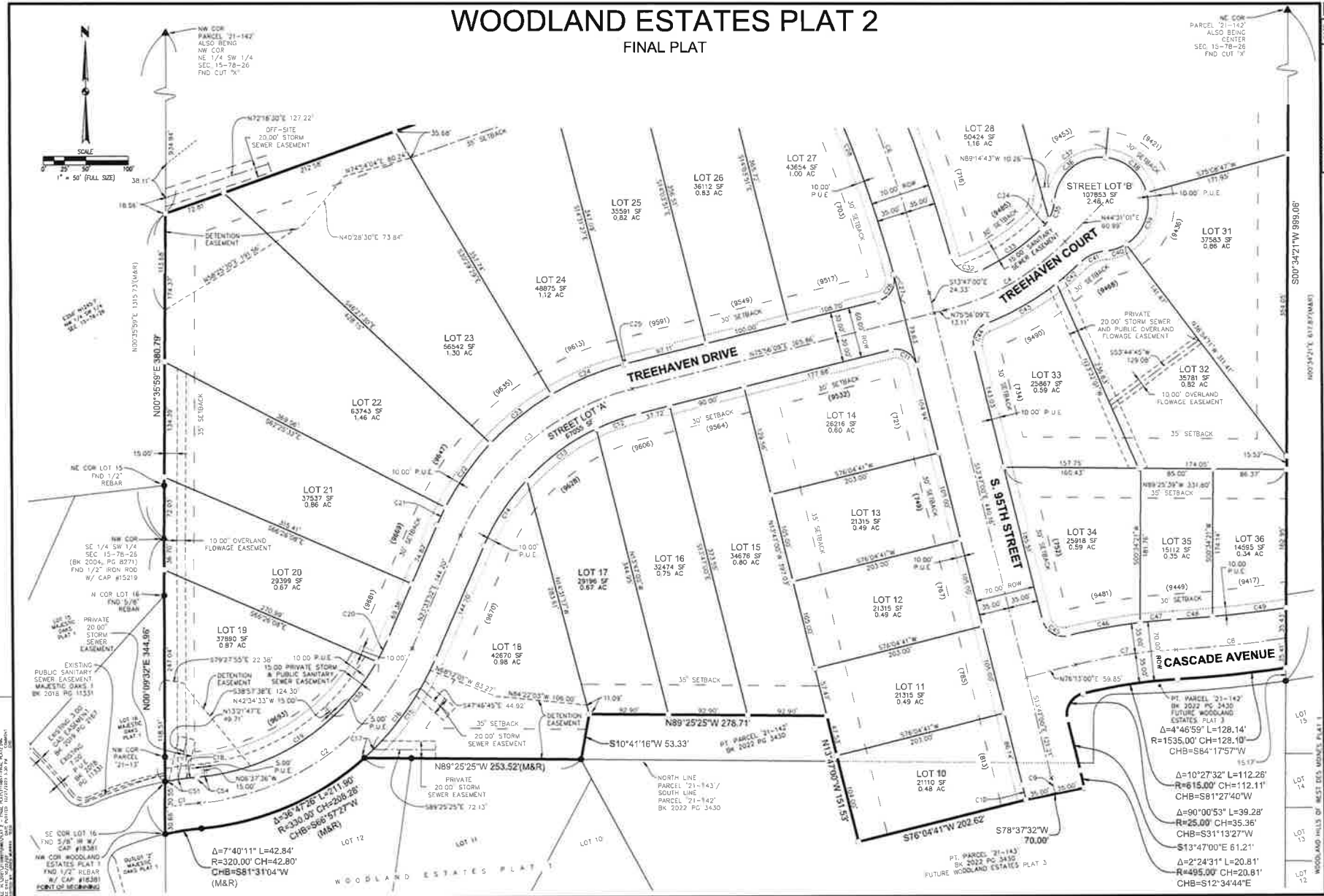
3405 S.E. CROSSROADS DRIVE, SUITE G
CRIMES, IOWA 50111
PHONE: (515) 389-4100

WOODLAND ESTATES PLAT 1
FINAL PLAT

2/2
2011.635

ATTACHMENT C1

WOODLAND ESTATES PLAT 2
FINAL PLAT



DATE	12/20/22
BY	12/20/22
FOR	12/20/22
PROJECT	12/20/22
CLIENT	12/20/22
ENGINEER	12/20/22
TECH	12/20/22
REVIEW	12/20/22

4121 NW URBANDALE DRIVE
PHOENIX, AZ 85029
PHONE: (602) 968-4400

EA
CIVIL DESIGN ADVANTAGE

WEST DESIGNS, INC. ENGINEER

2 WOODLAND ESTATES PLAT 2
FINAL PLAT

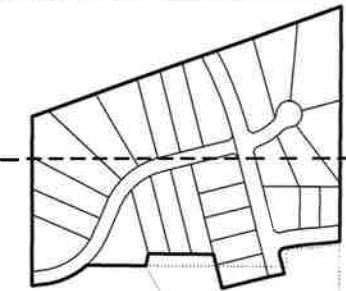
3

2110.857

ATTACHMENT C2

WOODLAND ESTATES PLAT 2
FINAL PLAT

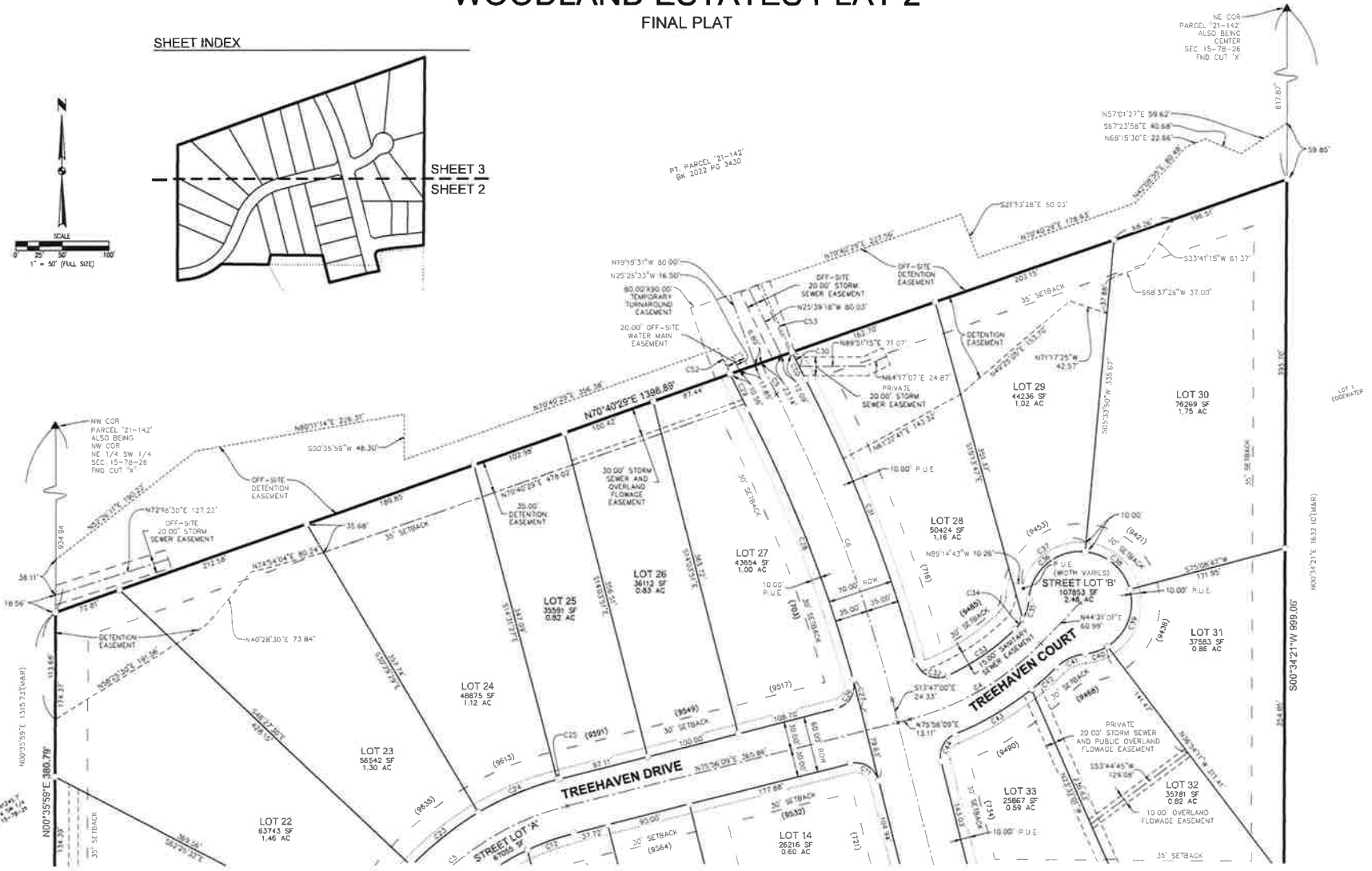
SHEET INDEX



SHEET 3
SHEET 2

PT. PARCEL '21-142'
BM 2022 PG 3430

NE COR
PARCEL '21-142'
ALSO BEING
CENTER
SEC 15-78-26
FND CUT 'X'
817.87'
59.85'



DATE	2022.08.01
PROJECT	WOODLAND ESTATES PLAT 2
CLIENT	WEST DIER WOODCRE, IDOWA
DESIGNER	ES&A CIVIL DESIGN ADVANTAGE
CHECKER	[Signature]
APPROVER	[Signature]

4121 NW URBANDALE DRIVE
URBANDALE IA 50322
PHONE: (515) 389-4400



WOODLAND ESTATES PLAT 2
FINAL PLAT

3
3
2110.857

ATTACHMENT D

WOODLAND ESTATES PLAT 3 FINAL PLAT

OWNERS

PARCEL '21-142' TITLE HOLDER
NEFF, SCOTT B LIVING TRUST U/A
8901 PECKHAM STREET #123
JOHNSTON IA 50131

AND

PARCEL '21-143' TITLE HOLDER
8205 MILLS CIVIC PARKWAY, SUITE 200
WEST DES MOINES, IOWA 50266

DEVELOPER

SILO 9 PLAT 1, LLC (CONTRACT BUYER)
CONTACT: JAKE RED
8205 MILLS CIVIC PARKWAY, SUITE 200
WEST DES MOINES, IOWA 50266
PH (515) 202-5690

ENGINEER / SURVEYOR

CIVIL DESIGN ADVANTAGE
4121 NW URBANDALE DRIVE
URBANDALE, IA 50322

DATE OF SURVEY

JULY 20, 2023

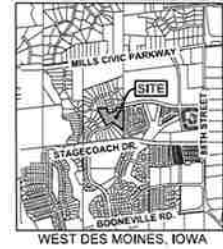
PLAT DESCRIPTION

A PART OF PARCEL '21-142' AND PARCEL '21-143' AS SHOWN ON THE PLAT OF SURVEY RECORDED IN BOOK 2022, PAGE 3430, BEING A PART OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER AND A PART OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER, ALL IN SECTION 15, TOWNSHIP 78 NORTH, RANGE 26 WEST OF THE FIFTH PRINCIPAL MERIDIAN, ALL IN THE CITY OF WEST DES MOINES, DALLAS COUNTY, IOWA AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF WOODLAND ESTATES PLAT 2; THENCE SOUTH 00°34'21" WEST ALONG THE EAST LINE OF SAID PARCELS '21-142' AND '21-143', A DISTANCE OF 759.45 FEET TO THE NORTHERLY LINE OF WOODLAND ESTATES PLAT 1; AN OFFICIAL PLAT IN SAID CITY OF WEST DES MOINES; THENCE NORTH 53°20'31" WEST ALONG SAID NORTHERLY LINE, 860.75 FEET; THENCE SOUTHWESTERLY ALONG SAID NORTHERLY LINE AND A CURVE CONCAVE NORTHWESTERLY WHOSE RADIUS IS 425.00 FEET, WHOSE ARC LENGTH IS 223.55 FEET AND WHOSE CHORD BEARS SOUTH 50°39'20" WEST, 220.98 FEET; THENCE NORTH 28°45'55" WEST ALONG SAID NORTHERLY LINE, 590.37 FEET TO THE SOUTHERLY LINE OF WOODLAND ESTATES PLAT 2; AN OFFICIAL PLAT IN SAID CITY OF WEST DES MOINES; THENCE NORTH 10°41'16" EAST ALONG SAID SOUTHERLY LINE, 53.33 FEET; THENCE SOUTH 89°25'25" EAST ALONG SAID SOUTHERLY LINE, 278.71 FEET; THENCE SOUTH 13°47'00" EAST ALONG SAID SOUTHERLY LINE, 151.53 FEET; THENCE NORTH 75°04'41" EAST ALONG SAID SOUTHERLY LINE, 202.62 FEET; THENCE NORTH 78°37'32" EAST ALONG SAID SOUTHERLY LINE, 70.00 FEET; THENCE NORTHERLY ALONG SAID SOUTHERLY LINE AND A CURVE CONCAVE WESTERLY WHOSE RADIUS IS 495.00 FEET, WHOSE ARC LENGTH IS 20.81 FEET AND WHOSE CHORD BEARS NORTH 12°34'44" WEST, 20.81 FEET; THENCE NORTH 13°47'00" WEST ALONG SAID SOUTHERLY LINE, 61.21 FEET; THENCE NORTHEASTERLY ALONG SAID SOUTHERLY LINE AND A CURVE CONCAVE SOUTHEASTERLY WHOSE RADIUS IS 25.00 FEET, WHOSE ARC LENGTH IS 39.28 FEET AND WHOSE CHORD BEARS NORTH 31°32'27" EAST, 35.35 FEET; THENCE EASTERLY ALONG SAID SOUTHERLY LINE AND A CURVE CONCAVE SOUTHERLY WHOSE RADIUS IS 615.00 FEET, WHOSE ARC LENGTH IS 112.25 FEET AND WHOSE CHORD BEARS NORTH 81°27'40" EAST, 112.11 FEET; THENCE EASTERLY ALONG SAID SOUTHERLY LINE AND A CURVE CONCAVE NORTHERLY WHOSE RADIUS IS 1535.00 FEET, WHOSE ARC LENGTH IS 128.14 FEET AND WHOSE CHORD BEARS NORTH 64°17'30" EAST, 128.10 FEET TO THE POINT OF BEGINNING AND CONTAINING 8.37 ACRES (864,407 SQUARE FEET).

THE PROPERTY IS SUBJECT TO ANY AND ALL EASEMENTS OF RECORD.

VICINITY MAP (NOT TO SCALE)



CURVE DATA

CURVE	DELTA	RADIUS	LENGTH	BEARING	CHORD
C1	47°02'41"	460.00'	377.70'	S12°06'52"W	367.18'
C2	3°48'40"	1535.00'	102.10'	N83°48'47"E	102.08'
C3	0°58'19"	1535.00'	26.04'	N86°21'16"E	26.04'
C4	12°27'44"	495.00'	107.68'	N05°08'36"W	107.43'
C5	11°34'15"	495.00'	99.96'	N06°52'23"E	99.79'
C6	11°32'51"	495.00'	99.76'	N18°25'56"E	99.60'
C7	11°32'03"	495.00'	99.65'	N29°58'23"E	99.48'
C8	9°17'10"	425.00'	68.88'	S30°56'45"W	68.81'
C9	15°01'41"	425.00'	111.47'	S16°47'19"W	111.15'
C10	13°03'20"	425.00'	96.84'	S04°44'49"W	96.63'
C11	9°35'37"	425.00'	71.16'	S06°34'40"E	71.08'
C12	32°22'08"	150.00'	84.74'	N73°45'49"E	83.62'
C13	5°44'31"	425.00'	42.59'	S58°27'35"W	42.57'
C14	15°01'41"	425.00'	111.47'	S48°50'42"W	111.15'
C15	9°22'01"	425.00'	69.48'	S61°02'33"W	69.40'
C16	13°43'46"	25.00'	5.99'	S69°22'01"W	5.98'
C17	0°40'27"	425.00'	5.00'	N10°16'15"E	5.00'
C18	1°28'26"	495.00'	12.73'	N12°06'41"W	12.73'



I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED SURVEY WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.

MICHAEL A. BRODNER, P.L.L.C. DATE: _____
 LICENSE NUMBER 15580
 MY LICENSE RENEWS DATE IS DECEMBER 31, 2024
 PAGES OF SHEETS COVERED BY THIS SHEET: 1/1

INDEX LEGEND

LOCATION: PT. PARCEL '21-142'
PT. PARCEL '21-143'
SIN. # 527, 179-26
WEST DES MOINES, DALLAS COUNTY, IOWA

REQUESTOR: SILO 9 PLAT 1, LLC

PROPRIETORS: NEFF, SCOTT B LIVING TRUST U/A
02/09/2014
8801 PECKHAM STREET #123
JOHNSTON IA 50131

AND

SILO 9 PLAT 1, LLC
8205 MILLS CIVIC PARKWAY, SUITE 200
WEST DES MOINES, IOWA 50266

SURVEYOR: MICHAEL A. BRODNER

SURVEYOR COMPANY: CIVIL DESIGN ADVANTAGE

PREPARED BY & RETURN TO: CIVIL DESIGN ADVANTAGE
4121 NW URBANDALE DRIVE
URBANDALE, IOWA 50322
PH: 515-369-4400

LEGEND

FOUND	SET
SECTION CORNER AS NOTED	▲
1/2" REBAR, YELLOW PLASTIC CAP #15980 (UNLESS OTHERWISE NOTED)	●
1/2" REBAR, YELLOW PLASTIC CAP #16747 (UNLESS OTHERWISE NOTED)	○
MEASURED BEARING & DISTANCE	M
RECORDED BEARING & DISTANCE	R
DEEDED BEARING & DISTANCE	D
PUBLIC UTILITY EASEMENT	P.U.E.
CURVE ARC LENGTH	AL
LOT ADDRESS	(1234)
CENTERLINE	—+—+—+—
SECTION LINE	—+—+—+—
EASEMENT LINE	- - - - -
BUILDING SETBACK LINE	—+—+—+—
PLAT BOUNDARY	—+—+—+—

NOTES

- ANY SET MONUMENTATION SHOWN ON THIS PLAT WILL BE COMPLETED WITHIN ONE YEAR FROM THE DATE THIS PLAT WAS RECORDED.
- LOTS MAY BE SUBJECT TO MINIMUM PROTECTION ELEVATIONS AND OTHER ELEVATION RESTRICTIONS NOT SHOWN ON THIS PLAT. REFER TO THE APPROVED PROJECT ENGINEERING DOCUMENTS FOR ANY ELEVATION RESTRICTIONS.
- ALL BEARINGS ARE BASED ON AN ASSUMED MERIDIAN FOR COMPUTATION PURPOSES.
- THE ALLOWABLE ERROR OF CLOSURE FOR THE BOUNDARY IS 1:10,000 AND THE ALLOWABLE ERROR OF CLOSURE FOR EACH LOT IS 1:5,000.
- BACKING ON TO S 95TH STREET IS PROHIBITED. ALL LOTS ACCESSING S 95TH STREET SHALL PROVIDE SPACE TO TURN AROUND ON SITE.
- PRELIMINARY PLAT APPROVAL: MAY, 15, 2023 (CASE PP-005911-2023)

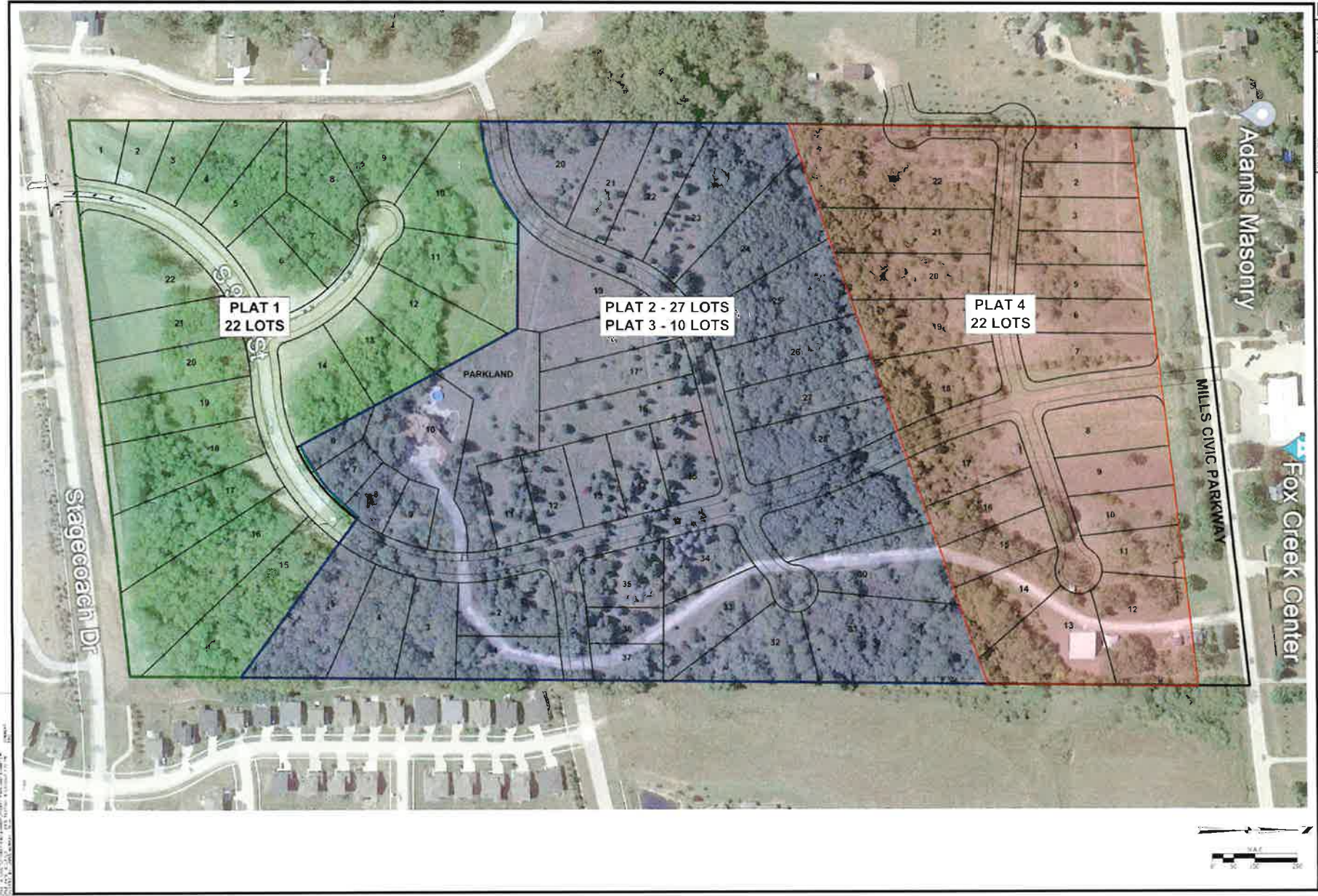
**WOODLAND ESTATES PLAT 3
FINAL PLAT**

4121 NW URBANDALE DRIVE
URBANDALE, IA 50322
PHONE (515) 369-4400

ENGINEER: CIVIL DESIGN ADVANTAGE
WEST DES MOINES, IOWA

2110.B57

ATTACHMENT E



DATE	REVISIONS	4121 NW URBANDALE DRIVE DALLAS, TEXAS 75241 PHONE: (972) 389-4400	TECH
			ENGINEER
			CONTRACT NO.
			PROJECT NO.
			DATE PLOTTED

WOODLAND ESTATES
PHASING EXHIBIT

EA
CIVIL DESIGN ADVANTAGE

WILSON DESIGNS, INC.

2110 857

**CITY OF WEST DES MOINES
CITY COUNCIL MEETING COMMUNICATION**

ITEM: Setting Dates of Consultation Meeting and the **DATE:** January 2, 2024
Public Hearing for Amendment No. 2 to the 8300 Mills Civic Parkway Renewal Plan
- City Initiated

RESOLUTION: Establish Taxing Entities Consultation Meeting date and Public Hearing date for Amendment No. 2 to the 8300 Mills Civic Parkway Renewal Plan - City Initiated

FINANCIAL IMPACT: The City of West Des Moines is considering expanding the 8300 Mills Civic Parkway Urban Renewal Area to add the widening of Mills Civic Parkway from S. 81st Street to S. 88th Street as a public improvement project. The City Engineer’s estimate for the cost of the widening project is approximately \$3,500,000.

BACKGROUND: The original 8300 Mills Civic Parkway Urban Renewal Area was adopted on March 18, 2019, to facilitate the Development Agreement for the Sammons Financial Group office project and surrounding public infrastructure projects to support the development. The first amendment to the plan was approved on June 17, 2019, to correct the amount of Grant and Connection Fees within the original Plan.

Amendment No. 2 to the plan is necessary to include the widening of the Mills Civic Parkway roadway from S. 81st Street to S. 88th Street as an eligible public improvement project funded through Tax Increment Financing (TIF). The project aims to enhance the safety and organization of vehicular and pedestrian traffic in the area.

The Finance and Administration Subcommittee discussed this matter on November 8, 2023, and provided their support of the Urban Renewal Area (URA) expansion and the inclusion of the Mills Civic Parkway widening as an eligible project.

OUTSTANDING ISSUES: There are no outstanding issues regarding this proposed amendment.

RECOMMENDATION: Staff recommends that the City Council approve a resolution setting January 10, 2024, as the consultation meeting date and February 5, 2024, as the public hearing date for Amendment No. 2 to the 8300 Mills Civic Parkway Urban Renewal Plan.

Lead Staff Member: J. Bradley Munford, Business Development Coordinator

STAFF REVIEWS

Department Director	Ryan Moffatt, Community and Economic Development Director
Appropriations/Finance	Tim Stiles, Finance Director <i>CA for TS</i>
Legal	
Agenda Acceptance	<i>AB</i>

PUBLICATION(S) (if applicable)

Published In	Des Moines Register
Dates(s) Published	1/19/2023

SUBCOMMITTEE REVIEW (if applicable)

Committee	Finance and Administration		
Date Reviewed	November 8, 2023		
Recommendation	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	

ATTACHMENTS: Exhibit I
Exhibit II
Exhibit III

Proposed 8300 Mills Civic Parkway Urban
Renewal Plan Amendment No. 2
Resolution
Map of Expansion Area

AMENDMENT NO. 2

to the

**8300 MILLS CIVIC PARKWAY
URBAN RENEWAL PLAN**

for the

**8300 MILLS CIVIC PARKWAY
URBAN RENEWAL AREA**

WEST DES MOINES, IOWA

**Original Area – 2019
Amendment No. 1 – 2019
Amendment No. 2 – 2024**

**Amendment No. 2
to the
8300 Mills Civic Parkway Urban Renewal Plan
for the
8300 Mills Civic Parkway Urban Renewal Area
City of West Des Moines, Iowa**

INTRODUCTION AND HISTORY

The 8300 Mills Civic Parkway Urban Renewal Plan (“Plan” or “Urban Renewal Plan”) for the 8300 Mills Civic Parkway Urban Renewal Area (“Area” or “Urban Renewal Area”) adopted in March 2019 and subsequently amended once, is being further amended by this Amendment No. 2 to the Plan (“Amendment No. 2” or “Amendment”) to add to the list of proposed urban renewal projects to be undertaken within the Urban Renewal Area and to add land to the Urban Renewal Area.

Except as modified by this Amendment No. 2, the provisions of the Plan, as previously amended, are hereby ratified, confirmed, and approved and shall remain in full force and effect as provided herein. In case of any conflict or uncertainty, the terms of this Amendment No. 2 shall control. Any subsections not mentioned in this Amendment No. 2 shall continue to apply to the Plan, as previously amended.

DESCRIPTION OF AREA

The land included in the Urban Renewal Area by the original Plan is referred to as Original Subarea of the Urban Renewal Area. The land being added to the Urban Renewal Area by this Amendment may be referred to as the "Amendment No. 2 Subarea." The legal description of the entire Area, as amended by this Amendment, is attached hereto as Exhibit A. A map of the entire Area, as amended, and identifying the Amendment No. 2 Subarea, is attached as Exhibit B.

BASE VALUE

The base value for the purposes of Tax Increment Financing (“TIF”) of the property in the Amendment No. 2 Subarea shall be the assessed value as of January 1 of the calendar year preceding the year in which the property is added to the applicable TIF ordinance, if the Amendment No. 2 Subarea is added to the TIF ordinance. Nothing in this Amendment otherwise affects the already established frozen base value for the Original Subarea.

AREA DESIGNATION

The Urban Renewal Area, as amended by this Amendment, continues to be an economic development area that is appropriate for the promotion of commercial and industrial development.

DEVELOPMENT PLAN

The Urban Renewal Plan, as amended, and this Amendment, are in conformity with the Connect 2 Create WDM, adopted October 17, 2022, which is the City of West Des Moines' ("City") general plan for the development of the City as a whole.

This Plan does not in any way replace or modify the City's current land use planning or zoning regulation process. The property being added to the Area is currently zoned PUD- Office and Street ROW. Any need for improved traffic, public transportation, public utilities, recreational and community facilities, or other public improvements within the Urban Renewal Area is set forth in the Plan, as amended.

PREVIOUSLY APPROVED URBAN RENEWAL PROJECTS

Numerous urban renewal projects were authorized prior to the date of this Amendment and are continuing. Such projects are not listed in this Amendment but consist of a variety of urban renewal projects.

ELIGIBLE URBAN RENEWAL PROJECTS (Amendment No. 2)

Although certain project activities may occur over a period of years, in addition to projects previously authorized in the Plan, as previously amended, the eligible urban renewal projects under this Amendment No. 2 include:

1. Public Improvements:

Urban Renewal Project Description	Estimated Date	Estimated Cost	Rationale
Mills Civic Parkway Widening – South 81 st Street to South 88 th Street including all related infrastructure in the applicable right of way	2024	\$3,500,000	Provide for safe and orderly movement of vehicles and pedestrians and provision of other services in support of commercial development and job creation and retention
Total		\$3,500,000	

2. Planning, engineering fees (for urban renewal plans), attorney fees, other related costs to support urban renewal projects and planning:

Project	Date	Estimated Cost
Fees and costs	Undetermined	\$20,000

FINANCIAL DATA

1.	Current constitutional debt limit:	\$506,339,850
2.	Current outstanding general obligation debt:	\$362,298,046
3.	Proposed amount of indebtedness to be incurred: A specific amount of debt to be incurred for the Eligible Urban Renewal Projects (Amendment No. 2) has not yet been determined. This document is for planning purposes only. The estimated project costs in this Amendment are estimates only and will be incurred and spent over a number of years. In no event will the City's constitutional debt limit be exceeded. The City Council will consider each project proposal on a case-by-case basis to determine if it is in the City's best interest to participate before approving an urban renewal project or expense. Subject to the foregoing, it is estimated that the City's costs for the Eligible Urban Renewal Projects (Amendment No. 2) as described above will be approximately as stated in the next column:	\$3,520,000 This does not include financing costs related to debt issuance, which may be incurred over the life of the Area.

URBAN RENEWAL FINANCING

The City intends to utilize various financing tools, such as those described below to successfully undertake the proposed urban renewal actions. The City has the statutory authority to use a variety of tools to finance physical improvements within the Area, as amended. These include:

A. Tax Increment Financing.

Under Section 403.19 of the *Code of Iowa*, urban renewal areas may utilize the tax increment financing mechanism to finance the costs of public improvements, economic development incentives or other urban renewal projects. Upon creation of a tax increment district within the Area, by ordinance, the assessment base is frozen and the amount of tax revenue available from taxes paid on the difference between the frozen base and the increased value, if any, is segregated into a separate fund for the use by the City to pay costs of the eligible urban renewal projects. Certain increased taxes generated by any new development, above the base value, are distributed to the taxing entities, if not requested by the City, and in any event upon the expiration of the tax increment district.

B. General Obligation Bonds.

Under Division III of Chapter 384 and Chapter 403 of the *Code of Iowa*, the City has the authority to issue and sell general obligation bonds for specified essential and general corporate purposes, including the acquisition and construction of certain public improvements within the Area, as amended, and for other urban renewal projects or incentives for development consistent with this Plan, as amended. Such bonds are payable from the levy of unlimited ad valorem taxes on all the taxable property within the City. It may be the City will elect to abate some or all of the debt service on these bonds with incremental taxes from this Area, as amended.

The City may also determine to use tax increment financing to provide incentives such as cash grants, loans, tax rebates or other incentives to developers or private entities in connection with the urban renewal projects identified in the Plan, as amended. In addition, the City may determine to issue general obligation bonds, tax increment revenue bonds or such other obligations, or loan agreements for the purpose of making loans or grants of public funds to private businesses located in the Area for urban renewal projects. Alternatively, the City may determine to use available funds for making such loans or grants or other incentives related to urban renewal projects. In any event, the City may determine to use tax increment financing to reimburse the City for any obligations or advances.

Nothing herein shall be construed as a limitation on the power of the City to exercise any lawful power granted to the City under Chapter 15, Chapter 15A, Chapter 403, Chapter 427B, or any other provision of the *Code of Iowa* in furtherance of the objectives of the Plan.

EFFECTIVE PERIOD

This Amendment No. 2 will become effective upon its adoption by the City Council and will remain in effect until it is repealed by the City Council. Notwithstanding anything to the contrary in the Plan, any prior amendment, resolution, or document, the Plan, as amended, shall remain in effect until terminated by the City Council.

The use of incremental property tax revenues, or the “division of revenue,” as those words are used in Chapter 403 of the *Code of Iowa*, will be consistent with Chapter 403 of the Iowa Code. Nothing in this Amendment shall alter the duration of the division of revenue as previously explained in the Plan, as previously amended.

REPEALER AND SEVERABILITY CLAUSE

Any parts of the previous Plan, as previously amended, in conflict with this Amendment are hereby repealed.

If any part of this Amendment or the Plan, as previously amended, is determined to be invalid or unconstitutional, such invalidity or unconstitutionality shall not affect the validity of the Amendment or the Plan as a whole, or any part of the Amendment or the Plan not determined to be invalid or unconstitutional.

EXHIBIT A

LEGAL DESCRIPTION OF THE URBAN RENEWAL AREA, AS AMENDED BY AMENDMENT NO. 2

BEGINNING AT THE NORTHWEST CORNER OF PARCEL "AA" AS FILED IN BOOK 2014 PAGE 4167 OF THE DALLAS COUNTY RECORDER'S OFFICE, BEING A POINT ON THE EAST LINE OF LOT 5 SUNSET RIDGE, AN OFFICIAL PLAT IN THE CITY OF WEST DES MOINES, DALLAS COUNTY, IOWA;

THENCE NORTH ALONG THE EAST LINE OF LOTS 5, 4, 3, 2, 1 OF SAID SUNSET RIDGE, TO THE NORTHEAST CORNER OF SAID LOT 1;

THENCE WEST ALONG THE NORTHERLY LINE OF SAID LOT 1 AND ALONG THE SOUTH LINE OF STREET LOT 'E', SILVERWOOD PLAT 1, AN OFFICIAL PLAT IN THE CITY OF WEST DES MOINES, DALLAS COUNTY, IOWA TO THE SOUTHEAST CORNER OF OUTLOT 'T' OF SAID SILVERWOOD PLAT 1;

THENCE WEST ALONG THE NORTH LINE OF SAID OUTLOT 'T' TO THE SOUTHWEST CORNER OF SAID OUTLOT 'T' AND A SOUTHERLY CORNER OF STREET LOT 'E' OF SAID SILVERWOOD PLAT 1;

THENCE WEST ALONG THE SOUTH LINE OF SAID STREET LOT 'E' TO THE SOUTHWEST CORNER THEREOF;

THENCE NORTH ALONG THE WESTERLY LINE OF SAID STREET LOT 'E' TO THE NORTHWEST CORNER OF SAID STREET LOT 'E';

THENCE EASTERLY ALONG THE NORTHERLY LINE OF SAID STREET LOT 'E' AND THE EASTERLY EXTENSION THEREOF TO THE WEST LINE OF LOT 1, EILERS SUBDIVISION, AN OFFICIAL PLAT IN THE CITY OF WEST DES MOINES, DALLAS COUNTY, IOWA;

THENCE SOUTH ALONG SAIDWEST LINE OF SAID LOT 1 TO THE CURRENT NORTH RIGHT OF WAY LINE OF MILLS CIVIC PARKWAY, AS SHOWN ON SAID EILER'S SUBDIVISION;

THENCE EAST, ALONG SAID NORTH RIGHT OF WAY LINE OF MILLS CIVIC PARKWAY, TO THE EAST LINE OF LOT 3 OF SAID EILER'S SUBDIVISION;

THENCE NORTH, ALONG THE EAST LINE OF SAID LOT 3, EILER'S SUBDIVISION, TO THE NORTH LINE OF STREET LOT P, IN HERITAGE BEND PLAT 1, AS FILED IN BOOK 2006 PAGE 19236 OF THE DALLAS COUNTY RECORDER'S OFFICE;

THENCE EAST, ALONG THE NORTH LINE OF SAID STREET LOT P, IN HERITAGE BEND PLAT 1, AND PROJECTION THEREOF, TO A POINT ON THE EAST LINE OF THE NORTHWEST QUARTER OF SECTION 14, TOWNSHIP 78 NORTH, RANGE 28 WEST OF THE 5TH P.M., DALLAS COUNTY, IOWA, BEING THE NORTHEAST CORNER OF STREET LOT P;

THENCE SOUTH ALONG THE EAST LINE OF SAID SECTION 14 AND STREET LOT P, TO THE CENTER OF SECTION 14, TOWNSHIP 78 NORTH, RANGE 26 WEST OF THE 5TH P.M., DALLAS

COUNTY, IOWA, BEING ALSO THE SOUTHEAST CORNER OF STREET LOT P OF HERITAGE BEND PLAT 1;

THENCE SOUTH, ALONG THE EAST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 14, TO THE SOUTHERLY POINT OF THE NORTH LINE OF STREET LOT 'B', THE CASCADES AT JORDAN CREEK PLAT 1, AN OFFICIAL PLAT, NOW INCLUDED IN AND FORMING A PART OF THE CITY OF WEST DES MOINES, DALLAS COUNTY, IOWA;

THENCE WEST, TO THE WEST RIGHT OF WAY LINE OF SOUTH 81ST STREET, SAID POINT BEING THE NORTHWEST CORNER OF SAID STREET LOT 'B';

THENCE WEST AND THENCE NORTHWEST ALONG THE SOUTHWESTERLY RIGHT OF WAY OF SOUTH 81ST STREET, TO THE SOUTHEAST CORNER OF STREET LOT 'A' OF THE CASCADES AT JORDAN CREEK PLAT 1, AS FILED IN BOOK 2015 PAGE 13814 OF THE DALLAS COUNTY RECORDER'S OFFICE;

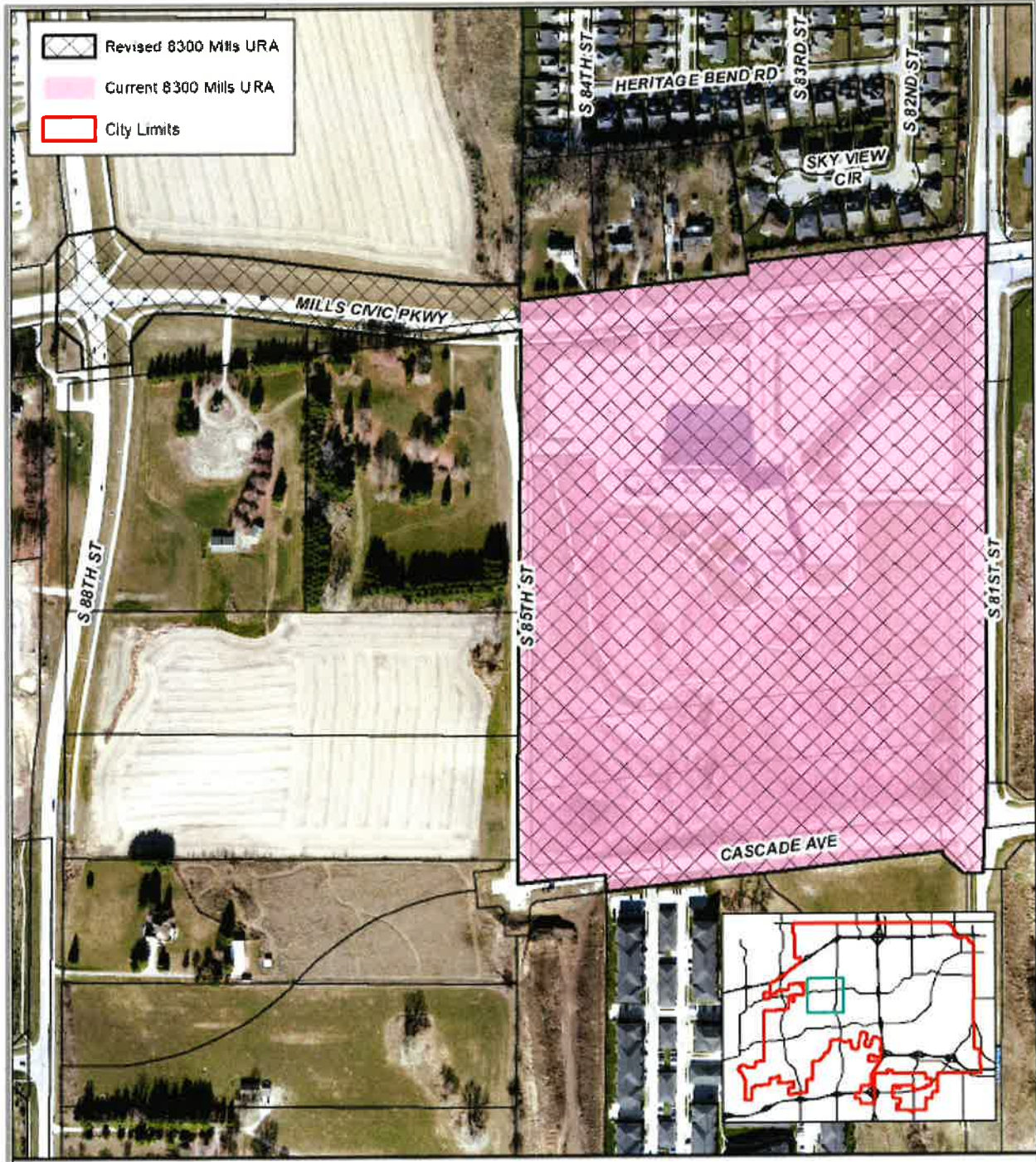
THENCE SOUTHWESTERLY, ALONG THE SOUTH LINE OF SAID STREET LOT 'A' OF THE CASCADES AT JORDAN CREEK PLAT 1, TO THE SOUTHWEST CORNER OF SAID STREET LOT 'A';

THENCE NORTHWESTERLY, ALONG THE WEST LINE OF STREET LOT 'A', TO A POINT ON THE NORTH LINE OF PARCEL "AA" IN BOOK 2014 PAGE 4167;

THENCE SOUTHWESTERLY, ALONG THE NORTH LINE OF SAID PARCEL "AA", TO THE POINT OF BEGINNING.

EXHIBIT B

MAP OF 8300 MILLS CIVIC PARKWAY URBAN RENEWAL AREA, AS AMENDED, AND IDENTIFYING THE AMENDMENT NO. 2 SUBAREA



RESOLUTION NO. _____

RESOLUTION SETTING DATES OF A CONSULTATION AND
A PUBLIC HEARING ON A PROPOSED AMENDMENT NO. 2
TO THE 8300 MILLS CIVIC PARKWAY URBAN RENEWAL
PLAN IN THE CITY OF WEST DES MOINES, STATE OF IOWA

WHEREAS, by Resolution No. 19-03-18-19, adopted March 18, 2019, this Council found and determined that certain areas located within the City are eligible and should be designated as an urban renewal area under Iowa law, and approved and adopted the 8300 Mills Civic Parkway Urban Renewal Plan (the "Plan" or "Urban Renewal Plan") for the 8300 Mills Civic Parkway Urban Renewal Area (the "Area" or "Urban Renewal Area") described therein, which Plan is on file in the office of the Recorder of Dallas County; and

WHEREAS, the Plan has subsequently been amended by an Amendment No. 1, adopted by Resolution No. 19-06-17-13, on June 17, 2019; and

WHEREAS, this Urban Renewal Area currently includes and consists of:

ORIGINAL AREA

BEGINNING AT THE NORTHWEST CORNER OF PARCEL "AA" AS FILED IN BOOK 2014 PAGE 4167 OF THE DALLAS COUNTY RECORDER'S OFFICE, BEING A POINT ON THE EAST LINE OF LOT 5 SUNSET RIDGE AS FILED IN BOOK 6 PAGE 244 OF THE DALLAS COUNTY RECORDER'S OFFICE;

THENCE NORTH ALONG THE EAST LINE OF LOTS 5, 4, 3, 2, 1 AND LOT C (STREET) OF SAID SUNSET RIDGE, TO THE NORTHEAST CORNER OF SAID LOT C (STREET);

THENCE NORTH ON THE WEST LINE OF LOT 1, OF EILER'S SUBDIVISION, AS FILED IN BOOK 769 PAGE 98 OF THE DALLAS COUNTY RECORDER'S OFFICE, TO THE CURRENT NORTH RIGHT OF WAY LINE OF MILLS CIVIC PARKWAY, AS SHOWN ON SAID EILER'S SUBDIVISION;

THENCE EAST, ALONG SAID NORTH RIGHT OF WAY LINE OF MILLS CIVIC PARKWAY, TO THE EAST LINE OF LOT 3 OF SAID EILER'S SUBDIVISION;

THENCE NORTH, ALONG THE EAST LINE OF SAID LOT 3, EILER'S SUBDIVISION, TO THE NORTH LINE OF STREET LOT P, IN HERITAGE BEND PLAT 1, AS FILED IN BOOK 2006 PAGE 19236 OF THE DALLAS COUNTY RECORDER'S OFFICE;

THENCE EAST, ALONG THE NORTH LINE OF SAID STREET LOT P, IN HERITAGE BEND PLAT 1, AND PROJECTION THEREOF, TO A POINT ON THE EAST LINE OF THE NORTHWEST QUARTER OF SECTION 14, TOWNSHIP 78 NORTH, RANGE 28 WEST OF THE 5TH P.M., DALLAS COUNTY, IOWA, BEING THE NORTHEAST CORNER OF STREET LOT P;

THENCE SOUTH ALONG THE EAST LINE OF SAID SECTION 14 AND STREET LOT P, TO THE CENTER OF SECTION 14, TOWNSHIP 78 NORTH, RANGE 26 WEST OF THE 5TH P.M., DALLAS COUNTY, IOWA, BEING ALSO THE SOUTHEAST CORNER OF STREET LOT P OF HERITAGE BEND PLAT 1;

THENCE SOUTH, ALONG THE EAST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 14, TO THE SOUTHERLY POINT OF THE NORTH LINE OF STREET LOT 'B', THE CASCADES AT JORDAN CREEK PLAT 1, AN OFFICIAL PLAT, NOW INCLUDED IN AND FORMING A PART OF THE CITY OF WEST DES MOINES, DALLAS COUNTY, IOWA;

THENCE WEST, TO THE WEST RIGHT OF WAY LINE OF SOUTH 81ST STREET, SAID POINT BEING THE NORTHWEST CORNER OF SAID STREET LOT 'B';

THENCE WEST AND THENCE NORTHWEST ALONG THE SOUTHWESTERLY RIGHT OF WAY OF SOUTH 81ST STREET, TO THE SOUTHEAST CORNER OF STREET LOT 'A' OF THE CASCADES AT JORDAN CREEK PLAT 1, AS FILED IN BOOK 2015 PAGE 13814 OF THE DALLAS COUNTY RECORDER'S OFFICE;

THENCE SOUTHWESTERLY, ALONG THE SOUTH LINE OF SAID STREET LOT 'A' OF THE CASCADES AT JORDAN CREEK PLAT 1, TO THE SOUTHWEST CORNER OF SAID STREET LOT 'A';

THENCE NORTHWESTERLY, ALONG THE WEST LINE OF STREET LOT 'A', TO A POINT ON THE NORTH LINE OF PARCEL "AA" IN BOOK 2014 PAGE 4167;

THENCE SOUTHWESTERLY, ALONG THE NORTH LINE OF SAID PARCEL "AA", TO THE POINT OF BEGINNING.

WHEREAS, City staff has caused there to be prepared a form of Amendment No. 2 to the Plan ("Amendment No. 2" or "Amendment"), a copy of which has been placed on file for public inspection in the office of the City Clerk and which is incorporated herein by reference, the purpose of which is to add to the list of proposed urban renewal projects to be undertaken within the Urban Renewal Area and to add land to the Urban Renewal Area; and

WHEREAS, it is desirable that the area be redeveloped as part of the overall redevelopment covered by the Plan, as amended; and

WHEREAS, after adoption of this proposed Amendment No. 2, the Urban Renewal Area would contain the following property:

BEGINNING AT THE NORTHWEST CORNER OF PARCEL "AA" AS FILED IN BOOK 2014 PAGE 4167 OF THE DALLAS COUNTY RECORDER'S OFFICE, BEING A POINT ON THE EAST LINE OF LOT 5 SUNSET RIDGE, AN OFFICIAL PLAT IN THE CITY OF WEST DES MOINES, DALLAS COUNTY, IOWA;

THENCE NORTH ALONG THE EAST LINE OF LOTS 5, 4, 3, 2, 1 OF SAID SUNSET RIDGE, TO THE NORTHEAST CORNER OF SAID LOT 1;

THENCE WEST ALONG THE NORTHERLY LINE OF SAID LOT 1 AND ALONG THE SOUTH LINE OF STREET LOT 'E', SILVERWOOD PLAT 1, AN OFFICIAL PLAT IN THE CITY OF WEST DES MOINES, DALLAS COUNTY, IOWA TO THE SOUTHEAST CORNER OF OUTLOT 'T' OF SAID SILVERWOOD PLAT 1;

THENCE WEST ALONG THE NORTH LINE OF SAID OUTLOT 'T' TO THE SOUTHWEST CORNER OF SAID OUTLOT 'T' AND A SOUTHERLY CORNER OF STREET LOT 'E' OF SAID SILVERWOOD PLAT 1;

THENCE WEST ALONG THE SOUTH LINE OF SAID STREET LOT 'E' TO THE SOUTHWEST CORNER THEREOF;

THENCE NORTH ALONG THE WESTERLY LINE OF SAID STREET LOT 'E' TO THE NORTHWEST CORNER OF SAID STREET LOT 'E';

THENCE EASTERLY ALONG THE NORTHERLY LINE OF SAID STREET LOT 'E' AND THE EASTERLY EXTENSION THEREOF TO THE WEST LINE OF LOT 1, EILERS SUBDIVISION, AN OFFICIAL PLAT IN THE CITY OF WEST DES MOINES, DALLAS COUNTY, IOWA;

THENCE SOUTH ALONG SAIDWEST LINE OF SAID LOT 1 TO THE CURRENT NORTH RIGHT OF WAY LINE OF MILLS CIVIC PARKWAY, AS SHOWN ON SAID EILER'S SUBDIVISON;

THENCE EAST, ALONG SAID NORTH RIGHT OF WAY LINE OF MILLS CIVIC PARKWAY, TO THE EAST LINE OF LOT 3 OF SAID EILER'S SUBDIVISION;

THENCE NORTH, ALONG THE EAST LINE OF SAID LOT 3, EILER'S SUBDIVISION, TO THE NORTH LINE OF STREET LOT P, IN HERITAGE BEND PLAT 1, AS FILED IN BOOK 2006 PAGE 19236 OF THE DALLAS CONTY RECORDER'S OFFICE;

THENCE EAST, ALONG THE NORTH LINE OF SAID STREET LOT P, IN HERITAGE BEND PLAT 1, AND PROJECTION THEREOF, TO A POINT ON THE EAST LINE OF THE NORTHWEST QUARTER OF SECTION 14, TOWNSHIP 78 NORTH, RANGE 28 WEST OF THE 5TH P.M., DALLAS COUNTY, IOWA, BEING THE NORTHEAST CORNER OF STREET LOT P;

THENCE SOUTH ALONG THE EAST LINE OF SAID SECTION 14 AND STREET LOT P, TO THE CENTER OF SECTION 14, TOWNSHIP 78 NORTH, RANGE 26 WEST OF THE 5TH P.M., DALLAS COUNTY, IOWA, BEING ALSO THE SOUTHEAST CORNER OF STREET LOT P OF HERITAGE BEND PLAT 1;

THENCE SOUTH, ALONG THE EAST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 14, TO THE SOUTHERLY POINT OF THE NORTH LINE OF STREET LOT 'B', THE CASCADES AT JORDAN CREEK PLAT 1, AN OFFICIAL PLAT, NOW INCLUDED IN AND FORMING A PART OF THE CITY OF WEST DES MOINES, DALLAS COUNTY, IOWA;

THENCE WEST, TO THE WEST RIGHT OF WAY LINE OF SOUTH 81ST STREET, SAID POINT BEING THE NORTHWEST CORNER OF SAID STREET LOT 'B';

THENCE WEST AND THENCE NORTHWEST ALONG THE SOUTHWESTERLY RIGHT OF WAY OF SOUTH 81ST STREET, TO THE SOUTHEAST CORNER OF STREET LOT 'A' OF THE CASCADES AT JORDAN CREEK PLAT 1, AS FILED IN BOOK 2015 PAGE 13814 OF THE DALLAS COUNTY RECORDER'S OFFICE;

THENCE SOUTHWESTERLY, ALONG THE SOUTH LINE OF SAID STREET LOT 'A' OF THE CASCADES AT JORDAN CREEK PLAT 1, TO THE SOUTHWEST CORNER OF SAID STREET LOT 'A';

THENCE NORTHWESTERLY, ALONG THE WEST LINE OF STREET LOT 'A', TO A POINT ON THE NORTH LINE OF PARCEL "AA" IN BOOK 2014 PAGE 4167;

THENCE SOUTHWESTERLY, ALONG THE NORTH LINE OF SAID PARCEL "AA", TO THE POINT OF BEGINNING.

WHEREAS, the Iowa statutes require the City Council to notify all affected taxing entities of the consideration being given to the proposed Amendment No. 2 and to hold a consultation with such taxing entities with respect thereto, and further provides that the designated representative of each affected taxing entity may attend the consultation and make written recommendations for modifications to the proposed division of revenue included as a part thereof, to which the City shall submit written responses as provided in Section 403.5, Code of Iowa, as amended; and

WHEREAS, the Iowa statutes further require the City Council to hold a public hearing on the proposed Amendment No. 2 subsequent to notice thereof by publication in a newspaper having general circulation within the City, which notice shall describe the time, date, place and purpose of the hearing, shall generally identify the urban renewal area covered by the Amendment and shall outline the general scope of the urban renewal project under consideration, with a copy of the notice also being mailed to each affected taxing entity.

NOW THEREFORE, BE IT RESOLVED, BY THE CITY COUNCIL OF THE CITY OF WEST DES MOINES, STATE OF IOWA:

That the consultation on the proposed Amendment No. 2 required by Section 403.5(2), Code of Iowa, as amended, shall be held on January 10, 2024, in the Board Room, City Hall, 4200 Mills Civic Parkway, West Des Moines, Iowa, at 11:00 A.M., and the Business Development Coordinator, or his delegate, is hereby appointed to serve as the designated representative of the City for purposes of conducting the consultation, receiving any recommendations that may be made with respect thereto and responding to the same in accordance with Section 403.5(2), Code of Iowa.

That the City Clerk is authorized and directed to cause a notice of such consultation to be sent by regular mail to all affected taxing entities, as defined in Section 403.17(1), Code of Iowa, along with a copy of this Resolution and the proposed Amendment No. 2, the notice to be in substantially the following form:

NOTICE OF A CONSULTATION TO BE HELD BETWEEN THE CITY OF WEST DES MOINES, STATE OF IOWA AND ALL AFFECTED TAXING ENTITIES CONCERNING THE PROPOSED AMENDMENT NO. 2 TO THE 8300 MILLS CIVIC PARKWAY URBAN RENEWAL PLAN FOR THE CITY OF WEST DES MOINES, STATE OF IOWA

The City of West Des Moines, State of Iowa will hold a consultation with all affected taxing entities, as defined in Section 403.17(1), Code of Iowa, as amended, commencing at 11:00 A.M. on January 10, 2024, in the Board Room, City Hall, 4200 Mills Civic Parkway, West Des Moines, Iowa concerning a proposed Amendment No. 2 to the 8300 Mills Civic Parkway Urban Renewal Plan for the 8300 Mills Civic Parkway Urban Renewal Area, a copy of which is attached hereto. The consultation meeting will also be accessible virtually, at <https://tinyurl.com/447w746f>.

Each affected taxing entity may appoint a representative to attend the consultation. The consultation may include a discussion of the estimated growth in valuation of taxable property included in the Urban Renewal Area, the fiscal impact of the division of revenue on the affected taxing entities, the estimated impact on the provision of services by each of the affected taxing entities in the Urban Renewal Area, and the duration of any bond issuance included in the Amendment.

The designated representative of any affected taxing entity may make written recommendations for modifications to the proposed division of revenue no later than seven days following the date of the consultation. The Business Development Coordinator, or his delegate, as the designated representative of the City of West Des Moines, State of Iowa, shall submit a written response to the affected taxing entity, no later than seven days prior to the public hearing on the proposed Amendment No. 2 to the 8300 Mills Civic Parkway Urban Renewal Plan, addressing any recommendations made by that entity for modification to the proposed division of revenue.

This notice is given by order of the City Council of the City of West Des Moines, State of Iowa, as provided by Section 403.5, Code of Iowa, as amended.

Dated this _____ day of _____, 2024.

City Clerk, City of West Des Moines, State of Iowa

(End of Notice)

That a public hearing shall be held on the proposed Amendment No. 2 before the City Council at its meeting which commences at 5:30 P.M. on February 5, 2024, in the Council Chambers, City Hall, 4200 Mills Civic Parkway, West Des Moines, Iowa.

That the City Clerk is authorized and directed to publish notice of this public hearing in the Des Moines Register, once on a date not less than four (4) nor more than twenty (20) days before the date of the public hearing, and to mail a copy of the notice by ordinary mail to each affected taxing entity, such notice in each case to be in substantially the following form:

(One publication required)

NOTICE OF PUBLIC HEARING TO CONSIDER APPROVAL OF A
PROPOSED AMENDMENT NO. 2 TO THE 8300 MILLS CIVIC
PARKWAY URBAN RENEWAL PLAN FOR AN URBAN RENEWAL
AREA IN THE CITY OF WEST DES MOINES, STATE OF IOWA

The City Council of the City of West Des Moines, State of Iowa, will hold a public hearing before itself at its meeting which commences at 5:30 P.M. on February 5, 2024 in the Council Chambers, City Hall, 4200 Mills Civic Parkway, West Des Moines, Iowa, to consider adoption of a proposed Amendment No. 2 to the 8300 Mills Civic Parkway Urban Renewal Plan (the "Amendment") concerning an Urban Renewal Area in the City of West Des Moines, State of Iowa.

Amendment No. 2 is proposed to add land to the Urban Renewal Area such that after adoption of the Amendment the Urban Renewal Area would include all of the following property:

BEGINNING AT THE NORTHWEST CORNER OF PARCEL "AA" AS FILED IN BOOK 2014 PAGE 4167 OF THE DALLAS COUNTY RECORDER'S OFFICE, BEING A POINT ON THE EAST LINE OF LOT 5 SUNSET RIDGE, AN OFFICIAL PLAT IN THE CITY OF WEST DES MOINES, DALLAS COUNTY, IOWA;

THENCE NORTH ALONG THE EAST LINE OF LOTS 5, 4, 3, 2, 1 OF SAID SUNSET RIDGE, TO THE NORTHEAST CORNER OF SAID LOT 1;

THENCE WEST ALONG THE NORTHERLY LINE OF SAID LOT 1 AND ALONG THE SOUTH LINE OF STREET LOT 'E', SILVERWOOD PLAT 1, AN OFFICIAL PLAT IN THE CITY OF WEST DES MOINES, DALLAS COUNTY, IOWA TO THE SOUTHEAST CORNER OF OUTLOT 'T' OF SAID SILVERWOOD PLAT 1;

THENCE WEST ALONG THE NORTH LINE OF SAID OUTLOT 'T' TO THE SOUTHWEST CORNER OF SAID OUTLOT 'T' AND A SOUTHERLY CORNER OF STREET LOT 'E' OF SAID SILVERWOOD PLAT 1;

THENCE WEST ALONG THE SOUTH LINE OF SAID STREET LOT 'E' TO THE SOUTHWEST CORNER THEREOF;

THENCE NORTH ALONG THE WESTERLY LINE OF SAID STREET LOT 'E' TO THE NORTHWEST CORNER OF SAID STREET LOT 'E';

THENCE EASTERLY ALONG THE NORTHERLY LINE OF SAID STREET LOT 'E' AND THE EASTERLY EXTENSION THEREOF TO THE WEST LINE OF LOT 1, EILERS SUBDIVISION, AN OFFICIAL PLAT IN THE CITY OF WEST DES MOINES, DALLAS COUNTY, IOWA;

THENCE SOUTH ALONG SAIDWEST LINE OF SAID LOT 1 TO THE CURRENT NORTH RIGHT OF WAY LINE OF MILLS CIVIC PARKWAY, AS SHOWN ON SAID EILER'S SUBDIVISON;

THENCE EAST, ALONG SAID NORTH RIGHT OF WAY LINE OF MILLS CIVIC PARKWAY, TO THE EAST LINE OF LOT 3 OF SAID EILER'S SUBDIVISION;

THENCE NORTH, ALONG THE EAST LINE OF SAID LOT 3, EILER'S SUBDIVISION, TO THE NORTH LINE OF STREET LOT P, IN HERITAGE BEND PLAT 1, AS FILED IN BOOK 2006 PAGE 19236 OF THE DALLAS COUNTY RECORDER'S OFFICE;

THENCE EAST, ALONG THE NORTH LINE OF SAID STREET LOT P, IN HERITAGE BEND PLAT 1, AND PROJECTION THEREOF, TO A POINT ON THE EAST LINE OF THE NORTHWEST QUARTER OF SECTION 14, TOWNSHIP 78 NORTH, RANGE 28 WEST OF THE 5TH P.M., DALLAS COUNTY, IOWA, BEING THE NORTHEAST CORNER OF STREET LOT P;

THENCE SOUTH ALONG THE EAST LINE OF SAID SECTION 14 AND STREET LOT P, TO THE CENTER OF SECTION 14, TOWNSHIP 78 NORTH, RANGE 26 WEST OF THE 5TH P.M., DALLAS COUNTY, IOWA, BEING ALSO THE SOUTHEAST CORNER OF STREET LOT P OF HERITAGE BEND PLAT 1;

THENCE SOUTH, ALONG THE EAST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 14, TO THE SOUTHERLY POINT OF THE NORTH LINE OF STREET LOT 'B', THE CASCADES AT JORDAN CREEK PLAT 1, AN OFFICIAL PLAT, NOW INCLUDED IN AND FORMING A PART OF THE CITY OF WEST DES MOINES, DALLAS COUNTY, IOWA;

THENCE WEST, TO THE WEST RIGHT OF WAY LINE OF SOUTH 81ST STREET, SAID POINT BEING THE NORTHWEST CORNER OF SAID STREET LOT 'B';

THENCE WEST AND THENCE NORTHWEST ALONG THE SOUTHWESTERLY RIGHT OF WAY OF SOUTH 81ST STREET, TO THE SOUTHEAST CORNER OF STREET LOT 'A' OF THE CASCADES AT JORDAN CREEK PLAT 1, AS FILED IN BOOK 2015 PAGE 13814 OF THE DALLAS COUNTY RECORDER'S OFFICE;

THENCE SOUTHWESTERLY, ALONG THE SOUTH LINE OF SAID STREET LOT 'A' OF THE CASCADES AT JORDAN CREEK PLAT 1, TO THE SOUTHWEST CORNER OF SAID STREET LOT 'A';

THENCE NORTHWESTERLY, ALONG THE WEST LINE OF STREET LOT 'A', TO A POINT ON THE NORTH LINE OF PARCEL "AA" IN BOOK 2014 PAGE 4167;

THENCE SOUTHWESTERLY, ALONG THE NORTH LINE OF SAID PARCEL "AA", TO THE POINT OF BEGINNING.

A copy of the Amendment is on file for public inspection in the office of the City Clerk, City Hall, City of West Des Moines, Iowa.

The City of West Des Moines, State of Iowa is the local public agency which, if such Amendment is approved, shall undertake the urban renewal activities described in such Amendment.

The general scope of the urban renewal activities under consideration in the Amendment is to promote the growth and retention of qualified industries and businesses in the Urban Renewal Area through various public purpose and special financing activities outlined in the Amendment. To accomplish the objectives of the Amendment, and to encourage the further economic development of the Urban Renewal Area, the Amendment provides that such special financing activities may include, but not be limited to, the

making of loans or grants of public funds to private entities under Chapter 15A, Code of Iowa. The City also may reimburse or directly undertake the installation, construction and reconstruction of substantial public improvements, including, but not limited to, street, water, sanitary sewer, storm sewer or other public improvements. The City also may acquire and make land available for development or redevelopment by private enterprise as authorized by law. The Amendment provides that the City may issue bonds or use available funds for purposes allowed by the Plan and that tax increment reimbursement of the costs of urban renewal projects may be sought if and to the extent incurred by the City. The Amendment initially proposes specific public infrastructure or site improvements to be undertaken by the City, and provides that the Amendment may be amended from time to time.

The proposed Amendment No. 2 would add to the list of proposed urban renewal projects to be undertaken within the Urban Renewal Area and add land to the Urban Renewal Area.

Other provisions of the Plan not affected by the Amendment would remain in full force and effect.

Any person or organization desiring to be heard shall be afforded an opportunity to be heard at such hearing.

This notice is given by order of the City Council of the City of West Des Moines, State of Iowa, as provided by Section 403.5, Code of Iowa.

Dated this _____ day of _____, 2024.

City Clerk, City of West Des Moines, State of Iowa

(End of Notice)

That the proposed Amendment No. 2, attached hereto as Exhibit 1, for the Urban Renewal Area described therein is hereby officially declared to be the proposed Amendment No. 2 referred to in the notices for purposes of such consultation and hearing and that a copy of the Amendment shall be placed on file in the office of the City Clerk.

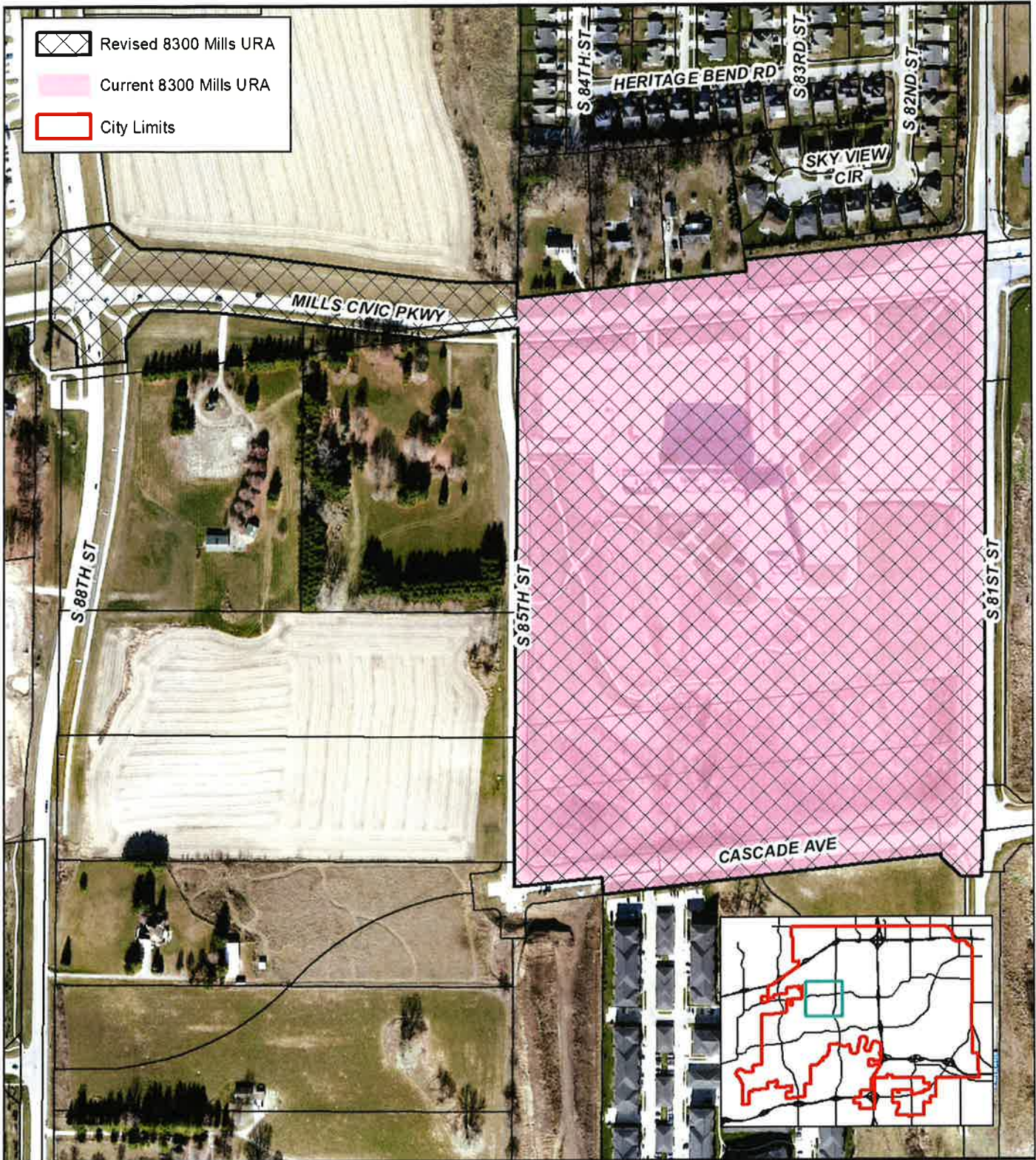
PASSED AND APPROVED this 2nd day of January, 2024.

Greg Hudson, Presiding Officer

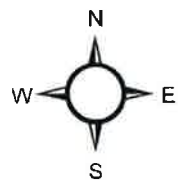
ATTEST:

Ryan T. Jacobson, City Clerk

Label the Amendment as Exhibit 1 (with all exhibits) and attach it to this Resolution.



8300 Mills Civic Parkway Urban Renewal Area Proposed Revision - Add ROW



* For illustrative purposes only. The City of West Des Moines claims no responsibility for map's correctness or content accuracy.

<https://wdmiowa.sharepoint.com/sites/CEDCommEeDev/CEDELibrary/Urban-Renewal-Plans/Alluvion/Alluvion/Amendment-2/8300-Mills-URP-Amendment-No-2-Setting-Public-Hearing-SR-CC-1-2-2024.docx>
<https://wdmiowa.sharepoint.com/sites/CEDCommEeDev/CEDELibrary/Urban-Renewal-Plans/Alluvion/Alluvion/Amendment-5/Alluvion-URP-Amendment-No-5-Setting-Public-Hearing-SR-CC-07-07-2024.docx>

CITY OF WEST DES MOINES STAFF REPORT COMMUNICATION

Meeting Date: January 2, 2024

ITEM: Amend the Grand Avenue Redevelopment Plan to add an additional property to the redevelopment area – City Initiated - MI-006293-2023

RESOLUTION: Approval of Amendment to Redevelopment Plan

Background: In cooperation with the property owner, VAB LLC, of 301 Ashworth Road, Development Services Staff is initiating an amendment to the Grand Avenue Redevelopment Plan (known as the Val*Gate District) to add the property at 301 Ashworth Road into the Redevelopment area governed by the Grand Avenue Redevelopment Plan. With the rehabilitation of the Val Air Ballroom building at 301 Ashworth Road nearing completion, staff is recommending that the property be incorporated in the redevelopment plan as the ballroom and site has been designated as historic, was developed in the mid-century era (1950's) recognized by the redevelopment plan and has an architectural design consistent with the redevelopment area. Also, it is intended that a streetscape with landscaping, ornamental stones, and benches consistent with the Val*Gate District will be installed on the property at the time of reconstruction of Ashworth Road.

Staff Review & Comment:

- Key Aspects of Proposed Amendment:
 - Exhibits: Exhibit I (page iii) within the Redevelopment Plan will be modified to include the property at 301 Ashworth Road as proposed.

Outstanding Issues: There are no outstanding issues.

Plan and Zoning Commission Action:

Date: December 27, 2023
 Vote: 6-0, with Commissioner Conlin absent
 Recommendation: Approve the Amendment to the Grand Avenue Redevelopment Plan.

Planning & Zoning Commission Discussion: The Planning & Zoning Commission asked what the incentive was for the owner to be added to the Redevelopment Plan area and what future impacts it would have on the owner. Staff indicated that adding this property to the Redevelopment Plan area would provide cohesiveness to the area bringing all the properties from the mid-century era together with architectural consistency and comparable site design. Staff also indicated that the only impacts to the owner would be maintenance of the streetscape landscaping, stones, benches and trash receptacles within the 10' streetscape strip along the frontage of his property.

Recommendation: Approve the Amendment to the Grand Avenue Redevelopment Plan.

Lead Staff Member: Brian Portz

Approval Meeting Dates:

Plan & Zoning Commission	December 27, 2023
City Council:	January 2, 2024

Staff Report Reviews

Plan & Zoning Commission	<input checked="" type="checkbox"/> Development Coordinator/Director	<input checked="" type="checkbox"/> Legal Department
City Council	<input checked="" type="checkbox"/> Director <input type="checkbox"/> Appropriations/Finance	<input type="checkbox"/> Legal Department <input checked="" type="checkbox"/> Agenda Acceptance

Publications

Published In	Des Moines Register Community Section
Date Published	N/A

Subcommittee Review (if applicable)

Committee	Development & Planning		
Date Reviewed	Not reviewed		
Recommendation	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> Split

**A RESOLUTION OF THE PLAN AND ZONING COMMISSION
NO. PZC-23-067**

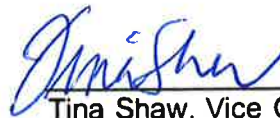
WHEREAS, staff requests approval of an Amendment to the Grand Avenue Redevelopment Plan to include the property at 301 Ashworth Road; and

WHEREAS, studies and investigations were made, and staff reports and recommendations were submitted which is made a part of this record and herein incorporated by reference; and

WHEREAS, on December 27, 2023, this Commission held a duly noticed public meeting to consider the application for an Amendment to the Grand Avenue Redevelopment Plan.

NOW THEREFORE, the Planning and Zoning Commission of the City of West Des Moines recommends the City Council approve the Amendment to the Grand Avenue Redevelopment Plan.

PASSED AND ADOPTED on December 27, 2023.



Tina Shaw, Vice Chair
Planning and Zoning Commission

I HEREBY CERTIFY that the foregoing resolution was duly adopted by the Planning and Zoning Commission of the City of West Des Moines, Iowa, at a regular meeting on December 27, 2023, by the following vote:

AYES: Costa, Crowley, Davis, Hatfield, McCoy, Shaw

NAYS:

ABSTENTIONS:

ABSENT: Conlin

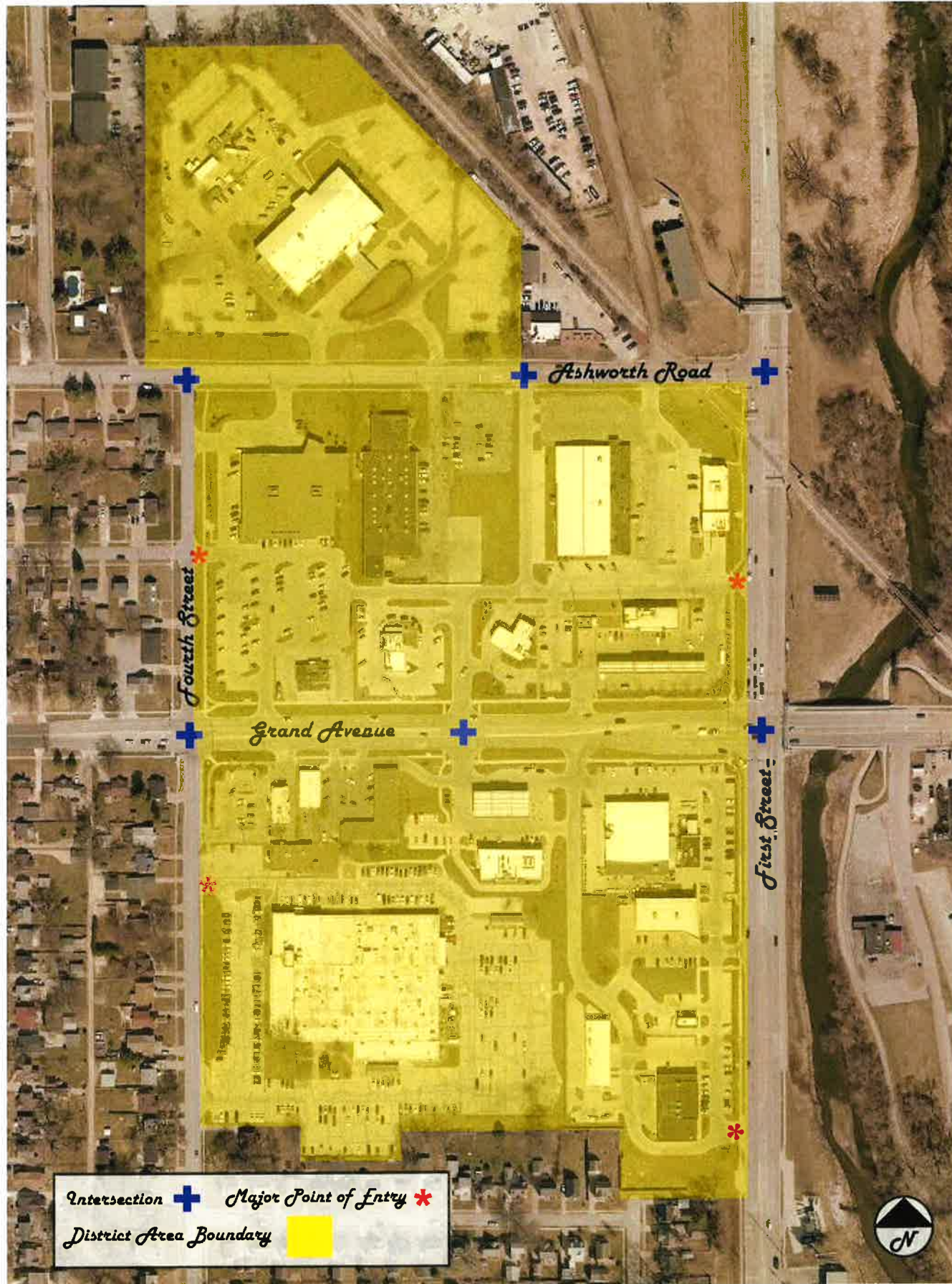
ATTEST:



Recording Secretary

PLANS INCLUDED ARE FOR ILLUSTRATIVE
PURPOSES ONLY – APPROVED PLANS ON FILE
WITH THE CITY

EXHIBIT 1: DISTRICT SKETCH PLAN



Prepared by: Brian Portz, City of West Des Moines Development Services Dept., PO Box 65320, West Des Moines, Iowa 50265-0320 515-222-3620
When Recorded, Return to: City Clerk, City of West Des Moines, PO Box 65320, West Des Moines, IA 50265-0320

RESOLUTION

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF WEST DES MOINES, APPROVING AN AMENDMENT TO THE GRAND AVENUE REDEVELOPMENT PLAN

WHEREAS, the City of West Des Moines, requests approval of an amendment to the Grand Avenue Redevelopment Plan (aka, Val*Gate) to add the property at 301 Ashworth Road into the Redevelopment Plan; and

WHEREAS, studies and investigations were made, and staff reports, and recommendations were submitted which is made a part of this record and herein incorporated by reference; and

WHEREAS, on December 27, 2023, the Plan and Zoning Commission recommended to the City Council, by a 6-0 vote, for approval of the Amendment; and

WHEREAS, on this day the City Council held a duly noticed meeting to consider the application for amendment to the Grand Avenue Redevelopment Plan; and

WHEREAS, the City Council has determined that due to the ongoing rehabilitation of the Val Air Ballroom building at 301 Ashworth Road to highlight the historical context of the building and further emphasizing its context to the redevelopment district, it is warranted that this property should be include within the Grand Avenue Redevelopment Plan area.

NOW, THEREFORE, The City Council does approve the amendment adding 301 Ashworth Road into the Grand Avenue Redevelopment Plan (MI-006293-2023), subject to compliance with all of the conditions of approval, including any conditions added at the meeting, attached hereto as Exhibit "A". Violation of any such conditions shall be grounds for revocation of the permit, as well as any other remedy which is available to the City.

PASSED AND ADOPTED on January 2, 2024.

Greg Hudson, Presiding Officer

ATTEST:

Ryan Jacobson, City Clerk

I HEREBY CERTIFY that the foregoing resolution was duly adopted by the City Council of the City of West Des Moines, Iowa, at a regular meeting held on January 2, 2024, by the following vote.

Exhibit A: Conditions of Approval

1. None.

CITY OF WEST DES MOINES CITY COUNCIL MEETING COMMUNICATION

ITEM: Approval of Proclamation
Martin Luther King Jr. Day
January 15, 2024

DATE: January 2, 2024

FINANCIAL IMPACT: None

BACKGROUND:

Dr. Martin Luther King Jr. devoted his life to advancing equality, social justice, and opportunity for all, and challenged all Americans to participate in the never-ending work of building a more perfect union.

The West Des Moines Human Rights Commission has requested the City adopt a proclamation to recognize Martin Luther King Jr. Day, which will be presented during the Martin Luther King Jr. Day events hosted by the commission on Monday, January 15th.

OUTSTANDING ISSUES (if any): None

RECOMMENDATION:

Approval of Proclamation recognizing Martin Luther King Jr. Day

Lead Staff Member: Ryan T. Jacobson, City Clerk *RTJ*

STAFF REVIEWS

Department Director	Ryan T. Jacobson, City Clerk
Appropriations/Finance	
Legal	
Agenda Acceptance	<i>RTJ</i>

PUBLICATION(S) (if applicable)

Published In	
Dates(s) Published	

SUBCOMMITTEE REVIEW (if applicable)

Committee			
Date Reviewed			
Recommendation	Yes	No	Split

Proclamation
Martin Luther King Jr. Day
January 15, 2024

Whereas, Dr. Martin Luther King Jr. devoted his life to advancing equity, social justice, and opportunity for all, challenging everyone to participate in the never-ending work of building a more perfect union; and

Whereas, despite his untimely death, Dr. King's teachings continue to guide us in addressing perennial challenges in our communities; and

Whereas, we are forever indebted to him for his sacrifice, so we honor his life each year by recognizing the profound impact he had locally and globally; and

Whereas, millions of Americans have been inspired by the work of Dr. Martin Luther King Jr. to challenge injustice, serve with compassion, and center the lives of those in the margins; and

Whereas, each of us has a responsibility to contribute to making our communities better, with increased access and opportunity for all residents; and

Whereas, the King Holiday and Service Act, enacted in 1994, is one of only two federal holidays commemorated as a National Day of Service, and offers an opportunity for individuals to give back to their communities through partnerships; and

Whereas, I encourage West Des Moines residents to make it a day on, not a day off, by volunteering with agencies like Meals from the Heartland or throughout the year with our Human Services Department to help feed our most food insecure residents.

NOW, THEREFORE, I, Russ Trimble, Mayor of the City of West Des Moines, Iowa, do hereby proclaim January 15, 2024

Martin Luther King Jr. Day

as a Day of Service in West Des Moines and call upon the community to pay tribute to the life and works of Dr. Martin Luther King Jr. today and throughout the year.

ATTEST:

Russ Trimble, Mayor

Ryan T. Jacobson, City Clerk

NO CHANGE FROM PREVIOUS READING**CITY OF WEST DES MOINES
STAFF REPORT COMMUNICATION****Meeting Date:** January 2, 2024

ITEM: Val Air Ballroom PUD, 301 Ashworth Road – Amend Comprehensive Plan Land Use Map to designate Multi Use Medium (MUM) and Establish the Val Air Ballroom Planned Unit Development Ordinance regulating development of an event venue & restaurant – VAB, LLC – CPA-005816-2022/ZC-005810-2022

ORDINANCE: Approval of Second Reading, Waiver of Third Reading and Adopt

Background: Doug Saltsgaver with Engineering Resource Group, Inc., on behalf of the applicant and property owner, VAB, LLC, request approval of a Comprehensive Plan Land Use Map Amendment and Rezoning Request to establish a new PUD Ordinance on that ground located at 301 Ashworth Road. The Comprehensive Plan Amendment and Rezoning are being requested in anticipation of the completion of a remodel of the existing Val Air Ballroom building on the site and formal establishment of an event venue. In conjunction with the event venue, a restaurant will be developed in the basement of the building. The Val Air Ballroom building has historically been used as an event venue/concert venue over the years, however, the underlying land use and zoning of the property didn't allow that use until recently. On November 20, 2023, the City Council approved an amendment to the City Zoning Ordinance to allow event venues within the Community Commercial (CMC) zoning district. The intent with this change was to better align the Community Commercial uses with the newly adopted land use categories within the Comprehensive Plan and to accommodate additional uses within the CMC district for undeveloped areas, as well as existing developed areas within the City to move forward with redevelopment.

Specifically, the following Land Use and Zoning changes are proposed with this request:

- Amend the Comprehensive Plan Land Use Map for approximately 9 acres to change from Community Commercial (CMC) to Multi Use Medium (MUM) land use; and
- Establish the Val Air Ballroom Planned Unit Development (PUD) Ordinance within the 8.5 acre PUD parcel.

The acreage discrepancy between the proposed Comprehensive Plan Land Use Amendment and Planned Unit Development is due to the manner in which the districts are mapped and assigned. The land use designation extends to the centerline of adjacent roads, while the zoning designation is confined to the property lines. In this case resulting in a 0.5-acre discrepancy between the comprehensive plan amendment and the zoning acreages.

Staff Review & Comment:

- ***Financial Impact:*** The developer and City entered into a development agreement that provided a 10-year, 100% TIF on the improved value above base, with a cap of \$1,182,250, with a minimum assessment agreement amount of \$5,500,000, valid for 20-years. As part of the agreement, the Val Air is required to employ at least 14 full-time employees throughout the agreement life.

- Development Intent: The Val Air Ballroom PUD intends to provide a framework for development standards reflective of the realities and constraints of redevelopment and to establish design standards to reinforce the intent of the Grand Avenue Redevelopment Plan to respect the context of the area and create a neighborhood identity that recognizes the area's original development history.
- Key Development Aspects:
 - Grand Avenue Redevelopment Plan: The Val Air Ballroom PUD is located within the area identified for redevelopment by the Grand Avenue Redevelopment Plan. Redevelopment in this area is intended to create a special iconic district within the City of West Des Moines known as the Val-Gate District. All development within this district must be in furtherance of the goals of the Grand Avenue Redevelopment Plan. Although the façade of the building will be redone as part of this, the majority of the iconic architectural elements of the Val Air Ballroom are being kept.
 - Land Use: The land use of the property is proposed to be changed to the new Multi Use Medium (MUM) classification adopted as a part of the new Comprehensive Plan land use map. As new requests for land use changes come forward for developed areas of the city, the new land use designations will be used. The overall application of the new land use classifications to the developed portions of the city is anticipated to be brought forward in February and March of 2024, after a January 2024 outreach and comment time period.
 - Architecture: Included within the Grand Avenue Redevelopment Plan is indication of the architectural style and illustrative examples of the architectural concepts which shall serve to guide the design of all renovations of existing buildings or new buildings within the Val Air Ballroom PUD. All buildings in the PUD shall reinforce the concept depicted in the Grand Avenue Redevelopment Plan.

Recognizing that the ballroom building has been listed on the National Register of Historic Places, all exterior modifications or building additions to the Val Air Ballroom shall be compatible with the historic character of the existing building or the midcentury era. Repair and/or replacement shall be of like kind or revert back to the original historic appearance, as directed by the State Historic Preservation Office (SHPO).

- Parking: The Val-Air is considered an event venue for the purposes of determining parking requirements. One (1) parking space per fifty (50) square feet of floor area of assembly space for patrons and staff is required to be provided. The current assembly areas within the building consist of 19,930 square feet resulting in 399 parking spaces required within the site. There are currently 429 parking spaces on the site. It is noted in the PUD that should a building expansion or other use occur that increases the assembly space, additional parking may be required. Additional parking may be provided on-site or through off-site parking agreements with surrounding businesses. For additional parking provided by written agreement with businesses located on the south side of Ashworth Road, unless otherwise agreed to be provided by the city, the developer shall be responsible for implementation of any pedestrian crossing identification and safety measures deemed necessary by the city, including but not limited to signage, pavement markings and electronic crossing signals.

During events in the main ballroom of the building, a bar and grill to be located in the basement of the building, will only be open to patrons of the ballroom event venue, regardless of the size of that event. Since the bar and grill will not be open to the general public during events, additional parking requirements for the bar and grill will not be required. The restaurant may be open when an event is not occurring; there is ample parking for these situations.

Streetscape: A landscaped edge with hardscape elements or "streetscape" shall be provided along Ashworth Road. This streetscape is intended to provide desired green to the city, reinforce a district identity, provide visual screening of parking and other negative site elements, bring human scale to adjoining buildings and provide traffic calming benefits. The streetscape shall be accomplished in accordance with the Grand Avenue Redevelopment Plan streetscaping intent and shall include vegetation, furniture, and ornamental stone wall screening elements as illustrated in the Redevelopment plan. Monument signs and pedestrian elements such as patios and walkways may encroach into the streetscape area; however, no buildings or off-street parking may encroach.

A minimum ten-foot (10') streetscape easement shall be provided parallel with Ashworth Road to provide area for district streetscape, signage and to maintain utility corridors. The developer will provide the necessary easement at the time of installation.

The streetscape landscaping, wall stones, benches and trash receptacles will be installed with the reconstruction of Ashworth Road.

- **Traffic Analysis Findings:** A traffic analysis was not completed for this Comprehensive Plan Amendment and PUD establishment. Traffic studies may be required in conjunction with the incorporation of additional uses within the Val Air Ballroom PUD, other than an event venue and interior restaurant.

Outstanding Issues: There are no outstanding issues.

Planning and Zoning Commission Action:

Date: December 11, 2023
Vote: 7-0 for approval
Recommendation: Approve Comprehensive Plan Land Use Amendment

Planning and Zoning Commission Action:

Date: December 11, 2023
Vote: 7-0 for approval
Recommendation: Approve Ordinance Amendment

City Council Comprehensive Plan Amendment

Date: December 18, 2023
Vote: 4-0 for approval, with Council Member Hardman absent

City Council First Reading:

Date: December 18, 2023
Vote: 4-0 for approval, with Council Member Hardman absent

Recommendation: Approve the Comprehensive Plan Land Use Map Amendment and establishment of the Val Air Ballroom Planned Unit Development (PUD) Ordinance, subject to the applicant meeting all City Code requirements.

Lead Staff Member: Brian Portz

Approval Meeting Dates:

Planning and Zoning Commission	December 11, 2023
City Council: First Reading	December 18, 2023
City Council: Second Reading, Waive Third Reading and Adopt	January 2, 2024

Staff Report Reviews:

Planning & Zoning Commission	<input type="checkbox"/> Development Coordinator (or)	<input checked="" type="checkbox"/> Legal Department
	<input checked="" type="checkbox"/> Director	
City Council	<input checked="" type="checkbox"/> Director	<input checked="" type="checkbox"/> Legal Department
	<input type="checkbox"/> Appropriations/Finance	<input checked="" type="checkbox"/> Agenda Acceptance <i>JP</i>

Publications (if applicable)

Published In:	Des Moines Register Community Section
Date(s) Published	12/1/23
Date(s) of Mailed Notices	12/1/23

Council Subcommittee Review (if applicable)

Subcommittee	Development & Planning			
Date Reviewed	11/21/22			
Recommendation	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	Split <input type="checkbox"/>	No Discussion <input type="checkbox"/>

Location Map



A RESOLUTION OF THE PLANNING AND ZONING COMMISSION
NO. PZC-23-062

WHEREAS, pursuant to the provisions of Title 9, Zoning, of the West Des Moines Municipal Code, the applicant and property owner, VAB, LLC, request approval of a Comprehensive Plan Land Use Map Amendment to change the land use designation of the Planned Unit Development development parcel as shown on the Planned Unit Development Sketch Plan included in the staff report from Community Commercial (CMC) to Multi Use Medium (MUM).

WHEREAS, the comprehensive plan amendment complies with the applicable provisions of Iowa Code Chapter 414 and City Code.

NOW, THEREFORE, the Planning and Zoning Commission of the City of West Des Moines recommends that City Council approve the Comprehensive Plan Land Use Map Amendment, (CPA-005816-2022) subject to compliance with all the conditions of approval as stated in the staff report, including conditions added at the meeting, and attached hereto as Exhibit "A", if applicable.

PASSED AND ADOPTED on December 11, 2023.



Andrew Conlin, Chair
Planning and Zoning Commission

I HEREBY CERTIFY that the foregoing resolution was duly adopted by the Planning and Zoning Commission of the City of West Des Moines, Iowa, at a regular meeting held on December 11, 2023, by the following vote:

AYES: Conlin, Costa, Crowley, Davis, Hatfield, McCoy, Shaw

NAYS:

ABSTENTIONS:

ABSENT:

ATTEST:


Recording Secretary

A RESOLUTION OF THE PLANNING AND ZONING COMMISSION
NO. PZC-ZC-23-063

WHEREAS, pursuant to the provisions of Title 9, Zoning, of the West Des Moines Municipal Code, the applicant and property owner, VAB, LLC, request approval of a Rezoning Request to establish the Val Air Ballroom Planned Unit Development (PUD) on property as legally defined in the Planned Unit Development (PUD) Ordinance and indicated on the Location Map, both of which are included in the staff report. Specifically, underlying zoning of Community Commercial (CMC) zoning shall be applied for development of an event venue and restaurant; and

WHEREAS, the Rezoning request complies with the applicable provisions of Iowa Code Chapter 414, the Comprehensive Plan and City Code.

NOW, THEREFORE, the Planning and Zoning Commission of the City of West Des Moines recommends that City Council approve the Rezoning request, (ZC-005810-2022) subject to compliance with all the conditions of approval as stated in the staff report, including conditions added at the meeting, and attached hereto as Exhibit "A", if applicable.

PASSED AND ADOPTED on December 11, 2023.



Andrew Conlin, Chair
Planning and Zoning Commission

I HEREBY CERTIFY that the foregoing resolution was duly adopted by the Planning and Zoning Commission of the City of West Des Moines, Iowa, at a regular meeting held on December 11, 2023, by the following vote:

AYES: Conlin, Costa, Crowley, Davis, Hatfield, McCoy, Shaw

NAYS:

ABSTENTIONS:

ABSENT:

ATTEST:


Recording Secretary

Prepared by: Brian Portz, City of West Des Moines Development Services Dept., PO Box 65320,
West Des Moines, Iowa 50265-0320 515-222-3620
When Recorded, Return to: City Clerk, City of West Des Moines, PO Box 65320, West Des Moines, IA 50265-0320

RESOLUTION

WHEREAS, pursuant to the provisions of Title 9, Zoning, of the West Des Moines Municipal Code, the applicant and property owner, VAB, LLC, request approval of a Comprehensive Plan Land Use Map Amendment to change the land use designation from Community Commercial (CMC) to Multi Use Medium (MUM) on the ground legally described in attached Exhibit 'B' and as indicated on the attached Comprehensive Plan Land Use Map Change Illustration; and

WHEREAS, studies and investigations were made, and staff reports, and recommendations were submitted which is made a part of this record and herein incorporated by reference; and

WHEREAS, the Comprehensive Plan Land Use Map Amendment complies with applicable provisions of Iowa Code Chapter 414 and City Code; and

WHEREAS, on December 11, 2023, the Planning and Zoning Commission did recommend to the City Council, by a 7-0 vote, approval of the Comprehensive Plan Land Use Map Amendment; and

WHEREAS, on this day this City Council held a duly noticed Public Hearing to consider the application for Comprehensive Plan Land Use Map Amendment.

NOW, THEREFORE, The City Council hereby approves the Comprehensive Plan Land Use Map Amendment (CPA-005816-2022) as shown on attached Comprehensive Plan Land Use Map Change Illustration, subject to compliance with all the conditions in the staff report, dated December 18, 2023, including conditions added at the meeting, and attached hereto as Exhibit "A". Violation(s) of any such condition(s) shall be grounds for revocation of the entitlement, as well as any other remedy which is available to the City.

23-12-18-08

PASSED AND ADOPTED on December 18, 2023.


Russ Trimble, Mayor

COUNCIL ACTION	YEAS	NAYS	ABST.	ABSENT
TREVILLYAN	✓			
HUDSON	✓			
LOOTS	✓			
HARDMAN				✓
MCKINNEY	✓			
MOTION BY	Trevillyan			
SECOND BY:	McKinney			
ROLL CALL #	23-518			

ATTEST:


Ryan Jacobson, City Clerk

I HEREBY CERTIFY that the foregoing resolution was duly adopted by the City Council of the City of West Des Moines, Iowa, at a regular meeting held on December 18, 2023, by the indicated vote.

Exhibit A: Conditions of Approval

1. None

Exhibit B: Legal Description

LOT 169 IN CLEGG PARK PLAT 4, AN OFFICIAL PLAT, NOW INCLUDED IN AND FORMING A PART OF THE CITY OF WEST DES MOINES, POLK COUNTY, IOWA, EXCEPTING THEREFROM THE FOLLOWING TRACT OF LAND: BEGINNING AT THE SOUTHEASTERLY CORNER OF SAID LOT 169, THENCE WEST ON THE SOUTH LINE THEREOF, 230 FEET, THENCE NORTH AT RIGHT ANGLES TO SAID SOUTH LINE TO A POINT ON THE NORTHEASTERLY LINE OF SAID LOT, THENCE SOUTHEASTERLY ON SAID NORTHEASTERLY LINE TO BEGINNING.

CONTAINING 8.5 AC, 369,519 SF

Comprehensive Plan Land Use Map Change Illustration



Prepared by: Brian Portz, City of West Des Moines Development Services Dept., PO Box 65320,
West Des Moines, Iowa 50265-0320 515-222-3620

When Recorded, Return to: City Clerk, City of West Des Moines, PO Box 65320, West Des Moines, IA 50265-0320

ORDINANCE #

AN ORDINANCE AMENDING THE OFFICIAL ZONING MAP AND THE CITY CODE OF THE CITY OF WEST DES MOINES, IOWA, 2019, BY AMENDING TITLE 9, ZONING, CHAPTER 9, PLANNED UNIT DEVELOPMENT DISTRICT, PERTAINING TO PLANNED UNIT DEVELOPMENT (PUD), DISTRICT REGULATIONS AND GUIDELINES.

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF WEST DES MOINES, IOWA:

SECTION 1. AMENDMENT. Amend the Zoning Map of the City of West Des Moines, Iowa, by rezoning the following legally described property from Community Commercial (CMC) to **Val Air Ballroom** Planned Unit Development (PUD) of West Des Moines, Iowa:

Legal Description

Lot 169 in Clegg Park Plat 4, an official plat, now in and forming a part of the City of West Des Moines, Polk County, Iowa, excepting therefrom the following tract of land: beginning at the southeasterly corner of said Lot 169, thence west on the south line thereof, 230 feet, thence north at right angles to said south line to a point on the northeasterly line of said lot, then southeasterly on said northeasterly line to beginning.

SECTION 2. DEVELOPMENT INTENT: The Val Air Ballroom PUD intends to provide a framework for development standards reflective of the realities and constraints of redevelopment and to establish design standards to reinforce the intent of the Grand Avenue Redevelopment Plan to respect the context of the area and create a neighborhood identity that recognizes the area's original development history. The Val Air Ballroom PUD is located within the area identified for redevelopment by the Grand Avenue Redevelopment Plan. Redevelopment in this area is intended to create a special iconic district within the City of West Des Moines known as the Val-Gate District. All development within this district must be in furtherance of the goals of the Grand Avenue Redevelopment Plan. The City of West Des Moines Val-Gate District Grand Avenue Redevelopment Plan and all appendices and exhibits, as amended, are hereby incorporated as part of the Val Air Ballroom PUD.

The Grand Avenue Redevelopment Plan identifies major street patterns, access and interconnection points, district streetscape locations and typical design including signage and

pedestrian elements. The intent of the redevelopment plan is to provide a tool that can be used to promote the communication and cooperation between adjacent property owners and developers within the overall district to create and ensure a cohesive and unified development.

Properties within the Grand Avenue Redevelopment Plan may be referred to as the Val-Gate District.

SECTION 3. SKETCH PLAN: Attached hereto (or on file with the city) and made a part of this rezoning approval, for concept description and delineation is the Sketch Plan document for Val Air Ballroom PUD marked Exhibit "A". The Sketch Plan is a graphic representation of the property included in the PUD for the purpose of easier reference for the applicable regulations of this Ordinance. Wherever conflict occurs between the written text in this document and the notations on the Sketch Plan, the written text shall prevail.

SECTION 4. REQUIRED PLANS: The following plans shall be required as a part of the processing of any development application for any property within the Val Air Ballroom PUD:

- A. **Planned Unit Development:** A planned unit development (PUD) identifies detailed development criteria for specific areas within the Grand Avenue Redevelopment Plan area. The planned unit development shall conform to the general development intent identified in the approved redevelopment plan. The planned unit development shall be reviewed by the Planning and Zoning Commission and adopted by the City Council by ordinance.

This document shall constitute the Planned Unit Development Ordinance for the Val Air Ballroom. On file in the city is a sketch plan that illustrates the overall site layout concept (Exhibit A). This document and any referenced documents or exhibits (on file with the city clerk) are intended to specify the components, parameters, and requirements to be adhered to and implemented in order to ensure the realization of the Grand Avenue Redevelopment Plan. It is recognized that modifications and changes may be necessary due to changes in building footprints, site details, and response to market demand. At the discretion of the Director of Development Services, changes to the layout of the development that are deemed to be "major" changes shall require an amendment to the sketch plan and ordinance, if applicable. Major amendments shall require the review of the Planning and Zoning Commission and approval by the City Council.

Where the sketch plan and PUD language conflict, the PUD language shall prevail.

- B. **Development Applications (Site Plans or Modifications to a Site Plan):** Site plans for development within the Val Air Ballroom PUD must meet the intent of the approved PUD. A Site Plan or Modifications to a Site Plan for the development of the site shall be submitted to the City of West Des Moines for review and approval prior to the development or modifications of any portion of the lot. Site plans or Major Modifications to a Site Plan for permitted uses which comply (as determined by the Director of Development Services or designee) with the design intent as set forth in this PUD will be subject to review via the City's development review process and shall receive final approval from the City Council following a recommendation from the Planning and Zoning Commission. Minor Modifications to an approved Site Plan will be subject to review via the City's development review process and shall be approved administratively if the site complies with all regulations provided in city code, or which do not further an existing deficiency to city code. A Minor Modification which does increase an existing deficiency shall be considered by the appropriate approval body. Uses identified as Permitted Conditional (PC) shall require approval from the Board of Adjustment

of the use prior to review and approval of any Site Plan or Modification to a Site Plan. At the discretion of the Director of Development Services, an amendment to the Val Air Ballroom PUD may be required to bring consistency between the ordinance and site plan development proposed.

SECTION 5. COMPLIANCE WITH CODE: Unless otherwise specified herein, the development of the Val Air Ballroom PUD shall comply with the provisions of the West Des Moines city code.

SECTION 6. DEVELOPER RESPONSIBILITIES:

- A. Unless otherwise specifically approved by the City Council, the developer, its successors and/or assigns, if any, shall pay all planning, engineering, and construction costs for the development of the Planned Unit Development as required by this ordinance, and shall pay all costs related to approved site plans, which may include, but is not limited to, the cost of all storm sewers, sanitary sewers, water mains and service lines, drainageway improvements, detention basins, buffers, and other improvements as required. Nothing in this ordinance shall be construed to prevent the developer, its successors and/or assigns, if any, from entering into private agreement(s) as it/they may desire to share the cost of improvements.
- B. The developer shall be responsible for the maintenance of the area encompassing the streetscape easement and related public right of way, including trash removal for the trash receptacles.
- C. Developer's responsibilities include all obligations contained in this section as well as those responsibilities set forth in this ordinance.

SECTION 7. LAND USE: All general use regulations and provisions set forth in title 9, "Zoning", of the West Des Moines city code for the Community Commercial (CMC) zoning district, shall apply to any development proposal within the Val Air Ballroom PUD area, unless noted elsewhere within this ordinance.

- A. Allowed Uses: Uses allowed for parcels within Val Air Ballroom PUD shall be those uses identified as permitted or permitted conditional (with approval of the Board of Adjustment) for the Community Commercial (CMC) district, except Event Venue greater than 5,000 square feet shall be considered a permitted use.
- B. Prohibited Uses: The following uses identified as permitted or permitted conditional in the Community Commercial (CMC) district shall be prohibited in the Val Air Ballroom PUD:

SIC 15, 16, & 17	Building construction, contractor and operative builders (offices only, no warehouse component)
SIC 4225	General Warehousing and storage
SIC 47	Transportation Services
SIC 5932-99	Used building materials (no outside storage)

- C. Drive-Throughs: No drive-throughs, regardless of type, shall be permitted within the Val Air Ballroom PUD.

SECTION 8. BULK REGULATIONS:

- A. Lot Size: No minimum lot size shall be required.
- B. Building Height: The height of a building shall conform to the limits prescribed by the zoning code for the Community Commercial (CMC) district unless otherwise specifically approved by the City Council after a recommendation from the Planning and Zoning Commission that the additional height is necessary and appropriate to achieve an architectural intent consistent with the goals of the Grand Avenue Redevelopment Plan.
- C. Building Setbacks:
 - 1. Unless otherwise specifically stated, setbacks shall be measured from the property line or ultimate street right of way line, whichever is more restrictive.
 - 2. Building setbacks are to the main plane of the building excluding canopies and pedestrian arcades.
 - a. Buildings shall be set back a minimum of thirty feet (30') from Ashworth Road, twenty feet (20') from side property lines and thirty-five feet (35') from rear property lines.
 - b. Nothing herein, however, shall be construed as permitting the location of a building that will interfere with pedestrian or vehicle visibility at an intersection, sidewalks, trails, plazas, or maintenance of utilities.
 - 3. Dumpster enclosures shall be located no closer to Ashworth Road than the front plane of the primary building and a minimum of five feet (5') from all other parcel boundaries. Dumpsters should be opaquely screened from visibility from Ashworth Road. Whenever possible, dumpsters should be located and designed as an extension of the primary building. Freestanding dumpster enclosures should be located and landscaped to blend with the landscape and minimize their presence.

SECTION 9. VEHICLE TRIP ALLOCATION: Traffic studies may be required in conjunction with the incorporation of new additional or expansion of existing uses within the Val Air Ballroom PUD.

SECTION 10. STORMWATER MANAGEMENT PLAN: A master stormwater management plan (MSWMP) for the entire Grand Avenue redevelopment area which governs the overall stormwater management of the Val-Gate district has been prepared by the City of West Des Moines. Specific stormwater management plans (SWMP) will be required with the submittal of each site development plan. The specific stormwater plans shall be prepared at the developer's expense, by a professional engineer licensed in the state of Iowa. All specific stormwater management plans shall comply with the city's applicable design standards for stormwater management existing at the time each development (site plan) is approved. Said SWMP must demonstrate compliance with the Grand Avenue Redevelopment master stormwater management plan, if available, at the time of site plan approval.

SECTION 11. SITE ACCESS: Two permanent access drives to the Val Air Ballroom PUD shall be provided.

- A. Access Locations:
 - 1. There are two existing access locations to the site that shall remain unless the site is completely redeveloped in the future. The access locations will be reviewed at that time.
 - 2. At the time of redevelopment of the property to the east of the Val Air Ballroom PUD, a connection shall be made to the Val Air Ballroom site via an existing private ingress/egress easement (Book 12138, Page 875).

SECTION 12. PARKING:

A. Off Street Parking:

1. Parking stall measurements and drive aisle widths shall conform to title 9, chapter 15 of the city code.
2. Parking Ratios:
 - a. *Event Venue:* The Val-Air is considered an event venue for the purposes of determining parking requirements. One (1) parking space per fifty (50) square feet of floor area of assembly space for patrons and staff is required to be provided. The current assembly areas within the building consist of 19,930 square feet resulting in 399 parking spaces required within the site. There are currently 429 parking spaces on the site. Should a building expansion or other use occur that increases the assembly space, additional parking may be required. Additional parking may be provided on-site or through off-site parking agreements with surrounding businesses. For additional parking provided by written agreement with businesses located on the south side of Ashworth Road, unless otherwise agreed to be provided by the city, the developer shall be responsible for implementation of any pedestrian crossing identification and safety measures deemed necessary by the city, including but not limited to signage, pavement markings and electronic crossing signals.
 - b. *Bar & Grill:* During events in the main ballroom of the building, the bar and grill located in the basement of the building shall only be open to patrons of the ballroom event venue, regardless of the size of that event. Since the bar and grill will not be open to the general public during events, additional parking requirements for the bar and grill will not be required.
3. Off Street Parking Lot Setbacks: Parking shall be set back so as to provide a minimum of ten feet (10') from the ultimate street right of way of Ashworth Road, thirty-foot (30') setback along the west and north property lines and a ten-foot (10') setback along the northeast and east property lines.

SECTION 13. PEDESTRIAN ELEMENTS: The Val Air Ballroom PUD, in alignment with the Grand Avenue Redevelopment Plan, aims to encourage pedestrian movement and opportunities for pedestrian interaction through the implementation of multiple and connected pathways to and from parcels within the redevelopment area. In addition, to encourage pedestrian activity, site furniture and benches for pedestrian use shall be provided along public streets within an area of enhanced landscaping. One pedestrian area shall be provided for every two hundred linear feet (200') of frontage (streetscape). Each pedestrian area shall contain at a minimum two (2) benches and one trash receptacle. These pedestrian areas may be spaced along the frontage or grouped to create a larger plaza area. Development of these areas shall comply with the Grand Avenue Redevelopment Plan guidelines with details of the development of each area to be specified, reviewed, and approved at the time of site plan development. Unless otherwise specified within an agreement with the city, the installation of these pedestrian elements shall be by the developer of the Val Air Ballroom PUD at the time of development. A public access easement will be required for the streetscape area at the time of installation to allow public use of the pedestrian elements.

SECTION 14. LANDSCAPING: Landscaping must be provided with any Major Modification or Site Plan in accordance with city code unless otherwise modified within this ordinance. Landscaping shall be provided as part of a Minor Modification for the subject area of the modification site plan. Details regarding specific varieties, exact quantities, and the minimum size at time of planting shall be provided and approved as part of any site plan submittal and shall

meet the general guidelines in respect to the minimum plant sizes traditionally applied to development within the city. The minimum vegetation quantities specified within this ordinance will need to be provided. The provision of additional vegetation above the minimum amount required may be necessary to fulfill the intent (i.e., visual mitigation/screening) of the required landscaping.

- A. Open/Green Space: Due to the nature of the intended redevelopment in respect to existing development pattern, uses, and densities, the amount and locations of open space and green space/vegetation within the redevelopment area will vary. As a general rule, the maximum amount of "green" (open lawn areas and vegetation) should be provided within a site. To allow the most flexibility in planning, the site shall attempt to provide a minimum of twenty-five percent (25%) open space; however, the PUD area shall not contain less than fifteen percent (15%) open space or more than eighty-five percent (85%) impervious surface. Plaza and streetscape areas along with any areas associated with outdoor pedestrian use may be counted toward fulfilling the minimum open space requirement. Plazas and outdoor pedestrian use areas to be counted toward fulfilling minimum open space requirements may be paved (impervious) as long as the paving is part of a planned hardscape and softscape enhancement of the plaza or pedestrian area.

At the time of a Site Plan modification applications for the site, a minimum of two (2) trees and three (3) shrubs shall be provided for every three thousand (3,000) square feet of required open space which shall be based on twenty-five percent (25%) of the site regardless of the actual amount provided. Of the required trees, fifty percent (50%) shall be of an overstory or evergreen variety unless otherwise done for design intent and specifically approved by the appropriate reviewing body. No substitution for required trees is allowed; however, a twenty (20) square foot mass planting of perennial flowers or ornamental grasses may be substituted for three (3) shrubs. The incorporation of evergreen vegetation is encouraged to provide winter substance within the landscape. Vegetation required as part of the open space may be placed into off street parking areas, streetscape areas or required buffers, but is in addition to vegetation required of streetscape areas.

- B. Streetscaping: A landscaped edge with hardscape elements or "streetscape" shall be provided along Ashworth Road. This streetscape is intended to provide desired green to the city, reinforce a district identity, provide visual screening of parking and other negative site elements, bring human scale to adjoining buildings and provide traffic calming benefits. The streetscape shall be accomplished in accordance with the Grand Avenue Redevelopment Plan streetscaping intent and shall include vegetation, furniture, and ornamental stone wall screening elements as illustrated in the Redevelopment plan. Monument signs and pedestrian elements such as patios and walkways may encroach into the streetscape area; however, no buildings or off-street parking may encroach.

A minimum ten-foot (10') streetscape easement shall be provided parallel with Ashworth Road to provide area for district streetscape, signage and to maintain utility corridors. The developer shall provide the necessary easement at the time of installation.

Streetscape landscaping shall be placed within the streetscape easement on the private property. Landscape vegetation and amenities such as pedestrian benches and ornamental wall stones shall be implemented within the streetscape area to provide screening of off-street parking areas to a minimum height of three feet (3'). To aid in achieving this, a minimum of two (2) trees and ten (10) shrubs shall be required for every fifty linear feet (50') of streetscape distance. Of the required number of trees, a minimum

of one-half ($\frac{1}{2}$) must be overstory in nature. No substitution of shrubs for required trees shall be allowed. Additionally, three (3) "ornamental wall stones" as illustrated in the Grand Avenue Redevelopment Plan shall be provided for every one hundred linear feet (100') of streetscape. It is recommended that the stones be clustered in groups of at least three (3) stones amongst and between groups of shrubs to provide mass and screening rather than be equally spaced along the streetscape length.

The streetscape landscaping, wall stones, benches and trash receptacles will be installed with the reconstruction of Ashworth Road.

- C. Screening Of Negative Site Elements: Electrical transformers, trash dumpsters, service areas and loading docks, heating, ventilation, air conditioning, generators, utility meters, and other mechanical equipment which are located on, beside or adjacent to any building or development shall be visually screened from views from adjacent roadways, pedestrian paths, and adjoining properties. Any structures to enclose or otherwise screen negative site elements which is attached to the building shall be reviewed and approved by the State Historic Preservation Office prior to their installation.
- D. Vegetation Placement: Understory trees are an acceptable replacement for overstory trees and upright evergreen trees within public utility easements. The presence of utility easements shall not provide a basis for noncompliance with landscaping provisions found within this ordinance and within any applicable codes. The placement of public utility easements within streetscapes and buffer parks is discouraged due to the potential conflict between trees and the need to access the lines for repair.

SECTION 15. SIGNAGE: All signage shall follow the precedent images contained in the Grand Avenue Redevelopment Plan and shall comply with title 9, chapter 18 of the city code except as modified herein or within the Grand Avenue Redevelopment Plan. Recognizing that the ballroom building has been listed on the National Register of Historic Places, new signage for the Val Air Ballroom shall be compatible with the site's historic character by using design, materials, and technology of the mid-century era (Googie style). All modifications to existing signage or repair and/or replacement shall be of like kind or revert back to the original historic appearance if not replacing original material. It is strongly recommended that any alterations to the existing signage follow guidance provided by the State Historic Preservation Office. Sign design and construction not typically allowed by code may be permitted by the Director of Development Services if it is deemed to carry and reinforce the design intent of the Val-Gate district. Allowance of alternate design and construction measures shall only be allowed if there is no other code compliant manner in which to create the sign. The use of LED illumination for signage emulating "neon style" lighting and relevant to the architectural theme of the district may be allowed with the approval of the State Historic Preservation Office. The following additional modifications to title 9, chapter 18 of the city code are hereby made:

A. Business Identification Signs:

1. Business identification signs, including wall, ground monument, roof, and projecting signs shall be consistent with and reinforce the design intent of the redevelopment plan.
2. For existing iconic signage, or any proposed signage that is found to reflect the intent of the redevelopment plan, this site shall be allowed one and one half ($1 \frac{1}{2}$) square foot of wall signage per linear foot of the building wall that contains the main entrance to the building. The allowed signage may be divided into multiple signs as long as the total amount of sign area earned, based upon the formula above, is not exceeded. Wall signage may project above the roof line of the structure/wall of which it is attached. If the proposed signage is not found to reflect the intent of the redevelopment plan guidelines, the allowed

wall signage shall be permitted at one (1) square foot of wall signage per linear foot of the building wall that contains the main entrance to the building.

3. Ground monument signs shall be allowed in accordance with city code with the following exception:
 - a. The main sign structure shall not exceed thirty-five (35) square feet and five feet (5') in height at a 10' setback, or sixty-four (64) square feet and seven-foot (7') in height at a twenty-foot (20') setback. Up to an additional one foot (1') of height shall be allowed for columns or other architectural elements. Changeable copy in compliance with Sign Code regulations and appropriate for the era as depicted in the Grand Avenue Redevelopment Plan (no electronic message boards) shall be allowed up to seventy five percent (75%) of the sign face.

SECTION 16. LIGHTING: Consistent with the redevelopment plan, the Val Air Ballroom PUD shall incorporate a variety of light fixtures ranging from parking lot lights and roadway fixtures to pedestrian pathway lights, as applicable. Included within section 6 of the Grand Avenue Redevelopment Plan are design specifications and requirements along with sketches and images of the intended lighting series. All lighting within the PUD area that is changed in the future shall abide by these standards and be consistent in character to that illustrated in the Grand Avenue Redevelopment Plan and the Val-Gate district's iconic design intent.

If changes are made to the existing parking lot exterior lighting, including a change to LED, a photometric plan must be submitted for review. During the review, the applicant must demonstrate how lighting will not adversely affect adjoining properties or patrons utilizing the public street system. Special care must be given to ensure excess light does not spill onto properties adjacent to, but not part of, the Val-Gate district.

The following general guidelines shall be in addition to the specific regulations stated within the Grand Avenue Redevelopment Plan regulations:

- A. Streetlights: Unless otherwise provided, the developer of the Val Air Ballroom PUD shall pay the cost of streetlight installation adjacent to Ashworth Road as needed.
- B. Parking Luminaries: Fixtures shall be of a design to direct light downward and shall not have bulbs which are exposed and extend below the frame of the light fixture. Said fixtures shall not exceed twenty-five feet (25') in height as measured from the ground to the top of the light structure. Fixtures used shall be consistent throughout the Val Air Ballroom PUD.
- C. Building Lighting: No wall packs or floodlighting without shields to direct the light to its intended target are allowed. In addition to cut off fixtures, particular attention shall be given to eliminate hot spots and light glare. Architectural accent lighting in keeping with the design intent of the Val-Gate District Redevelopment Plan may be allowed if approved as part of the architectural design.
- D. Pedestrian Pathways: Bollard or pole lighting may be implemented along pedestrian pathways. Pole lights shall not exceed fourteen feet (14') as measured from the ground to the top of the light fixture.

SECTION 17. ARCHITECTURE: Included within the Grand Avenue Redevelopment Plan is indication of the architectural style and illustrative examples of the architectural concepts which shall serve to guide the design of all renovations of existing buildings or new buildings within Val

Air Ballroom PUD. All buildings in the PUD shall reinforce the concept depicted in the Grand Avenue Redevelopment Plan. Specific architecture for all buildings shall be evaluated as part of the site plan review and approval process.

Recognizing that the ballroom building has been listed on the National Register of Historic Places, all exterior modifications or building additions to the Val Air Ballroom shall be compatible with the historic character of the existing building or the midcentury era. Repair and/or replacement shall be of like kind or revert back to the original historic appearance, as directed by the State Historic Preservation Office. It is strongly recommended that any alterations or additions follow The Secretary of the Interior's Standards for Rehabilitation by the National Park Service.

All buildings within the Val Air Ballroom PUD shall accommodate the following in building design:

- A. Form And Scale: Buildings should reinforce the aesthetic concept as depicted by the precedent images contained in the Grand Avenue Redevelopment Plan. Buildings shall be designed to relate specifically to the pedestrian in scale and variety. The following techniques should be used to meet this objective:
 1. Corporate architecture shall be prohibited except as permissible by the Grand Avenue Redevelopment Plan in that it reinforces the iconic imagery desired for the Val-Gate district.
 2. Buildings shall be organized to create a logical balance and relationship with the site, open spaces and circulation.
 3. The building's design should meet context and site objectives such as providing gateways, creating linkages and framing or terminating views.
 4. Variation in building height, mass and roof forms shall be provided while still maintaining an overall building continuity.
 5. Shifts in building planes/facades and variation in exterior materials shall be incorporated to minimize long expanses of wall.
 6. Variation in materials, material modules, expressed joints, textures, colors and details should be used to break up the mass of the buildings.
 7. Variation in horizontal planes through the use of materials, color and projecting forms should be implemented to signify an entry and/or protect the pedestrian.
 8. Ground floor retail areas should provide the maximum possible glazing toward sidewalks to provide pedestrians with visual interest.
 9. A building's roof form and related details/materials are an integral part of the architectural design aesthetic. Roofs should not be designed as attention getting devices related to the reinforcement of signage or as an identifiable corporate image unless said identification is in keeping with the Grand Avenue Redevelopment Plan aesthetic.
- B. Material Quality And Detail: All sides to each building are to receive high quality materials and finishes (360 degree architectural treatment). There are no "backs" to a building. Materials should be durable, economically maintained and of a quality that will maintain their appearance over a prolonged time.
 1. Primary building materials shall include glass, steel or metal siding, architectural precast concrete, composite materials, stone and brick. The use of natural wood and architectural metals shall be used in moderation and cannot be the predominate building material. Composite or metal panels shall use concealed fasteners and have finished edges. Concrete products shall have integrated color rather than surface applied paint or stain.

2. The following materials shall not be used for cladding unless specifically approved by the city of West Des Moines as part of the architectural elevations:
 - a. EIFS or synthetic stucco.
 - b. Concrete masonry units.
 - c. Tilt up precast concrete systems that are structural in appearance.
 - d. Materials that are intended for interior use.
3. Changes in materials should occur at either inside corners or where a detail is drawn to specifically accommodate a transition. Stone and brick materials should wrap corners several feet in order to provide authenticity to the materials.

SECTION 18. REPEALER: All ordinances or parts of ordinances in conflict with the provision of this Ordinance are hereby repealed.

SECTION 19. SAVINGS CLAUSE: If any section, provision, sentence, clause, phrase or part of the Ordinance shall be adjudged invalid or unconstitutional, such adjudication shall not affect the validity of the Ordinance as a whole or any provision, section, subsection, sentence, clause, phrase or part hereof not adjudged invalid or unconstitutional.

SECTION 20. VIOLATIONS AND PENALTIES: Any person who violates the provisions of this Ordinance upon conviction shall be punished as set forth in Title 1, Chapter 4, Section 1 of the City Code of the City of West Des Moines, Iowa.

SECTION 21. OTHER REMEDIES: In addition to the provisions set out in the Violations and Penalties Section herein, the City may proceed in law or equity against any person, firm or corporation for violation of any section or subsection of this Ordinance.

SECTION 22. EFFECTIVE DATE: This Ordinance shall be in full force and effect after its passage, approval and publication as provided by law.

Passed and approved by the City Council on this _____ day of _____, 2024.

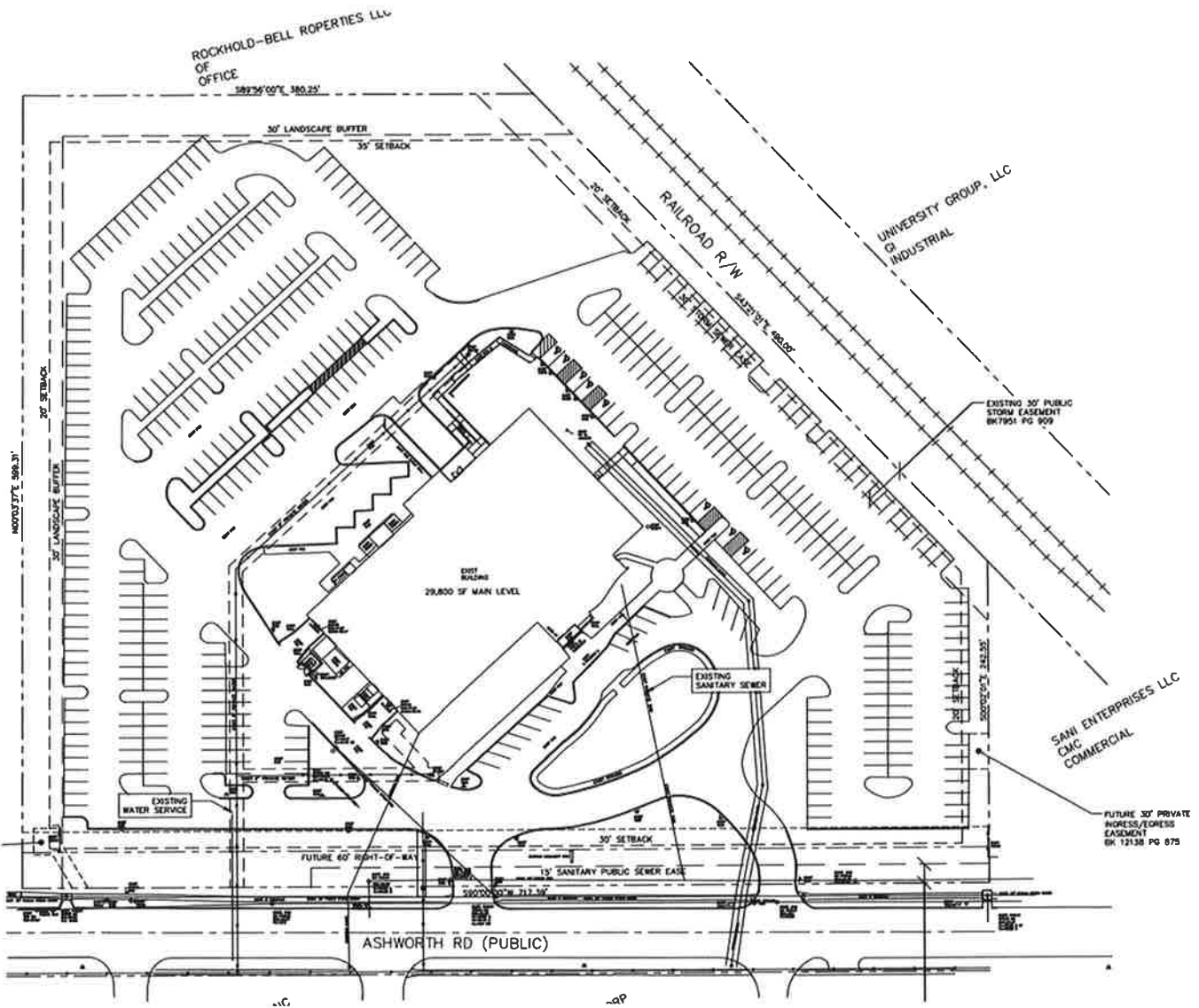
Presiding Officer

ATTEST:

Ryan T. Jacobson, City Clerk

The foregoing Ordinance No. _____ was adopted by the Council for the City of West Des Moines, Iowa, on _____, 2024, and was published in the Des Moines Register on _____, 2024.

PUD Sketch Plan



NO CHANGE FROM PREVIOUS READING**CITY OF WEST DES MOINES
STAFF REPORT COMMUNICATION**Meeting Date: January 2, 2024

ITEM: Ordinance Amendment, Amend Title 9 (Zoning) to modify regulations pertaining to Beauty and Barber Shops in the Office District – Mindy and Mike Schmitt and the City of West Des Moines – AO-006273-2023

ORDINANCE: Approval of Second Reading, Waive Third and Adopt Ordinance Amendment

Background: Mindy and Mike Schmitt request an amendment to the chapters and sections identified below in Title 9 (Zoning) to modify regulations pertaining to Beauty Shops as currently regulated within City Code. The City requests an additional amendment to the same chapters and sections to similarly modify regulations for Barber Shops.

Specifically, the following changes are proposed with this request:

- Title 9: Zoning
 - Chapter 6: *Commercial, Office and Industrial Zoning District*, Section 6: *Commercial, Office and Industrial Use Regulations*, Subsection 6C: Table 6.1 – *Use Matrix, Division I – Services* to add SIC 723 Beauty Shops and SIC 724 Barbershops as a Permitted Use in the Office zoning district.

Staff Review & Comment:

- Ordinance Amendment Intent: The intent of the ordinance amendment is to allow Beauty Shops (SIC 723) and Barber Shops (SIC 724) as permitted uses in the office district.

The applicants have found a property at 808 Ashworth that they would like to purchase for a beauty shop. The property is located within an Office district and is surrounded by the Office zoning district. Staff considered that in July 2022 the City Council adopted a code amendment to allow this use in the Professional Commerce Park zoning district. The office district functions similarly to the Professional Commerce Park district. The use of a beauty shop is also similar to other office uses where appointments are made for one on one activity between the stylist and the customer.

Staff also requests that barber shops be allowed as a permitted use in the office district as they operate similarly to beauty shops.

Outstanding Issues: There are no outstanding issues.

Planning and Zoning Commission Action:

Date: December 11, 2023
Vote: 7-0 for approval
Recommendation: Approval of Ordinance Amendment

City Council First Reading:

Date: December 18, 2023

Vote: 4-0, with Council Member Hardman absent

Recommendation: Approve the Second Reading of the Ordinance, Waive the Third Reading, and Adopt in Final Form.

Lead Staff Member: Kara Tragesser

Approval Meeting Dates:

Planning & Zoning Commission	December 11, 2023
City Council: First Reading	December 18, 2023
City Council: Second Reading, Waive Third and Adopt	January 2, 2024

Staff Report Reviews

Planning & Zoning Commission	<input checked="" type="checkbox"/> Development Coordinator/Director	<input checked="" type="checkbox"/> Legal Department
City Council	<input checked="" type="checkbox"/> Director <input type="checkbox"/> Appropriations/Finance	<input checked="" type="checkbox"/> Legal Department <input checked="" type="checkbox"/> Agenda Acceptance

Publications (if applicable)

Published In:	Des Moines Register Community Section
Date(s) Published	December 1, 2023
Date(s) of Mailed Notices	n/a

Council Subcommittee Review (if applicable)

Subcommittee	Development & Planning
Date Reviewed	December 4, 2023
Recommendation	Yes <input type="checkbox"/> No <input type="checkbox"/> Split <input type="checkbox"/> No Discussion <input checked="" type="checkbox"/>

A RESOLUTION OF THE PLANNING AND ZONING COMMISSION

NO. PZC-23-061

WHEREAS, pursuant to the provisions of Title 9, Zoning, of the West Des Moines Municipal Code, Mindy and Mike Schmitt, along with Development Services Staff requests approval of an Ordinance Amendment to the following chapters and sections identified below in Title 9 (Zoning) to modify regulations pertaining to Beauty Shops (SIC 723 and Barber Shops (SIC 724) as currently regulated within City Code.

- Chapter 6: *Commercial, Office and Industrial Zoning District*, Section 6: *Commercial, Office and Industrial Use Regulations*, Subsection 6C: Table 6.1 – *Use Matrix, Division I – Services* to add SIC 723 Beauty Shops and SIC 724 Barbershops as a Permitted Use in the Office zoning district.

WHEREAS, the Ordinance Amendment request complies with the applicable provisions of Iowa Code Chapter 414, the Comprehensive Plan and City Code.

NOW THEREFORE, the Planning and Zoning Commission of the City of West Des Moines recommends the City Council approve the Ordinance Amendment (AO-006273-2023).

PASSED AND ADOPTED on December 11, 2023.



Andrew Conlin, Chair
Planning and Zoning Commission

I HEREBY CERTIFY that the foregoing resolution was duly adopted by the Planning and Zoning Commission of the City of West Des Moines, Iowa, at a regular meeting held on December 11, 2023, by the following vote:

AYES: Conlin, Costa, Crowley, Davis, Hatfield, McCoy, Shaw

NAYS:

ABSTENTIONS:

ABSENT:

ATTEST:



Recording Secretary

Prepared by: K. Tragesser, City of West Des Moines, Development Services Dept., P.O. Box 65320,
 West Des Moines, IA 50265-3620, 515-222-3620
 When Recorded Return to: City Clerk, City of West Des Moines, P.O. Box 65320, West Des Moines, IA 50265-0320

ORDINANCE NO.

**AN ORDINANCE AMENDING THE CITY CODE OF THE
 CITY OF WEST DES MOINES, IOWA, 2019, TITLE 9, (ZONING), CHAPTER 6
 (COMMERCIAL OFFICE AND INDUSTRIAL ZONING DISTRICT) PERTAINING TO
 ALLOWED USES IN THE OFFICE DISTRICT**

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF WEST DES MOINES, IOWA:

Section 1. Amendment. Title 9: Zoning, Chapter 6: Commercial Office and Industrial Zoning District, Section 6: Commercial, Office and Industrial Use Regulations, Subsection 6C, Table 6.1, Use Matrix (Division I), is hereby amended by inserting the text in bold italics. All other items in current adopted table but not reflected below shall remain as currently adopted:

SIC CODES	RC	CMC	NC	CVC	SC	VJC	VJHB	WR	BP	VJLI	LI	GI	OF	PCP	OS
723 Beauty Shops	P	P	P	P	P	P	P	P					<i>P</i>	P	
724 Barbershops	P	P	P	P	P	P	P	P					<i>P</i>	P	

Section 2. Repealer. All ordinances or parts of ordinances in conflict with the provisions of this ordinance are hereby repealed.

Section 3. Savings Clause. If any section, provision, sentence, clause, phrase or part of this Ordinance shall be adjudged invalid or unconstitutional, such adjudication shall not affect the validity of the Ordinance as a whole or any provision, section, subsection, sentence, clause, phrase or part hereof not adjudged invalid or unconstitutional.

Section 4. Violations and Penalties. Any person who violates the provisions of this Ordinance upon conviction shall be punished as set forth in Title 1, Chapter 4, Section 1 of the City Code of the City of West Des Moines, Iowa.

Section 5. Other Remedies. In addition to the provisions set out in Violations and Penalties Section herein, the City may proceed in law or equity against any person, firm or corporation for violation of any section or subsection of this Ordinance.

Section 6. Effective Date. This Ordinance shall be in full force and effect from and after its passage, approval and publication as provided by law.

PASSED AND APPROVED by the City Council on January 2, 2024.

Russ Trimble, Mayor

Attest:

Ryan Jacobson, City Clerk

The foregoing Ordinance No. _____ was adopted by the Council for the City of West Des Moines, Iowa, on _____, 2024, and published in the Des Moines Register on _____, 2024.

MINOR CHANGE FROM PREVIOUS READING

**CITY OF WEST DES MOINES
CITY COUNCIL MEETING COMMUNICATION**

DATE: January 2, 2024

ITEM:

Motion – Approval of Traffic Code Amendments
Delete Special Yield Required
Add Special Stops Required
Office Plaza Drive North & Office Plaza Drive South

Second Reading, Waive Third Reading and Adoption of Ordinance in Final Form

FINANCIAL IMPACT:

None.

BACKGROUND:

The intersection is currently signed with a yield sign for southbound traffic on Office Plaza Drive North. After a review of the existing conditions and crash history, Staff is proposing to change the traffic control to improve safety at the intersection. This ordinance will change the yield sign to a stop sign, requiring all southbound traffic on Office Plaza Drive North to stop at the intersection.

CHANGE:


There was a typographical error in the first reading that indicated a violation of the section was subject to a \$100.00 fine. That fine is actually \$105.00 and the correction has been made on the attached Ordinance.

RECOMMENDATION:

City Council Approve:
Second Reading, Waive Third Reading and Adoption of Ordinance in Final Form.

Lead Staff Member: Brian Hemesath, P.E.

STAFF REVIEWS

Department Director	Brian Hemesath, P.E., City Engineer
Appropriations/Finance	Tim Stiles, Finance Director
Legal	
Agenda Acceptance	

PUBLICATION(S) (if applicable)

Published In	
Dates(s) Published	

SUBCOMMITTEE REVIEW (if applicable)

Committee	Public Services		
Date Reviewed	December 11, 2023		
Recommendation	Yes	No	Split

ORDINANCE NO. _____

AN ORDINANCE AMENDING THE CITY CODE OF THE CITY OF WEST DES MOINES, IOWA, 2019, BY AMENDING PROVISION PERTAINING TO THE TRAFFIC CODE RELATING TO OFFICIAL TRAFFIC CONTROLS.

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF WEST DES MOINES, IOWA.

SECTION 1. TITLE 6: (MOTOR VEHICLE AND TRAFFIC), CHAPTER 9: SECTION 6-9-3-4: SPECIAL YIELD REQUIRED: is hereby amended by revising the following paragraph:

Delete:

<u>Street</u>	<u>Vehicle Traveling</u>	<u>Shall Yield At</u>
Office Plaza Drive North	South	Office Plaza Drive South

TITLE 6: (MOTOR VEHICLE AND TRAFFIC), CHAPTER 9: SECTION 6-9-3-1: SPECIAL STOPS REQUIRED: is hereby amended by revising the following paragraph:

Add:

<u>Street</u>	<u>Vehicle Traveling</u>	<u>Shall Yield At</u>
Office Plaza Drive North	South	Office Plaza Drive South

SECTION 2. REPEALER. All ordinances or parts of ordinances in conflict with the provision of this ordinance are hereby repealed.

SECTION 3. SEVERABILITY. If any section, provisions, sentence, clause, phrase or part of this Ordinance shall be adjudged invalid or unconstitutional, such adjudication shall not affect the validity of the Ordinance as a whole or any provision, section, subsection, sentence, clause, phrase or part hereof not adjudged invalid or unconstitutional.

SECTION 4. VIOLATION. Any person who violates the provisions of this Ordinance, upon conviction, shall be punished not in excess of a \$105 plus applicable surcharge and court costs.

SECTION 5. WHEN EFFECTIVE. This ordinance shall be in full force and effect from and after its passage, adoption, and publications as required by law.

PASSED AND APPROVED this **2nd** day of **January, 2024**.

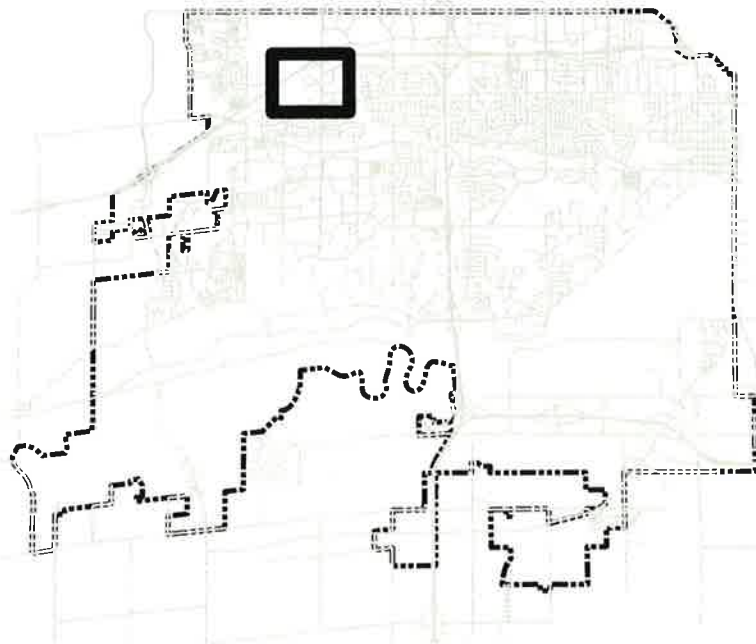
Greg Hudson, Presiding Officer

ATTEST:

Ryan T. Jacobson
City Clerk

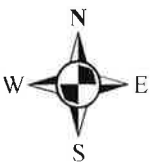


VICINITY MAP



LEGEND

PROJECT LOCATION ●



	PROJECT:	Traffic Code Amendment		
	LOCATION:	Intersection of Office Plaza Drive North and Office Plaza Drive South		
	DRAWN BY: JPM	DATE: 12/8/2023	SHT. 1 of 1	

CITY OF WEST DES MOINES, IOWA
OFFICE OF THE CITY ATTORNEY

TO: Mayor Russ Trimble, Presiding Officer Greg Hudson, and Council
FROM: Greta Truman, City Attorney
DATE: December 27, 2023
RE: Continuance of Item 6(a) –Vacation of a Portion of ROW near Grand Avenue &
Racoon River Drive

Staff is requesting that this item be continued to January 16, 2024. Additional time is needed to confirm and finalize documents.

MEMORANDUM

TO: Mayor Trimble and Council Members

FROM: Bryce Johnson, Business Development Coordinator

DATE: January 2, 2024

RE: Item 6(b) Continuance of Coachlight Drive URA Amendment No. 4

The Public Hearing for this item was originally scheduled for the December 4, 2023, meeting. At this meeting, Council voted to continue this item to this meeting. However, the applicant is now requesting the public hearing for Item 6(b) be continued to the January 16, 2024, City Council meeting.

MEMORANDUM

TO: Mayor Trimble and Council Members
FROM: Bryce Johnson, Business Development Coordinator
DATE: January 2, 2024
RE: Item 6(c) Continuance of Legacy Partners, LLC Development Agreement

The Public Hearing for this item was originally scheduled for the December 4, 2023, meeting. At this meeting, Council voted to continue this item to this meeting. However, the applicant is now requesting the public hearing for Item 6(c) be continued to the January 16, 2024, City Council meeting.

**CITY OF WEST DES MOINES
STAFF REPORT COMMUNICATION**

Meeting Date: January 2, 2024

ITEM: Kum & Go 0098 Plat 1, 5760 Raccoon River Drive – Accept Public Improvements and Approve Final Plat to create 2 lots for Commercial development – Kum & Go, L.C. – FP-005617-2022

RESOLUTION: Accept Public Improvements, Accept Surety for Sidewalks and Approve and Release Final Plat

Background: Keith Weggen with Civil Design Advantage, on behalf of the applicant and property owner, Kum & Go, L.C., requests approval of a Final Plat for the 4.68-acre property located at 5760 Raccoon River Drive. The applicant proposes to subdivide the property into two (2) lots for Commercial development. Lot 1 is the location of a newly constructed Kum & Go convenience store with gas pumps and Lot 2 is intended to be developed in the future with an office building.

Staff Review & Comment:

- **Financial Impact:** As part of an Urban Renewal area, the City will be installing a traffic signal at the new Raccoon River Drive and Grand Avenue intersection. The City extended Raccoon River Drive north to Booneville Road with the construction of a north/south roadway connection between Booneville Road and Grand Avenue and the City extended paving from the east end of Booneville Road to this north-south roadway. In addition, while not connected with the development of the site, as part of the improvements in the area, the City reconstructed the south access road of the Glen Oaks development.
- **History:** The associated Preliminary Plat was approved by the Planning and Zoning Commission on December 12, 2022, and the City Council on December 19, 2022. This Final Plat has been determined to be consistent with the associated Preliminary Plat.

The Glen Oaks Planned Unit Development (PUD) was approved by the City Council by Ordinance #1007 on May 26, 1992. The Kum & Go property was included in the 1992 adopted PUD and is designated as Parcel L. The Kum & Go property was identified as 'commercial' land use and was given an underlying zoning of C-1-A, Commercial Plaza District, which allowed convenience stores as a permitted use. The land use of the property has been identified as Support Commercial since the adoption of the 1993 Comprehensive Land use map. In November 2020, the Glen Oaks PUD was amended to remove a portion of Parcel L from the Glen Oaks PUD for the development of the Oaks on Grand office building to the west of Raccoon River Drive extension. At that time, the Glen Oaks PUD Ordinance was amended to specify the underlying zoning of the Kum & Go property as Support Commercial (SC), since the C-1-A zoning (as referenced in the PUD Ordinance) no longer exists within the City zoning code. According to the existing zoning code, a convenience store, with or without fuel pumps, may be permitted in a SC District with a Permitted Conditional Use.

A Permitted Conditional Use to allow the use of Lot 1 for a convenience store with gas pumps was approved by the Board of Adjustment on October 5, 2022.

- Traffic Analysis Findings: Traffic Impact Studies are not conducted for Final Plats but instead are completed at the time of the associated Preliminary Plat. Per that study, the proposed site is estimated to generate less traffic than estimated in earlier traffic studies.

Grand Avenue is a major arterial roadway adjacent to this site. Based on the existing traffic levels and anticipated growth, additional capacity (road widening) is expected to be needed in the near future. This widening is due in part, but not entirely, to traffic generated by the proposed development. The widening of Grand Avenue is currently under design at the time of this study. With the currently forecasted volume, Grand Avenue is recommended to ultimately be a 6-lane roadway with a raised median and dedicated left-turn lanes at full accesses and right-turn lanes where needed. Raccoon River Drive is a minor collector street that was recently constructed north of Grand Avenue and connecting to Booneville Road. The existing 2-lane configuration, widening as it approaches Grand Avenue for turn lanes, is expected to have adequate capacity under full-build traffic levels.

The site's proposed access on Glen Oaks Drive is approximately 125' north of the cross walk at Glen Oaks Drive & Grand Avenue. Internal connections to the future commercial property to the north (Lot 2) are needed to share driveways and minimize conflict points. The connections would also allow people to easily travel between the commercial properties and not force them to use the surrounding streets.

- Development & Planning Subcommittee: On May 16, 2022, the Subcommittee was made aware of the proposed project as an upcoming project item. At the meeting Josh Janeczko noted his proximity to the convenience store location (owns property at 5637 Booneville Road) and expressed his concerns about the convenience store and inquired about the zoning. Staff indicated that it is part of the Glen Oaks PUD and has been zoned as commercial use from the beginning. Mr. Janeczko inquired why a conditional use permit would be required if commercial is allowed. Staff explained that this allows the Board of Adjustment to put conditions on the site or operations as they feel warranted to address any aspect they feel is incompatible to the location. Mr. Janeczko replied that the 24/7 aspect of the gas station is the concern. *The Board of Adjustment approved the use: they did not place any hours of operation restrictions.*
- Plat Validity: Per City Code, the Final Plat must be presented to the City Council for approval within 12 months of the approval of the associated Preliminary Plat if surety is being posted for Public Improvements; or, within 18 months if Public Improvements are being constructed prior to Final Plat consideration. This final plat includes public improvements that have been constructed for this plat. This Final Plat complies with the timelines stated in City Code.

Outstanding Issues: There are no outstanding issues.

Staff would note that as part of this approval, the Council is approving and accepting the following:

- Public improvements associated with the construction of Sanitary Sewer within the plat boundaries.
- Legal documents to establish public easements for Sanitary Sewer and Ingress/Egress.
- Surety for the installation of public sidewalks along Grand Avenue.
- Storm Water Management Maintenance Facility Covenant and Permanent Easement Agreement for this property.

- An Agreement and Waiver acknowledging and committing to the applicant's participation in a permanent Traffic Signal at Raccoon River Drive and Grand Avenue.

Recommendation: Approve the Final Plat, subject to the applicant meeting all City Code requirements.

Lead Staff Member: Brian Portz

Approval Meeting Dates:

Plan and Zoning Commission	n/a
City Council	January 2, 2024

Staff Report Reviews:

City Council	<input checked="" type="checkbox"/> Director	<input checked="" type="checkbox"/> Legal Department
	<input type="checkbox"/> Appropriations/Finance	<input checked="" type="checkbox"/> Agenda Acceptance <i>JP</i>

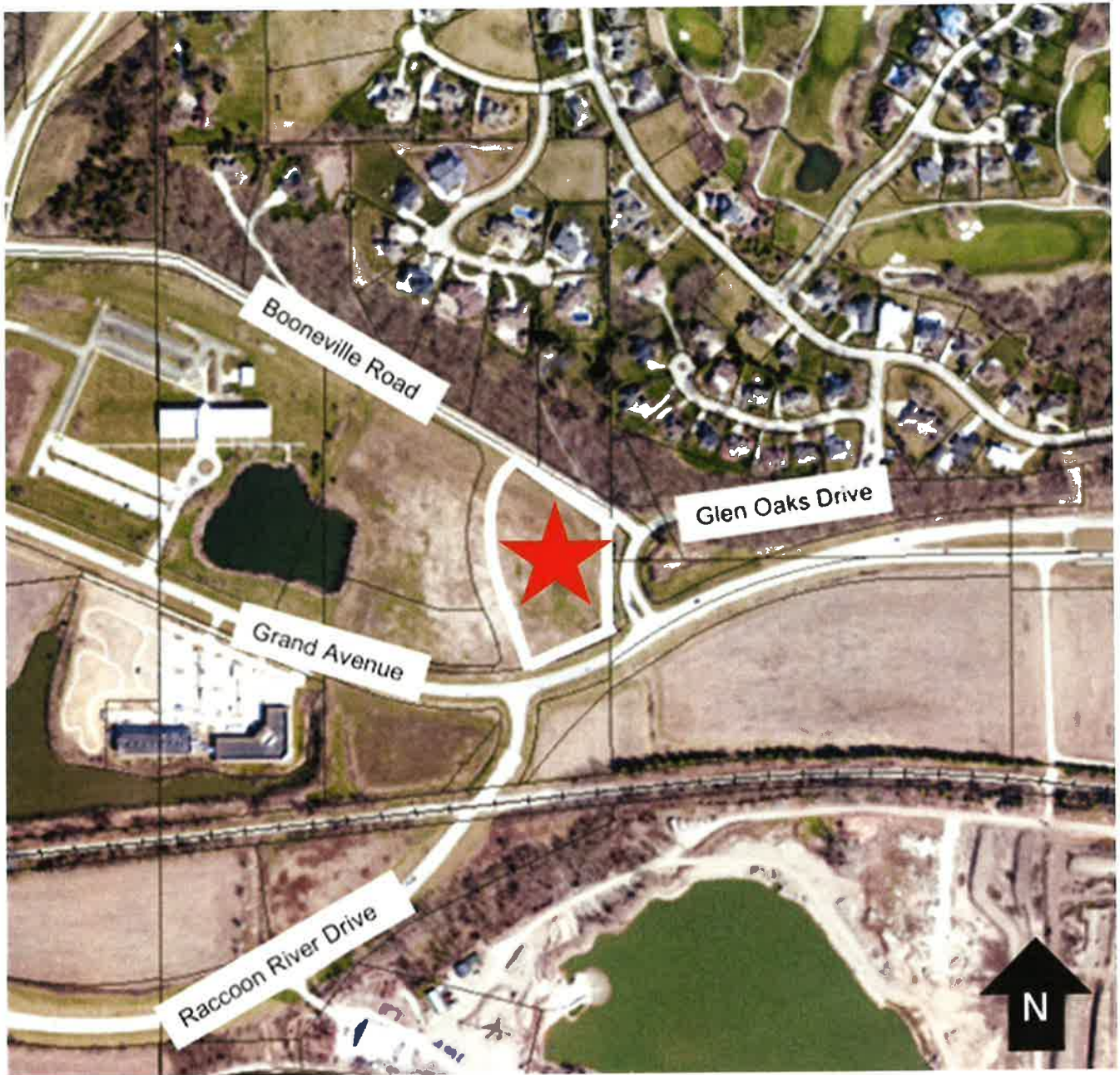
Publications (if applicable)

Published In:	Des Moines Register Community Section
Date(s) Published	NA
Date(s) of Mailed Notices	NA

Council Subcommittee Review (if applicable)

Subcommittee	Development & Planning			
Date Reviewed	May 16, 2022			
Recommendation	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	Split <input type="checkbox"/>	No Discussion <input type="checkbox"/>

Location Map



INDEX LEGEND

LOCATION: PT. GOV'T LOT 4 NW1/4 NW1/4 SEC 30-78-25,
PT. SW1/4 SW1/4 SEC 19-78-25
PT. PARCEL "C" SE1/4 SW1/4 SEC 19-78-25
& NE1/4 NW1/4 SEC 30-78-25

REQUESTOR: KUM & GO LC

PROPRIETOR: KUM & GO LC
1459 GRAND AVE
DES MOINES 50266

SURVEYOR: MICHAEL A. BROONER

SURVEYOR COMPANY: CIVIL DESIGN ADVANTAGE

PREPARED BY & RETURN TO: CIVIL DESIGN ADVANTAGE
4121 NW URBANDALE DRIVE
URBANDALE, IA 50322
PH: 515-369-4400

KUM & GO 0098 PLAT 1

FINAL PLAT

PLANS INCLUDED ARE FOR ILLUSTRATIVE PURPOSES ONLY – APPROVED PLANS ON FILE WITH THE CITY



OWNER / DEVELOPER

KUM & GO LC
1459 GRAND AVE
DES MOINES 50266

ENGINEER / SURVEYOR

CIVIL DESIGN ADVANTAGE
4121 NW URBANDALE DRIVE
URBANDALE, IA 50322

ZONING

GLEN OAKS PLANNED UNIT DEVELOPMENT WITH UNDERLYING ZONING OF SUPPORT COMMERCIAL

DATE OF SURVEY

MARCH 24, 2022

BULK REGULATIONS

MINIMUM LOT AREA: 60,000 SF
MINIMUM LOT WIDTH: 50'
MINIMUM OPEN SPACE: 25%
FRONT SETBACK: 100'
REAR SETBACK: 50'
(SETBACK OF 0 FEET ALLOWED IF THE PROPERTY ABUTS A SIMILAR DISTRICT)
SIDE SETBACK: 50'
(SETBACK OF 0 FEET ALLOWED IF THE PROPERTY ABUTS A SIMILAR DISTRICT)
MAXIMUM HEIGHT OF PRINCIPAL BUILDING: 36'
MAXIMUM HEIGHT OF ACCESSORY BUILDING: 20'

PARKING LOTS, INTERNAL DRIVES, BUILDINGS AND/OR STRUCTURES OF ANY KIND SHALL BE SET BACK A MINIMUM OF SIXTY FEET (60') FROM THE FUTURE GRAND AVENUE RIGHT-OF-WAY.

A MINIMUM TEN FOOT (10') PARKING LOT AND INTERNAL DRIVE SETBACK SHALL BE MAINTAINED FROM ADJOINING PROPERTIES AND INTERNAL STREETS AND ADJACENT ROADWAYS UNLESS SAID PARKING LOT IS PART OF A COMMON PARKING LOT JOINTLY USED BY ADJOINING PROPERTIES.

PLAT DESCRIPTION

A PART OF GOVERNMENT LOT 4 OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 30 AND A PART OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 19, AND A PART OF PARCEL "C" AS SHOWN ON THE ACQUISITION PLAT RECORDED IN BOOK 7117, PAGE 493, BEING A PART OF THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 19 AND THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 30, ALL IN TOWNSHIP 78 NORTH, RANGE 25 WEST OF THE FIFTH PRINCIPAL MERIDIAN IN THE CITY OF WEST DES MOINES, POLK COUNTY, IOWA AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SAID NORTHWEST QUARTER OF THE NORTHWEST QUARTER; THENCE NORTH 89°35'05" EAST ALONG THE NORTH LINE OF SAID SECTION 30, A DISTANCE OF 35.26 FEET TO THE SOUTHWEST CORNER OF TRACT 1 OF SAID PARCEL "C" AS SHOWN ON THE ACQUISITION PLAT RECORDED IN BOOK 18554, PAGE 468; THENCE CONTINUING NORTH 89°35'05" EAST ALONG SAID NORTH LINE, 0.44 FEET TO THE EASTERLY LINE OF SAID PARCEL "C"; THENCE SOUTHERLY ALONG SAID EASTERLY LINE AND A CURVE CONCAVE EASTERLY WHOSE RADIUS IS 257.95 FEET, WHOSE ARC LENGTH IS 187.15 FEET AND WHOSE CHORD BEARS SOUTH 04°47'20" EAST, 183.07 FEET; THENCE SOUTHERLY ALONG SAID EASTERLY LINE AND A CURVE CONCAVE WESTERLY WHOSE RADIUS IS 25.00 FEET, WHOSE ARC LENGTH IS 38.19 FEET AND WHOSE CHORD BEARS SOUTH 12°07'06" WEST, 34.58 FEET; THENCE SOUTHWESTERLY ALONG SAID EASTERLY LINE, ALSO BEING THE NORTHERLY RIGHT OF WAY LINE OF GRAND AVENUE AND A CURVE CONCAVE SOUTHEASTERLY WHOSE RADIUS IS 1707.10 FEET, WHOSE ARC LENGTH IS 34.77 FEET AND WHOSE CHORD BEARS SOUTH 54°32'15" WEST, 34.77 FEET; THENCE WESTERLY ALONG SAID NORTHERLY RIGHT OF WAY LINE AND A CURVE CONCAVE NORTHERLY WHOSE RADIUS IS 967.50 FEET, WHOSE ARC LENGTH IS 195.22 FEET AND WHOSE CHORD BEARS SOUTH 68°07'07" WEST, 194.89 FEET; THENCE WESTERLY ALONG SAID NORTHERLY RIGHT OF WAY LINE AND A CURVE CONCAVE NORTHERLY WHOSE RADIUS IS 967.50 FEET, WHOSE ARC LENGTH IS 94.52 FEET AND WHOSE CHORD BEARS SOUTH 76°41'52" WEST, 94.49 FEET TO THE EASTERLY RIGHT OF WAY LINE OF RACCOON RIVER DRIVE; THENCE NORTH 55°08'59" WEST ALONG SAID EASTERLY RIGHT OF WAY LINE, 33.27 FEET; THENCE NORTHERLY ALONG SAID EASTERLY RIGHT OF WAY LINE AND A CURVE CONCAVE WESTERLY WHOSE RADIUS IS 550.00 FEET, WHOSE ARC LENGTH IS 185.20 FEET AND WHOSE CHORD BEARS NORTH 18°07'34" WEST, 184.33 FEET; THENCE NORTHERLY ALONG SAID EASTERLY RIGHT OF WAY LINE AND A CURVE CONCAVE EASTERLY WHOSE RADIUS IS 470.00 FEET, WHOSE ARC LENGTH IS 119.52 FEET AND WHOSE CHORD BEARS NORTH 20°29'15" WEST, 119.20 FEET; THENCE NORTHERLY ALONG SAID EASTERLY RIGHT OF WAY LINE AND A CURVE CONCAVE EASTERLY WHOSE RADIUS IS 470.00 FEET, WHOSE ARC LENGTH IS 23.27 FEET AND WHOSE CHORD BEARS NORTH 14°54'09" WEST, 23.27 FEET; THENCE NORTHERLY ALONG SAID EASTERLY RIGHT OF WAY LINE AND A CURVE CONCAVE EASTERLY WHOSE RADIUS IS 470.00 FEET, WHOSE ARC LENGTH IS 67.75 FEET AND WHOSE CHORD BEARS NORTH 09°23'17" WEST, 67.69 FEET; THENCE NORTHERLY ALONG SAID EASTERLY RIGHT OF WAY LINE AND A CURVE CONCAVE EASTERLY WHOSE RADIUS IS 475.00 FEET, WHOSE ARC LENGTH IS 237.53 FEET AND WHOSE CHORD BEARS NORTH 12°08'01" EAST, 235.06 FEET; THENCE NORTH 74°36'05" EAST ALONG SAID EASTERLY RIGHT OF WAY LINE, 38.60 FEET; THENCE NORTH 30°59'59" EAST ALONG SAID EASTERLY RIGHT OF WAY LINE, 6.43 FEET; THENCE SOUTH 58°40'18" EAST ALONG THE SOUTHERLY RIGHT OF WAY LINE OF BOONEVILLE ROAD, 288.58 FEET; THENCE SOUTHEASTERLY ALONG SAID SOUTHERLY RIGHT OF WAY LINE AND A CURVE CONCAVE NORTHEASTERLY WHOSE RADIUS IS 475.00 FEET, WHOSE ARC LENGTH IS 73.96 FEET AND WHOSE CHORD BEARS SOUTH 64°26'00" EAST, 73.89 FEET TO THE EAST LINE OF SAID SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER; THENCE EASTERLY ALONG SAID SOUTHERLY RIGHT OF WAY LINE AND A CURVE CONCAVE NORTHERLY WHOSE RADIUS IS 360.49 FEET, WHOSE ARC LENGTH IS 21.34 FEET AND WHOSE CHORD BEARS SOUTH 71°30'49" EAST, 21.34 FEET TO THE NORTHEASTERLY LINE OF SAID PARCEL "C"; THENCE SOUTHEASTERLY ALONG SAID NORTHEASTERLY LINE AND A CURVE CONCAVE SOUTHWESTERLY WHOSE RADIUS IS 211.71 FEET, WHOSE ARC LENGTH IS 15.47 FEET AND WHOSE CHORD BEARS SOUTH 50°15'08" EAST, 15.47 FEET; THENCE SOUTH 47°51'39" EAST ALONG SAID NORTHEASTERLY LINE, 8.44 FEET; THENCE SOUTH 31°58'30" EAST ALONG THE WESTERLY RIGHT OF WAY LINE OF BOONEVILLE ROAD, 27.04 FEET; THENCE SOUTH 13°36'19" WEST ALONG SAID WESTERLY RIGHT OF WAY LINE, 74.03 FEET; THENCE SOUTHERLY ALONG SAID WESTERLY RIGHT OF WAY LINE AND A CURVE CONCAVE EASTERLY WHOSE RADIUS IS 230.00 FEET, WHOSE ARC LENGTH IS 11.02 FEET AND WHOSE CHORD BEARS SOUTH 12°13'59" WEST, 11.02 FEET TO THE POINT OF BEGINNING AND CONTAINING 4.68 ACRES (204,008 SQUARE FEET).

THE PROPERTY IS SUBJECT TO ANY AND ALL EASEMENTS OF RECORD.

- NOTES**
- ANY SET MONUMENTATION SHOWN ON THIS PLAT WILL BE COMPLETED WITHIN ONE YEAR FROM THE DATE THIS PLAT WAS RECORDED.
 - LOTS MAY BE SUBJECT TO MINIMUM PROTECTION ELEVATIONS AND OTHER ELEVATION RESTRICTIONS NOT SHOWN ON THIS PLAT. REFER TO THE APPROVED PROJECT ENGINEERING DOCUMENTS FOR ANY ELEVATION RESTRICTIONS.
 - ALL BEARINGS ARE BASED ON AN ASSUMED MERIDIAN FOR COMPUTATION PURPOSES.
 - THE ALLOWABLE ERROR OF CLOSURE FOR THE BOUNDARY IS 1:10,000 AND THE ALLOWABLE ERROR OF CLOSURE FOR EACH LOT IS 1:5,000.

AREA SUMMARY

PARCEL "C"	0.458 ACRES (19,929 SF)
SW1/4 SW1/4 SEC 19-78-25	2.086 ACRES (90,861 SF)
NW1/4 NW1/4 SEC 30-78-25	2.140 ACRES (93,218 SF)
TOTAL	4.684 ACRES (204,008 SF)

COMPREHENSIVE PLAN DESIGNATION


SC - SUPPORT COMMERCIAL

CURVE DATA

CURVE	DELTA	RADIUS	LENGTH	BEARING	CHORD
C1	12°19'31"	257.95'	55.49'	S08°18'09"E	55.38'
C2	11°06'31"	257.95'	50.01'	S20°01'10"E	49.93'
C3	90°00'00"	35.00'	54.98'	N25°39'55"E	49.50'
C4	90°00'00"	35.00'	54.98'	S64°20'05"E	49.50'
C5	2°14'29"	550.00'	21.52'	S26°39'06"E	21.51'
C6	5°40'21"	470.00'	46.53'	N24°56'10"W	46.51'
C7	8°53'51"	470.00'	72.99'	N17°39'04"W	72.91'
C8	7°19'35"	200.50'	25.64'	S64°14'13"W	25.62'
C9	10°05'30"	150.50'	26.51'	S65°37'10"W	26.47'

LEGEND

	FOUND	SET
SECTION CORNER AS NOTED	▲	△
1/2" REBAR, YELLOW PLASTIC CAP #15980 (UNLESS OTHERWISE NOTED)	●	○
MEASURED BEARING & DISTANCE	M	
RECORDED BEARING & DISTANCE	R	
DEEDED BEARING & DISTANCE	D	
PUBLIC UTILITY EASEMENT	P.U.E.	
CURVE ARC LENGTH	AL	
LOT ADDRESS	(1234)	
CENTERLINE	---	
SECTION LINE	---	
EASEMENT LINE	---	
BUILDING SETBACK LINE	---	
PLAT BOUNDARY	---	



I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED SURVEY WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.

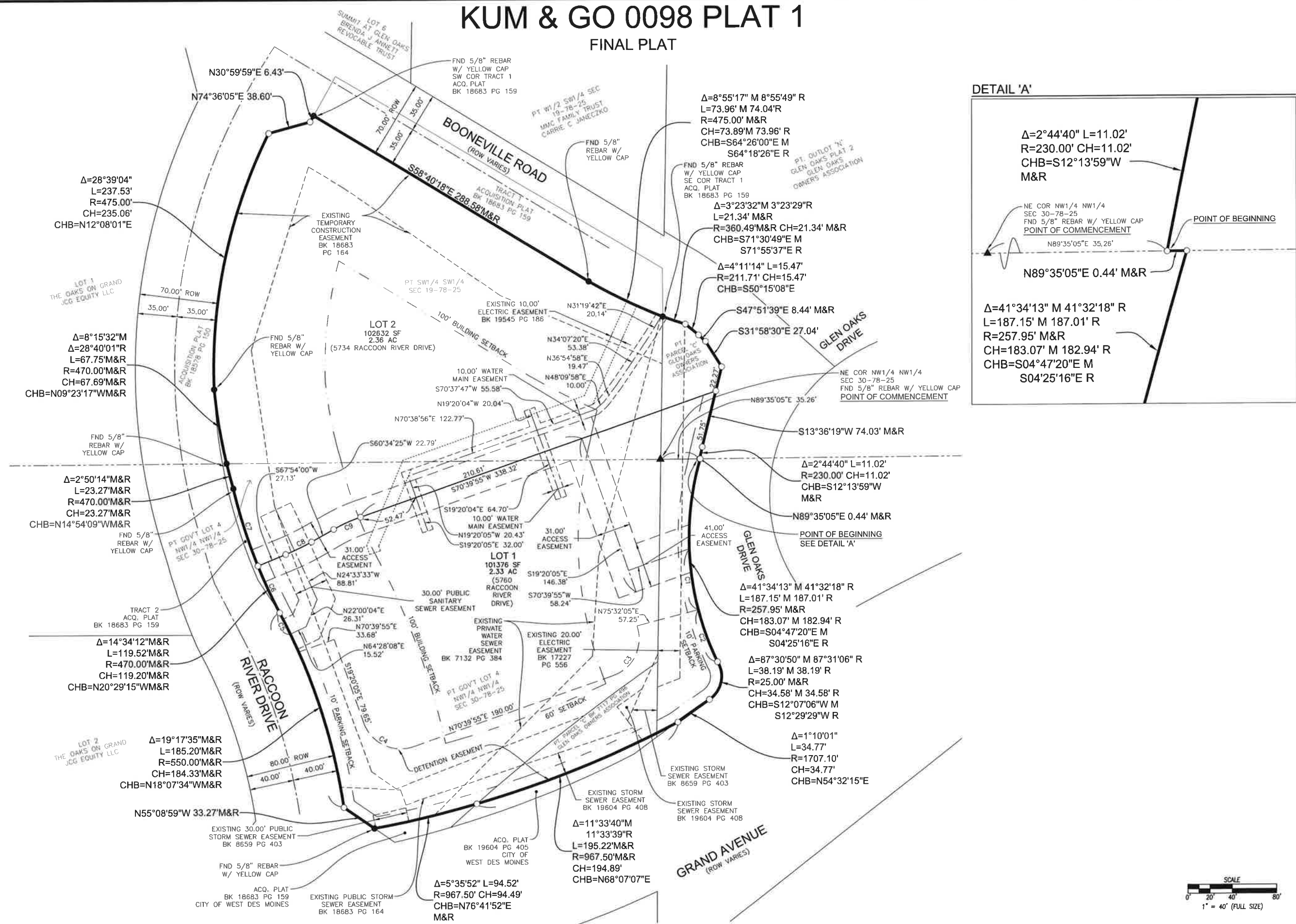
MICHAEL A. BROONER, P.L.S. DATE

LICENSE NUMBER 15980
MY LICENSE RENEWAL DATE IS DECEMBER 31, 2024
PAGES OR SHEETS COVERED BY THIS SEAL:
SHEETS 1 AND 2

FILED IN 2022 03/22/2022 CIVIL DESIGN ADVANTAGE FINAL PLAT RECORDING DATE ADDED: 10/17/2023 8:42 PM COMMENT: 15980

KUM & GO 0098 PLAT 1

FINAL PLAT



DATE	REVISIONS	PREPARED
07-21-22		

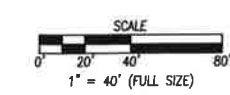
4121 NW URBANDALE DRIVE
 URBANDALE, IA 50322
 PHONE: (515) 369-4400



CIVIL DESIGN ADVANTAGE
 WEST DES MOINES, IOWA

KUM & GO 0098 PLAT 1
 FINAL PLAT

2
 2
 2202.081



FILE: W:\2022\2202081\KUM & GO 0098 PLAT 1.FIN PLAT REVISED
 DATE: 10/07/22
 COMMENT: 10/17/2023 2:40 PM

Prepared by: Brian Portz, City of West Des Moines Development Services Dept., PO Box 65320,
West Des Moines, Iowa 50265-0320 515-222-3620

When Recorded, Return to: City Clerk, City of West Des Moines, PO Box 65320, West Des Moines, IA 50265-0320

RESOLUTION #

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF WEST DES MOINES, ACCEPTING PUBLIC IMPROVEMENTS, ACCEPTING SURETY FOR PUBLIC SIDEWALKS AND APPROVING AND RELEASING THE KUM & GO 0098 PLAT 1 FINAL PLAT FOR THE PURPOSE OF CREATING TWO (2) LOTS FOR COMMERCIAL DEVELOPMENT

WHEREAS, pursuant to the provisions of Title 9, Zoning and Title 10, Subdivision Regulations, of the West Des Moines Municipal Code, the applicant and property owner, Kum & Go, L.C., request approval of a Final Plat for the 4.68-acre property located at 5760 Raccoon River Drive and legally described in attached Exhibit "B". The applicant proposes to subdivide the property into two (2) lots for Commercial development; and

WHEREAS, studies and investigations were made, and staff reports and recommendations were submitted which is made a part of this record and herein incorporated by reference; and

WHEREAS, this Final Plat complies with Iowa Code Chapters 354 and 414, the Comprehensive Plan and City Code; and

WHEREAS, the West Des Moines Plan and Zoning Commission reviewed the associated Preliminary Plat and recommended approval on December 12, 2022; and

WHEREAS, this Final Plat has been reviewed and determined to be generally consistent with the associated Preliminary Plat that was approved by the City Council on December 19, 2022; and

WHEREAS, on this day the City Council held a duly noticed meeting to consider the Final Plat application; and

WHEREAS, the City Council is accepting public improvements associated with the construction of public sanitary sewer within the plat boundaries; and

WHEREAS, the necessary easements have been established for Ingress and Egress and Sanitary Sewer; and

WHEREAS, the City Council is accepting surety for the construction of sidewalks within the plat; and

WHEREAS, the City Council is accepting the Storm Water Management Facility

Maintenance Covenant and Permanent Easement Agreement for this property; and

WHEREAS, the City Council is accepting an Agreement and Waiver acknowledging and committing to the applicant's participation in installation of a permanent Traffic Signal at Raccoon River Drive and Grand Avenue; and

WHEREAS, the City Council approves of the following address assignment(s);

Lot 1 = 5760 Raccoon River Drive

Lot 2 = 5734 Raccoon River Drive

WHEREAS, property subject of this action is located within the Glen Oaks Planned Unit Development (PUD) with underlying zoning of Support Commercial and meets all requirements of the City's Zoning Code.

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF WEST DES MOINES DOES RESOLVE AS FOLLOWS:

SECTION 1: The public improvements associated with the Final Plat are hereby accepted and dedicated for public purposes.

SECTION 2: Kum & Go 0098 Plat 1 Final Plat (FP-005617-2022), subject to compliance with all of the conditions of approval, including any conditions added at the meeting, attached hereto as Exhibit "A". Violation of any such conditions shall be grounds for revocation of the permit, as well as any other remedy which is available to the City.

SECTION 3: This resolution does release the Final Plat for recordation. The City Council of West Des Moines, Iowa directs the City Clerk to release said document for recordation.

PASSED AND ADOPTED on January 2, 2024.

Presiding Officer

ATTEST:

Ryan Jacobson, City Clerk

I HEREBY CERTIFY that the foregoing resolution was duly adopted by the City Council of the City of West Des Moines, Iowa, at a regular meeting held on January 2, 2024, by the following vote.

Exhibit A: Conditions of Approval

1. None

Exhibit B: Legal Description

A PART OF GOVERNMENT LOT 4 OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 30 AND A PART OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 19, AND A PART OF PARCEL "C" AS SHOWN ON THE ACQUISITION PLAT RECORDED IN BOOK 7117, PAGE 493, BEING A PART OF THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 19 AND THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 30, ALL IN TOWNSHIP 78 NORTH, RANGE 25 WEST OF THE FIFTH PRINCIPAL MERIDIAN IN THE CITY OF WEST DES MOINES, POLK COUNTY, IOWA AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SAID NORTHWEST QUARTER OF THE NORTHWEST QUARTER; THENCE NORTH 89°35'05" EAST ALONG THE NORTH LINE OF SAID SECTION 30, A DISTANCE OF 35.26 FEET TO THE SOUTHWEST CORNER OF TRACT 1 OF SAID PARCEL "C" AS SHOWN ON THE ACQUISITION PLAT RECORDED IN BOOK 18554, PAGE 468; THENCE CONTINUING NORTH 89°35'05" EAST ALONG SAID NORTH LINE, 0.44 FEET TO THE EASTERLY LINE OF SAID PARCEL "C"; THENCE SOUTHERLY ALONG SAID EASTERLY LINE AND A CURVE CONCAVE EASTERLY WHOSE RADIUS IS 257.95 FEET, WHOSE ARC LENGTH IS 187.15 FEET AND WHOSE CHORD BEARS SOUTH 04°47'20" EAST, 183.07 FEET; THENCE SOUTHERLY ALONG SAID EASTERLY LINE AND A CURVE CONCAVE WESTERLY WHOSE RADIUS IS 25.00 FEET, WHOSE ARC LENGTH IS 38.19 FEET AND WHOSE CHORD BEARS SOUTH 12°07'06" WEST, 34.58 FEET; THENCE SOUTHWESTERLY ALONG SAID EASTERLY LINE, ALSO BEING THE NORTHERLY RIGHT OF WAY LINE OF GRAND AVENUE AND A CURVE CONCAVE SOUTHEASTERLY WHOSE RADIUS IS 1707.10 FEET, WHOSE ARC LENGTH IS 34.77 FEET AND WHOSE CHORD BEARS SOUTH 54°32'15" WEST, 34.77 FEET; THENCE WESTERLY ALONG SAID NORTHERLY RIGHT OF WAY LINE AND A CURVE CONCAVE NORTHERLY WHOSE RADIUS IS 967.50 FEET, WHOSE ARC LENGTH IS 195.22 FEET AND WHOSE CHORD BEARS SOUTH 68°07'07" WEST, 194.89 FEET; THENCE WESTERLY ALONG SAID NORTHERLY RIGHT OF WAY LINE AND A CURVE CONCAVE NORTHERLY WHOSE RADIUS IS 967.50 FEET, WHOSE ARC LENGTH IS 94.52 FEET AND WHOSE CHORD BEARS SOUTH 76°41'52" WEST, 94.49 FEET TO THE EASTERLY RIGHT OF WAY LINE OF RACCOON RIVER DRIVE; THENCE NORTH 55°08'59" WEST ALONG SAID EASTERLY RIGHT OF WAY LINE, 33.27 FEET; THENCE NORTHERLY ALONG SAID EASTERLY RIGHT OF WAY LINE AND A CURVE CONCAVE WESTERLY WHOSE RADIUS IS 550.00 FEET, WHOSE ARC LENGTH IS 185.20 FEET AND WHOSE CHORD BEARS NORTH 18°07'34" WEST, 184.33 FEET; THENCE NORTHERLY ALONG SAID EASTERLY RIGHT OF WAY LINE AND A CURVE CONCAVE EASTERLY WHOSE RADIUS IS 470.00 FEET, WHOSE ARC LENGTH IS 119.52 FEET AND WHOSE CHORD BEARS NORTH 20°29'15" WEST, 119.20 FEET; THENCE NORTHERLY ALONG SAID EASTERLY RIGHT OF WAY LINE AND A CURVE CONCAVE EASTERLY WHOSE RADIUS IS 470.00 FEET, WHOSE ARC LENGTH IS 23.27 FEET AND WHOSE CHORD BEARS NORTH 14°54'09" WEST, 23.27 FEET; THENCE NORTHERLY ALONG SAID EASTERLY RIGHT OF WAY LINE AND A CURVE CONCAVE EASTERLY WHOSE RADIUS IS 470.00 FEET, WHOSE ARC LENGTH IS 67.75 FEET AND WHOSE CHORD BEARS NORTH 09°23'17" WEST, 67.69 FEET; THENCE NORTHERLY ALONG SAID EASTERLY RIGHT OF WAY LINE AND A CURVE CONCAVE EASTERLY WHOSE RADIUS IS 475.00 FEET, WHOSE ARC LENGTH IS 237.53 FEET AND WHOSE CHORD BEARS NORTH 12°08'01" EAST, 235.06 FEET; THENCE NORTH 74°36'05" EAST ALONG SAID EASTERLY RIGHT OF WAY LINE, 38.60 FEET; THENCE NORTH 30°59'59" EAST ALONG SAID EASTERLY RIGHT OF WAY LINE, 6.43 FEET; THENCE SOUTH 58°40'18" EAST ALONG THE SOUTHERLY RIGHT OF WAY LINE OF BOONEVILLE ROAD, 288.58 FEET; THENCE SOUTHEASTERLY ALONG SAID SOUTHERLY RIGHT OF WAY LINE AND A CURVE CONCAVE NORTHEASTERLY WHOSE RADIUS IS 475.00 FEET, WHOSE ARC LENGTH IS 73.96 FEET AND WHOSE CHORD BEARS SOUTH 64°26'00" EAST, 73.89 FEET TO THE EAST LINE OF SAID SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER; THENCE EASTERLY ALONG SAID SOUTHERLY RIGHT OF WAY LINE AND A CURVE CONCAVE NORTHERLY WHOSE RADIUS IS 360.49 FEET, WHOSE ARC LENGTH IS 21.34 FEET AND WHOSE CHORD BEARS SOUTH 71°30'49" EAST, 21.34 FEET TO THE NORTHEASTERLY LINE OF SAID PARCEL "C"; THENCE SOUTHEASTERLY ALONG SAID NORTHEASTERLY LINE AND A CURVE CONCAVE SOUTHWESTERLY WHOSE RADIUS IS 211.71 FEET, WHOSE ARC LENGTH IS 15.47 FEET AND WHOSE CHORD BEARS SOUTH 50°15'08" EAST, 15.47 FEET; THENCE SOUTH 47°51'39" EAST ALONG SAID NORTHEASTERLY LINE, 8.44 FEET; THENCE SOUTH 31°58'30" EAST ALONG THE WESTERLY RIGHT OF WAY LINE OF BOONEVILLE ROAD, 27.04 FEET; THENCE SOUTH 13°36'19" WEST ALONG SAID WESTERLY RIGHT OF WAY LINE, 74.03 FEET; THENCE SOUTHERLY ALONG SAID WESTERLY RIGHT OF WAY LINE AND A CURVE CONCAVE EASTERLY WHOSE RADIUS IS 230.00 FEET, WHOSE ARC LENGTH IS 11.02 FEET AND WHOSE CHORD BEARS SOUTH 12°13'59" WEST, 11.02 FEET TO THE POINT OF BEGINNING AND CONTAINING 4.68 ACRES (204,008 SQUARE FEET).

THE PROPERTY IS SUBJECT TO ANY AND ALL EASEMENTS OF RECORD.

**CITY OF WEST DES MOINES
STAFF REPORT COMMUNICATION**

Meeting Date: January 2, 2024

ITEM: Microsoft DSM 42, 11100 Booneville Road – Approve Major Modification to Site Plan to allow construction of a data center building – Microsoft Corporation – MaM-006237-2023

Resolution: Approval of Major Modification to Site Plan

Background: Ryan Hardisty with Civil Design Advantage, on behalf of the applicant and property owner, Microsoft Corporation, requests approval of the Major Modification to Site Plan for the approximately 153-acre property located at 11100 Booneville Road. The applicant proposes to construct an approximately 245,000 square foot data center building with associated parking lot.

Staff Review & Comment:

- **Financial Impact:** As a part of a development agreement approved by City Council on April 19, 2021, for this site. The City will undertake the following proposed public use improvements:
 - Reconstruction of Booneville Road from S. 100th Street to S. 115th Street; and
 - Construction of S. Grand Prairie Parkway from Mills Civic Parkway to Raccoon River Drive; and
 - Extension of Grand Avenue from S. 88th Street to S. 115th; and
 - Extension of approximately one mile of Grand Avenue Trail from S. Grand Prairie Pkwy to the west boundary of the Urban Renewal Area.

The proposed street improvements will include the installation of the associated utilities, streetlights and sidewalks.

- **Key Development Aspects:**
 1. **Parking Lot Landscaping:** The applicant is proposing to only plant shrubs within the landscape islands in the parking lot instead of the required trees and reduce the number of landscape islands due to security concerns. Also, the applicant is proposing to install gravel in areas around the parking lot and buildings where access to utility structures for maintenance purposes is necessary instead of planting grass. Grass will be planted between the main north/south access road and the parking lot. This was discussed with the Development & Planning Subcommittee as part of the requested approval of DSM 41 and was a compromise between the operational concerns and the code required landscaping (see Development & Planning Subcommittee bullet below). The City Council supported this approach as part of the site plan approval of DSM 41, which is the building directly north of this proposed data center building. The applicant has placed the required parking lot trees in the buffer areas surrounding the site. The areas of gravel in lieu of vegetation around the building's utility structures are screened from public view by the landscape buffer around the site. Staff believes these changes proposed to the landscaping on the site plan meet the intent of the code and are a reasonable accommodation for the specific operational requirements of this project. Recommended conditions of approval that these alternative methods be approved by the City Council have been added.
- **Traffic Impact Study Findings:** No traffic study was required of this Major Modification to Site Plan since a traffic study was already completed for this entire site, including the proposed building. Any modifications to surrounding streets required of the traffic study have been completed.

- Development & Planning Subcommittee: On December 19, 2022, the Development & Planning City Council Subcommittee discussed the use of gravel in and around the proposed parking lot and the omission of trees within the landscape islands in the parking lot for this site. The Subcommittee members were supportive of allowing shrubs to replace trees in the parking area in light of security concerns as presented by Microsoft's representative, waiving required landscape islands in the parking areas, and allowing partial use of gravel or paving near utilities for maintenance purposes while requiring the incorporation of vegetation to comply with code for the bulk of the landscaped areas adjacent to parking lots and any area visible from the perimeter of the site.
- Vesting of Entitlement: Per City Code, entitlement (approval to construct or implement) shall remain in effect so long as substantial site work has progressed beyond grading and completion of structural foundations and twenty-five percent (25%) of the total building area has occurred above grade within twenty-four (24) months of the effective date of the approval, unless a greater time period is authorized at time of the original entitlement, or by approval of an extension of the original entitlement. It is the responsibility of the developer to be aware of this deadline and request an extension of the approval prior to the expiration date.

Outstanding Issues: There are no outstanding issues.

Planning and Zoning Commission Action:

Date: December 27, 2023

Vote: 6-0 for approval, with Commissioner Conlin absent

Recommendation: Approval of Major Modification to Site Plan

Recommendation: Approve the Major Modification to Site Plan request, subject to the applicant meeting all City Code requirements, and the following conditions of approval:

1. The City Council agreeing to not require landscape islands in the parking lot as required by City Code due to security concerns with trees in the parking lot. Required parking lot trees shall be added to the buffer plantings.
2. The City Council allowing shrubs in lieu of trees to be planted within parking lot islands due to security concerns with trees in the parking lot. Required parking lot trees shall be added to the buffer plantings.
3. The City Council allowing gravel to be implemented around industrial buildings on the site to allow access to utility structures for maintenance purposes.

Lead Staff Member: Brian Portz

Approval Meeting Dates:

Planning and Zoning Commission	December 27, 2023
City Council	January 2, 2024

Staff Report Reviews:

Planning & Zoning Commission	<input checked="" type="checkbox"/> Development Coordinator (or) <input checked="" type="checkbox"/> Director	<input checked="" type="checkbox"/> Legal Department
City Council	<input checked="" type="checkbox"/> Director <input type="checkbox"/> Appropriations/Finance	<input type="checkbox"/> Legal Department <input checked="" type="checkbox"/> Agenda Acceptance <i>BP</i>

Publications (if applicable)

Published In:	Des Moines Register Community Section
Date(s) Published	n/a
Date(s) of Mailed Notices	n/a

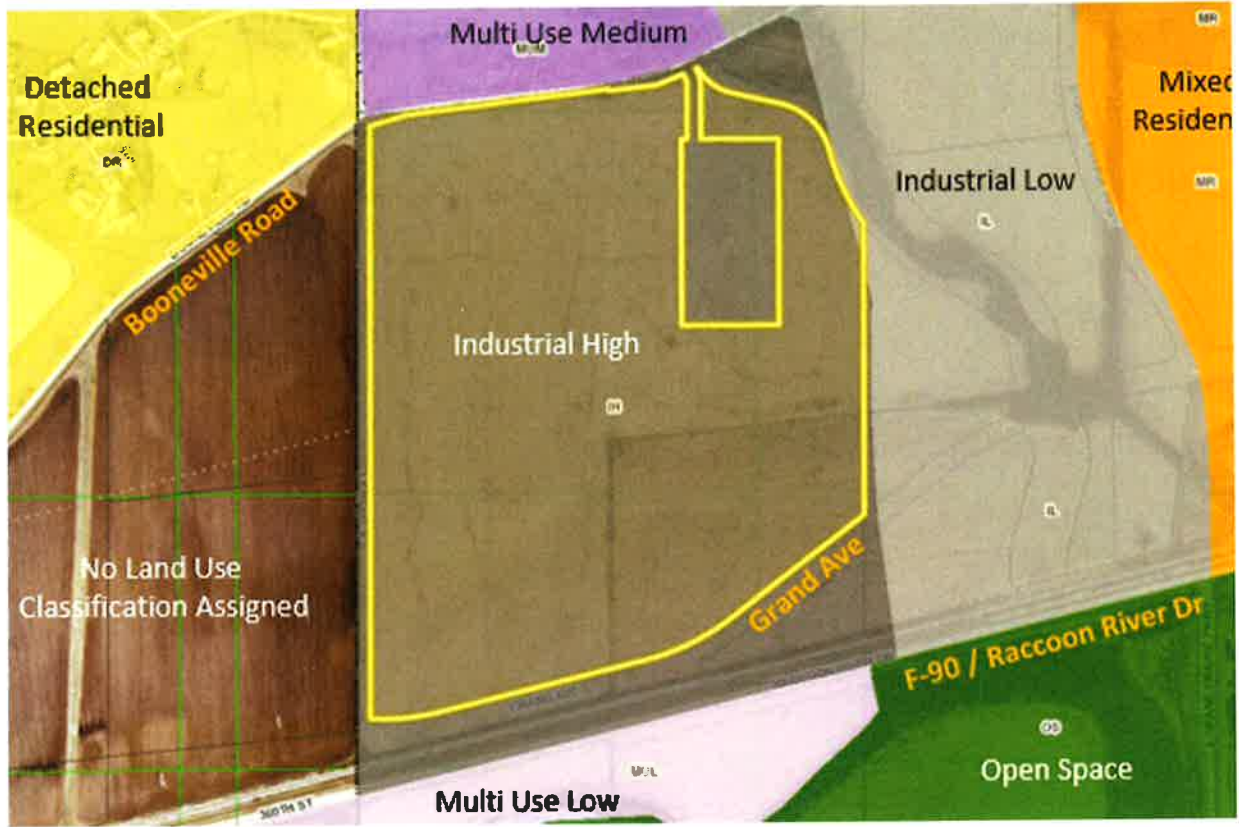
Council Subcommittee Review (if applicable)

Subcommittee	Development & Planning
Date Reviewed	December 19, 2022 & November 20, 2023
Recommendation	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Split

Location Map



Vicinity Map – Land Uses



A RESOLUTION OF THE PLANNING AND ZONING COMMISSION

NO. PZC-23-065

WHEREAS, pursuant to the provisions of Title 9, Zoning of the West Des Moines Municipal Code, the applicant and property owner, Microsoft Corporation, request approval of the Major Modification to Site Plan for the approximately 153-acre property located at 11100 Booneville Road as depicted on the location map included in the staff report. The applicant requests approval to construct a 245,000 square foot data center building, and associated site improvements; and

WHEREAS, the Major Modification to Site Plan request complies with the findings stated in the applicable provisions of Title 9, the Comprehensive Plan and City Code.

NOW THEREFORE, the Planning and Zoning Commission of the City of West Des Moines recommends the City Council approve the Microsoft DSM 42 Major Modification to Site Plan (MaM-006237-2023), subject to compliance with all the conditions of approval as stated in the staff report, including conditions added at the meeting, and attached hereto as Exhibit "A", if applicable.

PASSED AND ADOPTED on December 27, 2023.



Tina Shaw, Vice Chair
Planning and Zoning Commission

I HEREBY CERTIFY that the foregoing resolution was duly adopted by the Planning and Zoning Commission of the City of West Des Moines, Iowa, at a regular meeting on December 27, 2023, by the following vote:

AYES: Costa, Crowley, Davis, Hatfield, McCoy, Shaw

NAYS:

ABSTENTIONS:

ABSENT: Conlin

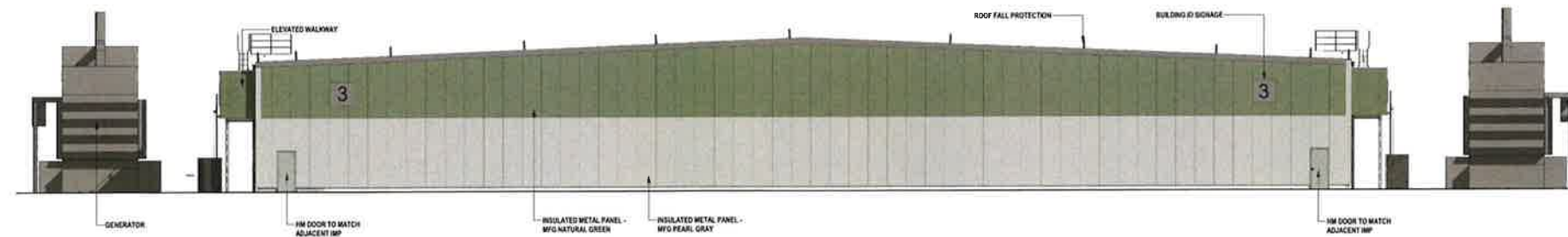
ATTEST:


Recording Secretary

PLANS INCLUDED ARE FOR ILLUSTRATIVE PURPOSES ONLY - APPROVED PLANS ON FILE WITH THE CITY



1 ARCHITECTURAL EXTERIOR ELEVATION - EAST
1" = 10'-0"



2 ARCHITECTURAL EXTERIOR ELEVATION - WEST
1" = 10'-0"

8400 Ward Parkway
Kansas City, MO 64114
www.burnsmcd.com



DSM42
DATA CENTER
11100 BOONEVILLE ROAD
WEST DES MOINES, IA

Design	JCM
Drawn	SP 044
Checked	
Date	
Sheet Number	of 001
File Number	0000

MICROSOFT

Design Manager: JONATHAN...
 Lead Designer: ...
 Architectural & Structural Engineer: ...
 Mechanical & Electrical Engineer: ...
 Building & System Engineer: ...
 Electrical Engineer: ...
 Electrical Power Engineer: ...
 Telecommunications Engineer: ...
 Security Design Manager: ...

DESIGN TEAM

Off Project Lead: ...
 Project Engineer: ...
 Architectural Lead: ...
 Mechanical Engineer: ...
 Electrical Engineer: ...
 Fire Protection Engineer: ...
 Civil Engineer: ...
 Electrical Engineer: ...
 Telecommunications Engineer: ...
 Security Systems Engineer: ...

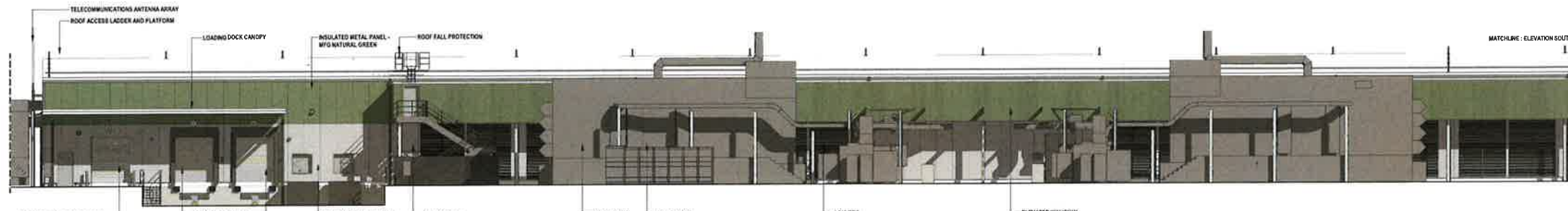
No.	Date	Description

Professional Seal: NEAL A. CLEMENTS, PE, IDWA, No. 6761, dated 11-10-2023.
 Sector Key Plan

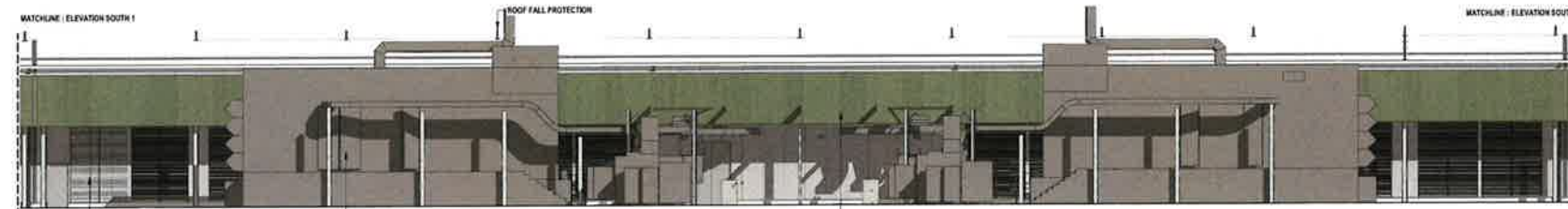
Bar Code
 CONFIDENTIAL - DO NOT DISCLOSE. This document is exempt from public disclosure under the Public Disclosure Act and Uniform Trade Secrets Act.
 Package
 FULL BUILDOUT
 Sheet Title Number

ARCHITECTURAL RENDERED EXTERIOR ELEVATIONS

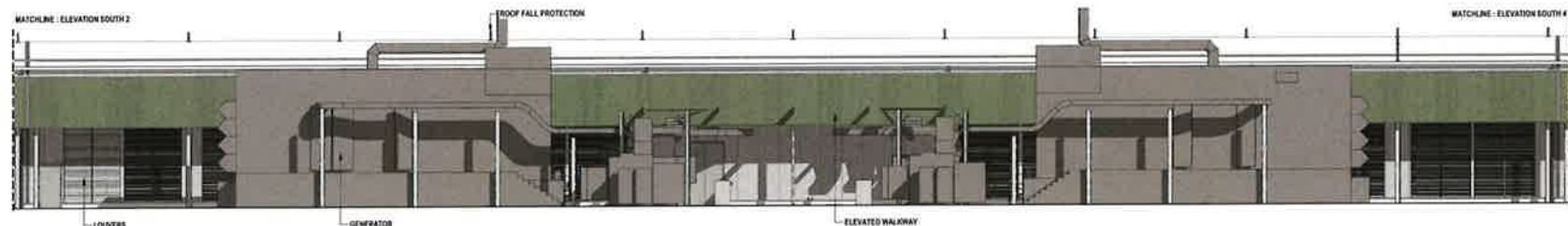
DSM42-1



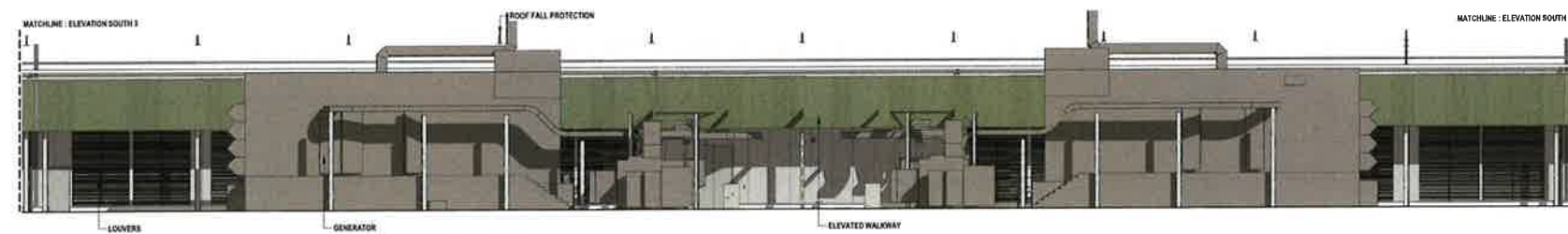
1 ARCHITECTURAL EXTERIOR ELEVATIONS - SOUTH 1
1" = 10'-0"



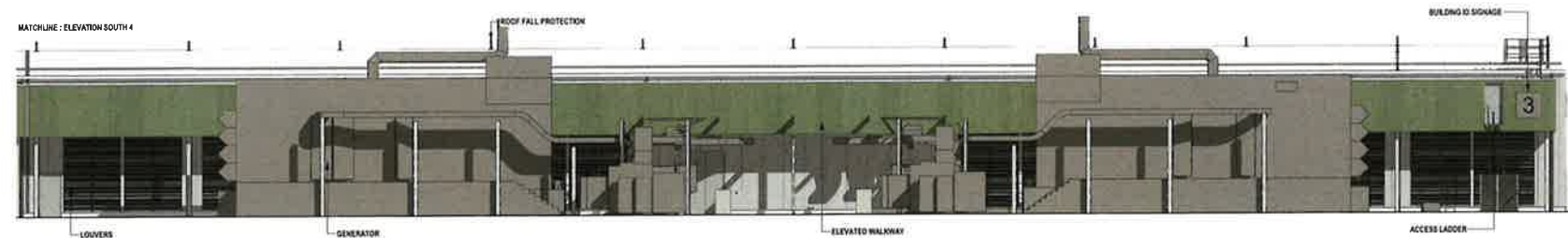
2 ARCHITECTURAL EXTERIOR ELEVATION - SOUTH 2
1" = 10'-0"



3 ARCHITECTURAL EXTERIOR ELEVATION - SOUTH 3
1" = 10'-0"



4 ARCHITECTURAL EXTERIOR ELEVATION - SOUTH 4
1" = 10'-0"



5 ARCHITECTURAL EXTERIOR ELEVATION - SOUTH 5
1" = 10'-0"

**BURNS
MCDONNELL**
9400 Ward Parkway
Kansas City, MO 64114
www.burnsmcd.com

Microsoft
DSM42
DATA CENTER
11100 BOONEVILLE ROAD
WEST DES MOINES, IA

Design	DL
Drawn	SP/BR
Checked	CHEV
Date	
BS&D Project No.	15-005
B/S Paper No.	P 2050

MICROSOFT	
Design Manager	JENNIFER
Local Manager	
Cost/Schedule Manager	
Architectural & Engineering	USA GALAXY / DAVID SWANSON
Mechanical & Electrical	USA GALAXY
Structural	USA GALAXY
Electrical	USA GALAXY
MEP	USA GALAXY
Security Design Manager	DANIEL PUTMAN

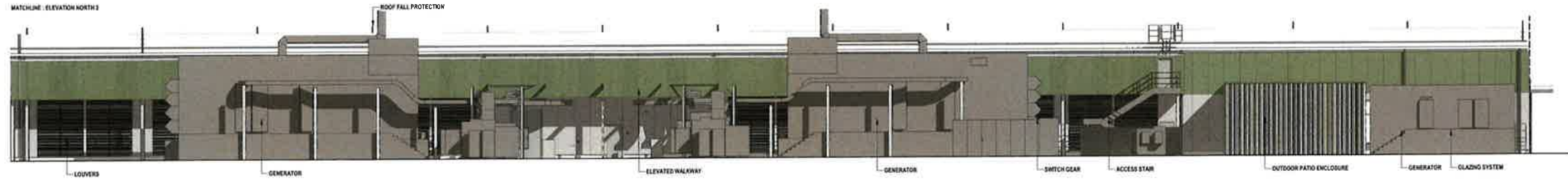
DESIGN TEAM		
Architectural Lead	NEAL CLEMENTS / B&D	
Mechanical Engineering Lead	JEFFREY WILSON / B&D	
Electrical Engineering Lead	JEFFREY WILSON / B&D	
MEP Engineering Lead	JEFFREY WILSON / B&D	
Structural Engineering Lead	JEFFREY WILSON / B&D	
Security Engineering Lead	MARC AUGERSON / B&D	
Security Systems Engineering Lead	MARCELA BANSAI / INTCOBA	

Registration

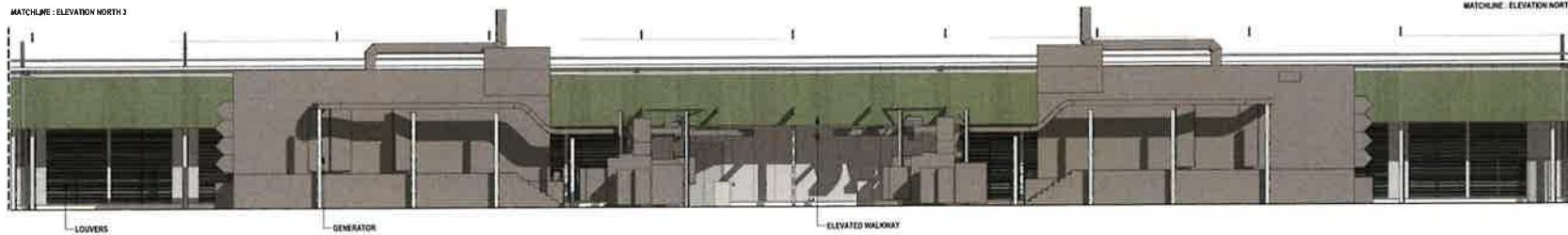
 11-10-2023
 Sector Key Plan

Bar Code
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 Package
 FULL BUILDOUT
 Sheet Title/Number
 ARCHITECTURAL
 RENDERED
 EXTERIOR
 ELEVATIONS

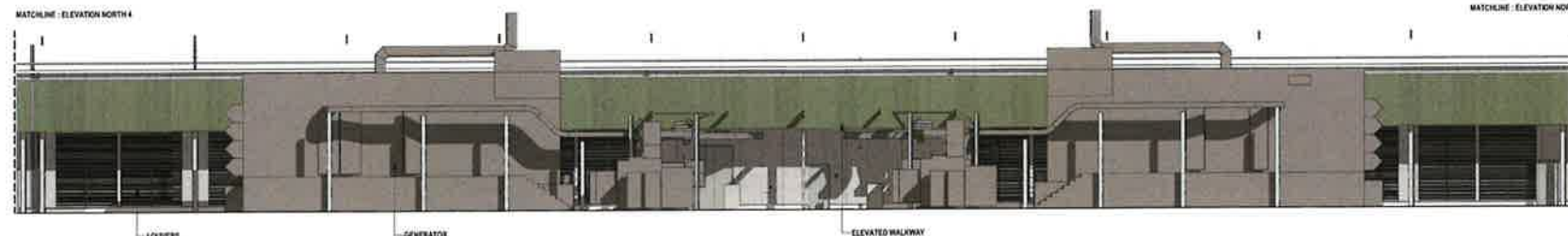
DSM42-2



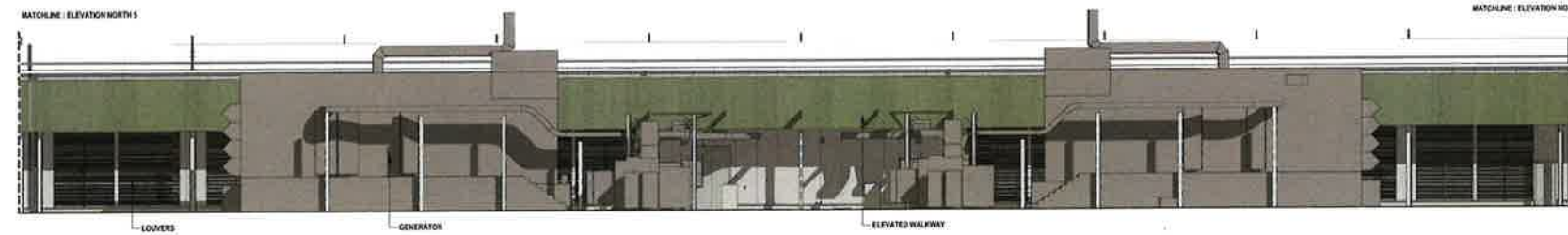
1 ARCHITECTURAL EXTERIOR ELEVATIONS - NORTH 1
1" = 10'-0"



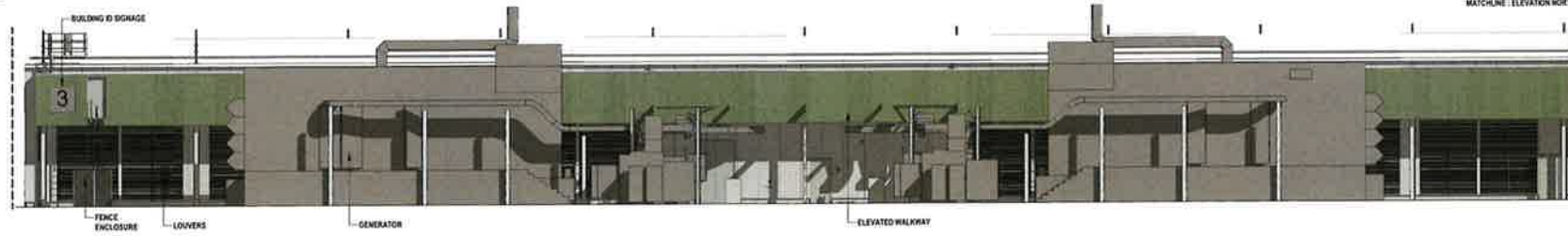
2 ARCHITECTURAL EXTERIOR ELEVATIONS - NORTH 2
1" = 10'-0"



3 ARCHITECTURAL EXTERIOR ELEVATIONS - NORTH 3
1" = 10'-0"



4 ARCHITECTURAL EXTERIOR ELEVATIONS - NORTH 4
1" = 10'-0"



5 ARCHITECTURAL EXTERIOR ELEVATIONS - NORTH 5
1" = 10'-0"

Design	SA
Drawn	SP/BS
Checked	CH/BS
Date	
Block Project No.	11-040
U.S. Project No.	2000

MICROSOFT	
Design Manager	JON MYGREN
Local Manager	JON MYGREN
U.S. Site Manager	SONEWHP GHAR
International & Domestic Coordinator	USA GALLANT / DAVID SWANSON
Spec. Purchasing & Procurement Specialist	STEVE ECKHART
Building & Construction Specialist	BILL GEMBERSKI
Electrical Technical Lead	ANAGA KRISHNAN
Electrical Power Management Specialist	BRIDGEMAN
Electrical Technical Lead	STEFANO FRANCO
Telecommunications Network Technical Lead	MATT BENSON
Security Design Manager	DANIEL PUTMAN
DESIGN TEAM	
Civil Engineering	RYAN LAMBERT / CIVIL DESIGN ADVANTAGE
Structural Engineering	ERIKAM JEMAL / BMAO
Architectural Lead	NEAL CLEMENTS / BMAO
Mechanical Engineering Lead	JEFFREY WILSON / BMAO
Plumbing Engineering Lead	DANIEL GARCIA / BMAO
Fire Protection Engineering Lead	WILL CLAY / BMAO
MEP Engineering Lead	JEFFREY WILSON / BMAO
Electrical Engineering Lead	JASON MITCHELL / BMAO
Telecommunications / Network Engineering Lead	MARY ANDRUSCHYK / BMAO
Security System Engineering Lead	MIRCEA BARBAT / INTERIA

Revisions		
No.	Date	Description

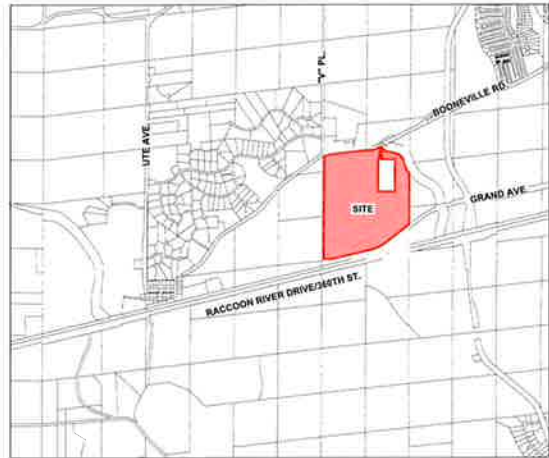
Registration

 NEAL A. CLEMENTS
 11-10-2023
 Sector Key Plan

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 Package
FULL BUILDOUT
 Sheet Title/Number

**ARCHITECTURAL
 RENDERED
 EXTERIOR
 ELEVATIONS**
 DSM42-3

VICINITY MAP
NOT TO SCALE



Microsoft

DSM42 DATA CENTER SITE PLAN

OWNER/APPLICANT

MICROSOFT CORPORATION
ONE MICROSOFT WAY
REDMOND, WA 98052

CONSULTANTS

CIVIL:
CIVIL DESIGN ADVANTAGE, LLC
4121 NW URBANDALE DRIVE
URBANDALE, IA 50322
PH: (515) 369-4400
CONTACT: RYAN HARDSTY

NAVX ENGINEERING, INC.
11234 SE 6TH STREET, SUITE 150
BELLEVUE, WA 98004
PH: (425) 458-7900
CONTACT: PAUL MANZER

GEOTECHNICAL:
TERRACON CONSULTANTS INC.
1523 S BELL AVENUE, SUITE 104
AMES, IOWA 50010
PH: (515) 232-0950
CONTACT: CASH STURGEON

GOVERNING AGENCIES

REVIEW AGENCY:
CITY OF WEST DES MOINES (WDM)
4200 MILLS CIVIC PARKWAY, SUITE 20
WEST DES MOINES, IA 50265
PH: (515) 222-3520
CONTACT: LYNE TWEDT

FIRE DISTRICT:
CITY OF WEST DES MOINES (WDM)
3421 ASHWORTH ROAD
WEST DES MOINES, IA 50265
PH: (515) 222-3420
CONTACT: MIKE WHITSELL

UTILITIES

WATER:
WEST DES MOINES WATER WORKS (WDMWW)
1505 RAILROAD AVENUE
WEST DES MOINES, IA 50265
PH: (515) 222-3510
CONTACT: WILLIAM MABUCE, P.E.

SANITARY SEWER:
CITY OF WEST DES MOINES (WDM)
560 SOUTH 16TH STREET
WEST DES MOINES, IA 50265
PH: (515) 222-3480
CONTACT: CLINT CARPENTER

BENCHMARKS

WDM BM 084
CITY OF WDM STANDARD BENCHMARK LOCATED ALONG 9100 BLOCK OF RACCOON RIVER DRIVE, INTERSECTION OF RACCOON RIVER DRIVE AND WADSWORTH COURT, 3 FEET NORTH OF SOUTH FENCE, 25 FEET WEST OF FENCE CORNER, STA 1124 ± STAMPED IN PCC PAVEMENT ON THE SOUTH SIDE.
ELEVATION = 841.07 (DATUM: NAVD 88, FEET)

WDM BM 130
CITY OF WDM STANDARD BENCHMARK LOCATED AT SOUTHWEST CORNER OF BOONEVILLE ROAD AND "V" PLACE, 3 FEET NORTH OF SOUTH RIGHT OF WAY FENCE ON BOONEVILLE ROAD AND IN LINE WITH EAST EDGE OF "V" PLACE, WEST SIDE OF FIELD ENTRANCE.
ELEVATION = 873.86 (DATUM: NAVD 88, FEET)

LEGAL DESCRIPTION

LOT 1, GINGER WEST PLAT 1, AN OFFICIAL PLAT IN THE CITY OF WEST DES MOINES, DALLAS COUNTY, IOWA, AND CONTAINING 153.06 ACRES (6,667,355 SF).

NOTES

- SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE PROJECT SPECIFICATIONS AND THE CURRENT CITY OF WEST DES MOINES STANDARD SPECIFICATIONS FOR SUBDIVISIONS AND ADDENDUMS.
- THE DESIGN SHOWN IS BASED UPON THE ENGINEER'S UNDERSTANDING OF THE EXISTING CONDITIONS. THIS PLAN DOES NOT REPRESENT A DETAILED FIELD SURVEY. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING FIELD CONDITIONS PRIOR TO BRIDGING THE PROPOSED SITEWORK IMPROVEMENTS. IF CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER PRIOR TO INSTALLATION OF ANY PORTION OF THE SITEWORK WHICH WOULD BE AFFECTED. IF CONTRACTOR DOES NOT ACCEPT EXISTING SURVEY, INCLUDING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE, AT HIS/HER OWN EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW.
- CAUTION - NOTICE TO CONTRACTOR**
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.
- ALL CONSTRUCTION WITHIN PUBLIC ROW/EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS SHALL COMPLY WITH THE WEST DES MOINES STANDARD CONSTRUCTION SPECIFICATIONS FOR SUBDIVISIONS, DSM METRO DESIGN STANDARDS, AND WDM ADDENDUMS.
- AT LEAST ONE WEEK PRIOR TO ANY CONSTRUCTION WITHIN PUBLIC ROW/EASEMENTS AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, THE CONTRACTOR SHALL CONTACT THE WDM ENGINEERING SERVICES 515-222-3475 TO SCHEDULE ANY REQUIRED INSPECTIONS. IT IS IMPORTANT TO NOTE CITY APPROVAL OF THIS PLAN IS SUBJECT TO THE APPLICANT OBTAINING ALL NECESSARY EASEMENTS/AGREEMENTS AND APPLICABLE PERMITS.
- ALL SECURITY GATES SHALL HAVE THEIR LOCKS AND SEQUENCE OF EVENTS TO OPEN THEM APPROVED BY THE FIRE MARSHAL PRIOR TO INSTALLATION.

CITY OF WEST DES MOINES DATUM CONVERSION

PLAN DATUM CONVERSION FROM THE CITY OF WEST DES MOINES DATUM TO NAVD88 - PLAN ELEVATION + 774.01 FEET

SITE DATA

COMPREHENSIVE PLAN LIGHT INDUSTRIAL
ZONING LIGHT INDUSTRIAL

SURROUNDING LAND USES:
NORTH: EXISTING LAND USE RESIDENTIAL AND AGRICULTURE
EXISTING ZONING UNZONED
COMPREHENSIVE PLAN DESIGNATION OFFICE/BUSINESS PARK
EAST: EXISTING LAND USE AGRICULTURE
EXISTING ZONING UNZONED
COMPREHENSIVE PLAN DESIGNATION BUSINESS PARK
SOUTH: EXISTING LAND USE AGRICULTURE
EXISTING ZONING UNZONED
COMPREHENSIVE PLAN DESIGNATION MED. DENSITY RESIDENTIAL/OPEN SPACE
WEST: EXISTING LAND USE AGRICULTURE
EXISTING ZONING UNZONED
COMPREHENSIVE PLAN DESIGNATION SINGLE FAMILY RESIDENTIAL

PARKING SUMMARY

MICROSOFT REQUIRED PARKING = 1.2 STALLS PER MW PLUS 1 SECURITY VEHICLE STALL
48 MW BUILDING X 1.2 STALL/MW + 1 SECURITY STALL = 59 STALLS

LEED CREDIT REDUCED PARKING FOOTPRINT:
1% TRIP GENERATION MANUAL DATA CENTER REQUIRED PARKING = 0.99 STALLS PER 1000 SF
245,000 SF BUILDING X 0.99 STALLS/1000 SF = 243 STALLS REQUIRED
PARKING REDUCTION = 75.7%

SITE AREA DATA

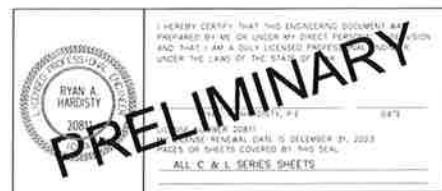
EXISTING	IMPERVIOUS PERVIOUS	50.15 ACRES (2,184,534 SF) (32.76%)
PROPOSED	IMPERVIOUS PERVIOUS	102.91 ACRES (4,482,821 SF) (67.24%)
	IMPERVIOUS PERVIOUS	63.22 ACRES (2,753,837 SF) (41.30%)
	IMPERVIOUS PERVIOUS	89.84 ACRES (3,913,518 SF) (58.70%)
TOTAL LAND AREA		153.06 ACRES (6,667,355 SF)
OPEN SPACE AREA: REQUIRED PROVIDED		30.61 ACRES (1,333,459 SF) (20.00%)
		89.84 ACRES (3,913,518 SF) (58.70%)

UTILITY WARNING

THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY AND RECORDS OBTAINED BY THIS SURVEYOR. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL THE UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION SHOWN.

SHEET INDEX

SHEET NUMBER	SHEET TITLE
DSM42-C-A-01	CIVIL COVER SHEET
DSM42-C-B-01	CIVIL BASE CONDITIONS MAP
DSM42-C-B-001	CIVIL DEMOLITION PLAN
DSM42-C-B-002	CIVIL DEMOLITION PLAN
DSM42-C-B-003	CIVIL DEMOLITION PLAN
DSM42-C-B1-01	CIVIL EROSION & SEDIMENT CONTROL PLAN OVERALL
DSM42-C-B1-001	CIVIL EROSION & SEDIMENT CONTROL PLAN
DSM42-C-B1-002	CIVIL EROSION & SEDIMENT CONTROL PLAN
DSM42-C-B1-003	CIVIL EROSION & SEDIMENT CONTROL PLAN
DSM42-C-B1-004	CIVIL EROSION & SEDIMENT CONTROL PLAN
DSM42-C-B1-005	CIVIL EROSION & SEDIMENT CONTROL PLAN
DSM42-C-B1-006	CIVIL EROSION & SEDIMENT CONTROL PLAN
DSM42-C-B1-007	CIVIL EROSION & SEDIMENT CONTROL PLAN
DSM42-C-B1-008	CIVIL EROSION & SEDIMENT CONTROL PLAN
DSM42-C-B1-009	CIVIL EROSION & SEDIMENT CONTROL PLAN
DSM42-C-B1-010	CIVIL EROSION & SEDIMENT CONTROL PLAN
DSM42-C-B1-011	CIVIL EROSION & SEDIMENT CONTROL PLAN
DSM42-C-B1-012	CIVIL EROSION & SEDIMENT CONTROL PLAN
DSM42-C-B1-013	CIVIL EROSION & SEDIMENT CONTROL PLAN
DSM42-C-B1-014	CIVIL EROSION & SEDIMENT CONTROL PLAN
DSM42-C-B1-015	CIVIL EROSION & SEDIMENT CONTROL PLAN
DSM42-C-B1-016	CIVIL EROSION & SEDIMENT CONTROL PLAN
DSM42-C-B1-017	CIVIL EROSION & SEDIMENT CONTROL PLAN
DSM42-C-B1-018	CIVIL EROSION & SEDIMENT CONTROL PLAN
DSM42-C-B1-019	CIVIL EROSION & SEDIMENT CONTROL PLAN
DSM42-C-B1-020	CIVIL EROSION & SEDIMENT CONTROL PLAN
DSM42-C-B1-021	CIVIL EROSION & SEDIMENT CONTROL PLAN
DSM42-C-B1-022	CIVIL EROSION & SEDIMENT CONTROL PLAN
DSM42-C-B1-023	CIVIL EROSION & SEDIMENT CONTROL PLAN
DSM42-C-B1-024	CIVIL EROSION & SEDIMENT CONTROL PLAN
DSM42-C-B1-025	CIVIL EROSION & SEDIMENT CONTROL PLAN
DSM42-C-C1-01	CIVIL SITE IMPROVEMENTS PLAN OVERALL
DSM42-C-C1-001	CIVIL SITE IMPROVEMENTS PLAN
DSM42-C-C1-002	CIVIL SITE IMPROVEMENTS PLAN
DSM42-C-C1-003	CIVIL SITE IMPROVEMENTS PLAN
DSM42-C-C1-004	CIVIL SITE IMPROVEMENTS PLAN
DSM42-C-C1-005	CIVIL SITE IMPROVEMENTS PLAN
DSM42-C-C2-01	CIVIL HORIZONTAL CONTROL PLAN OVERALL
DSM42-C-C2-001	CIVIL HORIZONTAL CONTROL PLAN
DSM42-C-C2-002	CIVIL HORIZONTAL CONTROL PLAN
DSM42-C-C2-003	CIVIL HORIZONTAL CONTROL PLAN
DSM42-C-D1-01	CIVIL UTILITY PLAN OVERALL
DSM42-C-D2-01	CIVIL SITE GRADING & DRAINAGE PLAN OVERALL
DSM42-C-D2-001	CIVIL SITE GRADING & DRAINAGE PLAN
DSM42-C-D2-002	CIVIL SITE GRADING & DRAINAGE PLAN
DSM42-C-D2-003	CIVIL SITE GRADING & DRAINAGE PLAN
DSM42-C-D3-01	CIVIL SITE FINISHED GRADING PLAN OVERALL
DSM42-C-D3-001	CIVIL SITE FINISHED GRADING PLAN
DSM42-C-D3-002	CIVIL SITE FINISHED GRADING PLAN
DSM42-C-D3-003	CIVIL SITE FINISHED GRADING PLAN
DSM42-C-E1-01	CIVIL WATER PLAN OVERALL
DSM42-C-E1-001	CIVIL WATER PLAN
DSM42-C-E1-002	CIVIL WATER PLAN
DSM42-C-E1-003	CIVIL WATER PLAN
DSM42-C-E2-01	CIVIL WATER PLAN & PROFILE
DSM42-C-E2-02	CIVIL WATER PLAN & PROFILE
DSM42-C-E2-03	CIVIL WATER PLAN & PROFILE
DSM42-C-E2-04	CIVIL WATER PLAN & PROFILE
DSM42-C-E2-05	CIVIL WATER PLAN & PROFILE
DSM42-C-E2-06	CIVIL WATER PLAN & PROFILE
DSM42-C-E2-07	CIVIL WATER PLAN & PROFILE
DSM42-C-E3-01	CIVIL CLEAR WATER DISCHARGE & SANITARY SEWER PLAN OVERALL
DSM42-C-E3-001	CIVIL CLEAR WATER DISCHARGE & SANITARY SEWER PLAN
DSM42-C-E3-002	CIVIL CLEAR WATER DISCHARGE & SANITARY SEWER PLAN
DSM42-C-E3-003	CIVIL CLEAR WATER DISCHARGE & SANITARY SEWER PLAN
DSM42-C-F1-001	CIVIL CLEAR WATER DISCHARGE & SANITARY SEWER PLAN
DSM42-C-F1-002	CIVIL CLEAR WATER DISCHARGE & SANITARY SEWER PLAN
DSM42-C-F1-003	CIVIL CLEAR WATER DISCHARGE & SANITARY SEWER PLAN
DSM42-C-F-01	CIVIL SITE DETAILS
DSM42-C-F-02	CIVIL SITE DETAILS
DSM42-C-F-03	CIVIL SITE DETAILS
DSM42-C-F-04	CIVIL SEWER DETAILS
DSM42-C-F-05	CIVIL SEWER DETAILS
DSM42-C-F-06	CIVIL SEWER DETAILS
DSM42-C-F-07	CIVIL WATER DETAILS
DSM42-C-F-08	CIVIL WATER DETAILS
DSM42-L-A1-01	LANDSCAPE PLAN OVERALL
DSM42-L-A1-001	LANDSCAPE PLAN
DSM42-L-A1-005	LANDSCAPE PLAN



DSM 42
DATA CENTER
11100 Booneville Road
West Des Moines, Iowa

Sheet	DSM 42
Drawn	NEW JB
Checked	
Date	11/12/2021
Scale	AS SHOWN
U.S. Project No.	

MICROSOFT

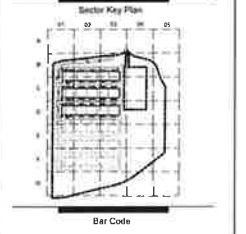
Design Manager: JONNYTONE
Project Manager: JONNYTONE
Civil Site Survey, Landmarking, Surveying Lead: JONNYTONE
Architectural Services Engineering Lead: LISA GALLANT / DAVID SWANSON
Survey, Planning & Professional Engineering Lead: STEVE TOLPIN
Utility Substation Services Engineering Lead: BILL GEMBERSKI
Electrical Engineering Lead: ANAIDA KRISHNAN
Electrical Power Management Systems (EMAS) Technical Lead: SERGIO FRANCO
Telecommunications Technical Lead: MATT BENESON
Structural Design Manager: DANIEL PUTMAN

DESIGN TEAM

Civil Engineering Lead: RYAN HARDISTY / CIVIL DESIGN ADVANTAGE
Structural Engineering Lead: BRYAN JEMAL / BMD
Architectural Lead: NEAL CLEMENTS / BMD
Mechanical Engineering Lead: JEFFREY WILSON / BMD
Planning Engineering Lead: DANIEL GARCIA / BMD
Fire Protection Engineering Lead: WEL CLAY / BMD
Soil Engineering Lead: JEFFREY WILSON / BMD
Electrical Engineering Lead: JASON MITCHELL / BMD
Telecommunications Engineering Lead: MARK ANDERSON / BMD
Structural Engineering Lead: KOREKA BARRETT / INTROBA

Revisions

No.	Date	Description
1	11/12/2021	ISSUE FOR PACKAGE
2	11/12/2021	ISSUE FOR PACKAGE



Package
FULL BUILDOUT
Sheet Title Number
CIVIL COVER SHEET
DSM42-C-A-01

SEE SHEET C-B1-C01 FOR CONTINUATION

UNDISTURBED AREA

DSM42 ADMIN

DA #1
26.55 AC

DSM42 COLO 1

UNDISTURBED AREA

GRADING LIMITS (TYP.)

UNDISTURBED AREA

SEE SHEET C-B1-E01 FOR CONTINUATION

LEGEND

DRAINAGE ARROW
GRADING LIMITS
FILTER SOCK
SILT FENCE
INLET PROTECTION
PORTABLE RESTROOM
TEMPORARY STANDPIPE
CONCRETE WASHOUT PIT
PERMANENT SEEDING
TEMPORARY SEEDING
UNDISTURBED AREA
RIP-RAP
POTENTIAL TOPSOIL STOCKPILE LOCATION
CRUSHED STONE SURFACING
STAGING AREA
P.C.C. PAVEMENT, 8" HEAVY DUTY
P.C.C. PAVEMENT, 6" MEDIUM DUTY
P.C.C. SIDEWALK, 4"
P.C.C. SIDEWALK, 6"
TEMPORARY SEDIMENT BASIN

SEE SHEET C-B1-D02 FOR CONTINUATION

STABILIZATION QUANTITIES

ITEM NO	ITEM	UNIT	TOTAL
1	SILT FENCE	LF	2,970
2	SEEDING, FERTILIZING AND MULCHING	AC	20.5
3	INLET PROTECTION DEVICES	EA	36
4	CONCRETE WASHOUT PIT	LS	1

DISCHARGE POINT SUMMARY

DISCHARGE POINT #1 TO LITTLE CHOW CREEK 4870 FT	26.55 ACRES
TOTAL AREA DISTURBED TO DISCHARGE POINT	95,580 CU FT
STORAGE VOLUME REQUIRED (1/2 ACRES*3600 CU FT)	35,865 CU FT
VOLUME IN EXISTING TSB #1	200,725 CU FT
TOTAL VOLUME PROVIDED	1,241,588 CU FT

NOTES:

- CONTRACTOR SHALL ENSURE STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES SHALL COMPLY WITH THE IOWA DEPARTMENT OF NATURAL RESOURCES NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) GENERAL PERMIT NO. 2.
- WATER TAKEN FROM ANY DEWATERING ACTIVITIES SHALL BE DISCHARGED INTO A TEMPORARY SEDIMENT BASIN OR SHALL RUN THROUGH A DEWATERING SILT SACK PRIOR TO LEAVING THE SITE. MEASURES ARE ALSO TO BE TAKEN TO PREVENT SCOUR EROSION AT DEWATERING DISCHARGE POINT.
- DISTURBED AREAS SHALL BE TEMPORARILY SEEDED OR MULCHED PRIOR TO THE SITE SHUTTING DOWN FOR WINTER CONDITIONS.
- STORM SEWERS AND DRAINAGE WAYS SHALL BE PROTECTED FROM CONCRETE SLURRY PRODUCED BY SAWCUTTING AND CONCRETE GRINDING.
- STABILIZATION QUANTITIES ARE FOR REFERENCE ONLY AND ARE NOT FOR CONSTRUCTION TAKE-OFF.
- TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES AS SHOWN SHALL BE THE INTENDED BASIS FOR STORMWATER POLLUTION PREVENTION PLANNING AS GRADING AND SITE WORK PROGRESS IS MADE AND WEATHER CONDITIONS CHANGE. THE CONTRACTOR IS EXPECTED TO MODIFY THE PROJECT STORMWATER POLLUTION PREVENTION PLAN (SWPPP) MATERIAL QUANTITIES TO ADDRESS CHANGES IN THE EROSION AND SEDIMENT CONTROL PLAN NEEDS SHALL BE CONSIDERED IN THE CONTRACTOR BID.



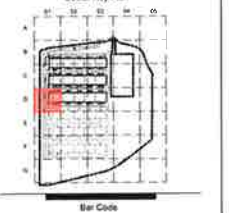
DSM 42
DATA CENTER
11100 Booneville Road
West Des Moines, Iowa

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Checked	AM/JZ
Date	11-10-2022
Scale	AS SHOWN
Project No.	22-001
Sheet No.	F-001

MICROSOFT	
Design Manager	JON KRONE
Site Manager	SONDRA OWENS
Site Supervisor	LUKE GALLAGHER / DAVID SWANSON
Site Planning & Pre-Construction	STEVE TOLPINE
Site Preparation	BILL GEMMERS
Site Construction	ANACA KRISHNAN
Site Maintenance	ERIN HANCOCK
Site Safety	MARK BROWN
Site Security	DANIEL PUTMAN

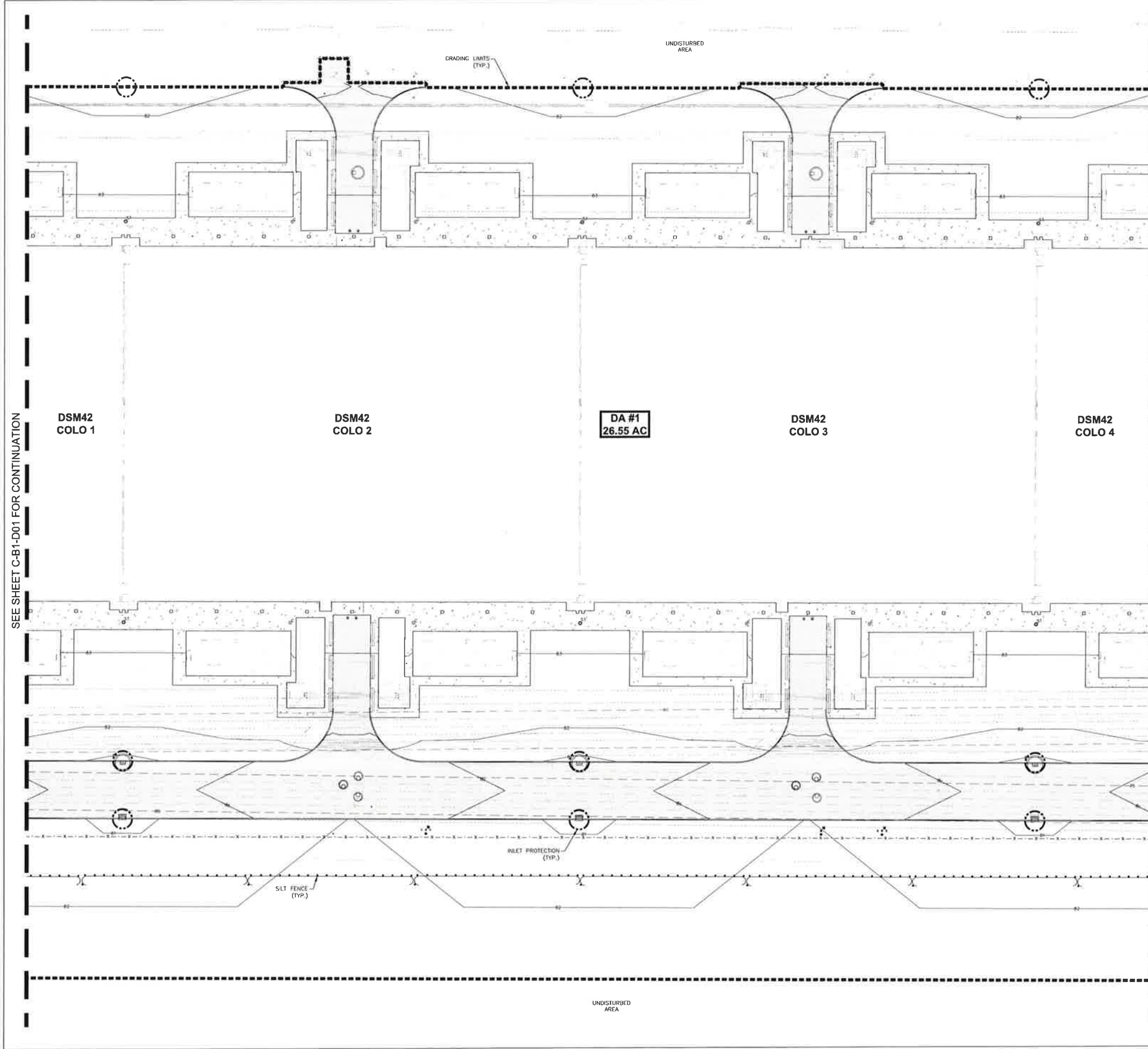
DESIGN TEAM	
Lead Engineer	STEVE WILSON / JON KRONE
Senior Engineer	ANDREW JEMAL / BRAD
Engineer	NEAL CLEMENTS / BRAD
Engineer	JEFFREY WILSON / BRAD
Engineer	DANIEL GARCIA / BRAD
Engineer	WILL CLAY / BRAD
Engineer	JEFFREY WILSON / BRAD
Engineer	ANDREW JEMAL / BRAD
Engineer	NEAL CLEMENTS / BRAD
Engineer	MARK BROWN / BRAD
Engineer	MICHAEL WILSON / BRAD

Revisions		
No.	Date	Description
1	11-10-2022	ISSUE PACKAGE
2	11-10-2022	ISSUE PACKAGE
3	11-10-2022	ISSUE PACKAGE



Package
FULL BUILDOUT
Sheet Title/Number

CIVIL
EROSION AND
SEDIMENT
CONTROL PLAN
DSM42-C-B1-D01



LEGEND

- DRAINAGE ARROW
- GRADING LIMITS
- FILTER SOCK
- SILT FENCE
- INLET PROTECTION
- PORTABLE RESTROOM
- TEMPORARY STANDPIPE
- CONCRETE WASHOUT PIT
- PERMANENT SEEDING
- TEMPORARY SEEDING
- UNDISTURBED AREA
- RIP-RAP
- POTENTIAL TOPSOIL STOCKPILE LOCATION
- CRUSHED STONE SURFACING
- STAGING AREA
- P.C.C. PAVEMENT, 6\"/>
- P.C.C. PAVEMENT, 6\"/>
- P.C.C. SIDEWALK 4\"/>
- P.C.C. SIDEWALK 6\"/>
- TEMPORARY SEDIMENT BASIN

STABILIZATION QUANTITIES

ITEM NO.	ITEM	UNIT	TOTAL
1	SILT FENCE	LF	2,970
2	SEEDING, FERTILIZING AND MULCHING	AC	30.3
3	INLET PROTECTION DEVICES	EA	36
4	CONCRETE WASHOUT PIT	LS	1

DISCHARGE POINT SUMMARY

DISCHARGE POINT #1 (SILT FENCE) TOTAL AREA DISTURBED TO DISCHARGE POINT	26.55 ACRES
TOTAL AREA DISTURBED TO DISCHARGE POINT	95,380 CU FT
STORAGE VOLUME REQUIRED (# OF ACRES * 3600 CU FT)	
VOLUME IN SILT FENCE (7,970 LF @ 4.5 CU FT/LF OF FENCE)	35,865 CU FT
VOLUME IN EXISTING TSB #1	1,205,723 CU FT
TOTAL VOLUME PROVIDED	1,241,588 CU FT

NOTES:

1. CONTRACTOR SHALL ENSURE STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES SHALL COMPLY WITH THE IOWA DEPARTMENT OF NATURAL RESOURCES' NATURAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) GENERAL PERMIT NO. 2.
2. WATER TAKEN FROM ANY DEWATERING ACTIVITIES SHALL BE DISCHARGED INTO A TEMPORARY SEDIMENT BASIN OR SHALL RUN THROUGH A DEWATERING SILT SOCK PRIOR TO LEAVING THE SITE. MEASURES ARE ALSO TO BE TAKEN TO PREVENT SCOUR EROSION AT DEWATERING DISCHARGE POINT.
3. DISTURBED AREAS SHALL BE TEMPORARILY SEEDED OR MULCHED PRIOR TO THE SITE SHUTTING DOWN FOR WINTER CONDITIONS.
4. STORM SEWERS AND DRAINAGEWAYS SHALL BE PROTECTED FROM CONCRETE SLURRY PRODUCED BY SAWCUTTING AND CONCRETE GRINDING.
5. STABILIZATION QUANTITIES ARE FOR REFERENCE ONLY AND ARE NOT FOR CONSTRUCTION TAKE-OFF.
6. TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES AS SHOWN SHALL BE THE INTENDED BASIS FOR STORMWATER POLLUTION PREVENTION PLANNING. AS GRADING AND SITE WORK PROGRESS IS MADE AND WEATHER CONDITIONS CHANGE, THE CONTRACTOR IS EXPECTED TO MODIFY THE PROJECT STORMWATER POLLUTION PREVENTION PLAN (SWPPP). MATERIAL QUANTITIES TO ADDRESS CHANGES IN THE EROSION AND SEDIMENT CONTROL PLAN NEEDS SHALL BE CONSIDERED IN THE CONTRACTOR BID.

SEE SHEET C-B1-D01 FOR CONTINUATION

SEE SHEET C-B1-D03 FOR CONTINUATION

Civil Design Advantage
4121 NW Urbandale Drive
Urbandale, IA 50322

8400 West Parkway
Kansas City, MO 64114
www.burnsmcdonnell.com

Microsoft

**DSM 42
DATA CENTER**

11100 Booneville Road
West Des Moines, Iowa

Design	ASB / ZC
Drawn	MSB / ZC
Checked	
Date	01/14/2025
Scale	AS SHOWN
Sheet Number	1 of 10

MICROSOFT

Design Manager: JON KNOBE

Site Manager: JON KNOBE

Site Safety Supervisor: JON KNOBE

Architectural & Structural Engineer: LISA GALLANT / DAVID SWANSON

Mech. Plumbing & Fire Protection Engineer: STEVE THOMPSON

Building Automation / Controls / BMS / Technical Lead: BILLY GIBSON

Electrical Technical Lead: JESSICA BRIDGEMAN

Structural / Steel / Mechanical / Electrical / Technical Lead: MATT BRANCO

Transportation / Utility / Traffic / Survey / Surveying: MATT BRANCO

Survey / Design Manager: DANIEL PETERMAN

DESIGN TEAM

Lead Engineering Lead: RYAN HANSEN / CIVIL DESIGN ADVANTAGE

Structural Engineering: JEFFREY WILSON / BMAD

Architectural Lead: NEAL CLEMENTS / BMAD

Mechanical Engineering Lead: JEFFREY WILSON / BMAD

Plumbing Engineering Lead: DANIEL GARCIA / BMAD

Fire Protection Engineering Lead: WEL CLAY / BMAD

MEP Engineering Lead: JEFFREY WILSON / BMAD

Electrical Engineering Lead: JASON MITCHELL / BMAD

Transportation / Utility / Traffic / Survey / Surveying: MARY ANDERSON / BMAD

Security System Engineering Lead: MIRCEA BARBAT / INTROBA

Revisions

No.	Date	Description
1	21 SEP 2025	ISSN PER PACKAGE
2	20 OCT 2025	ISSN PER PACKAGE
3	19 NOV 2025	ISSN PER PACKAGE

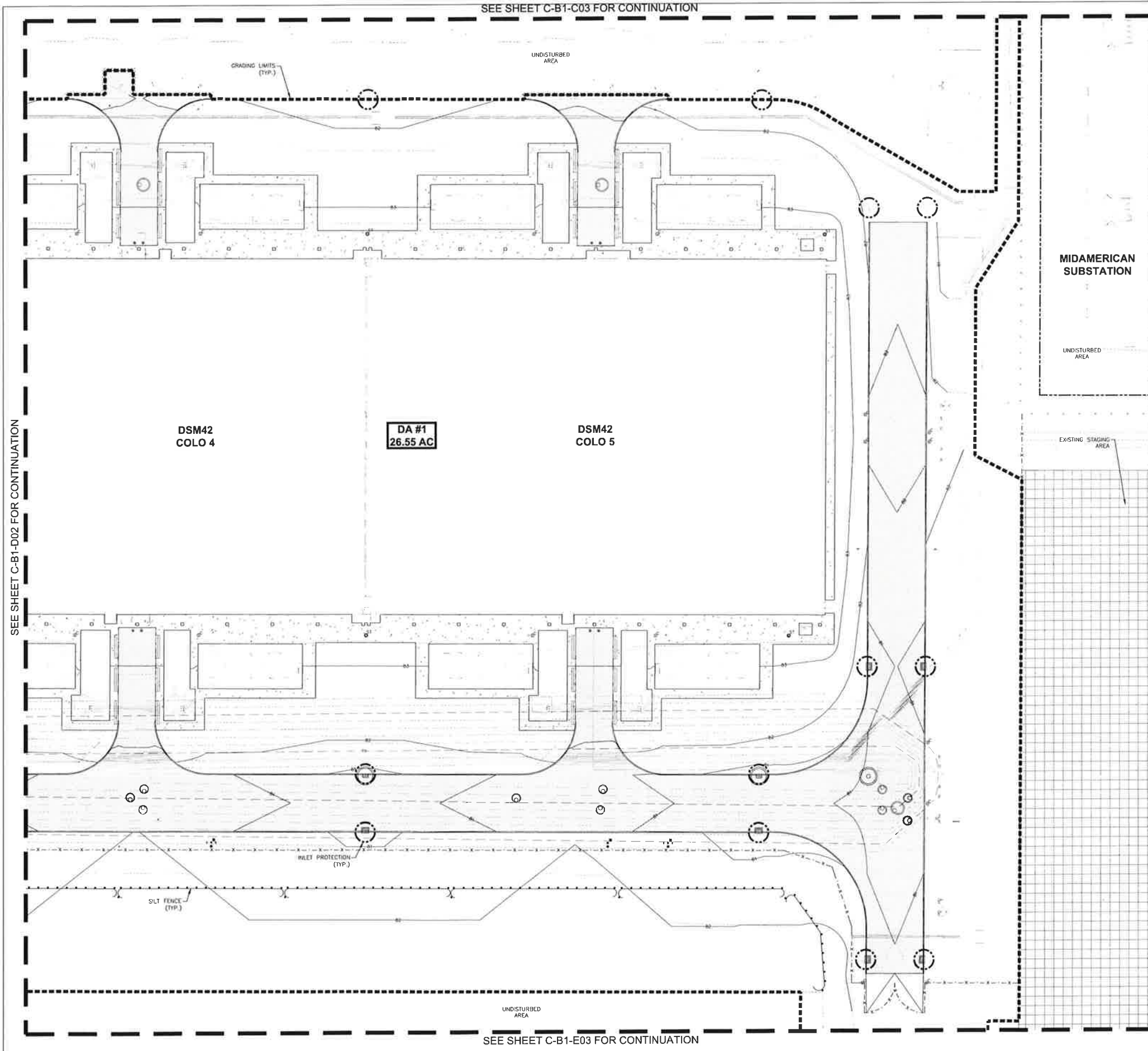
Registration
Professional Engineer
RYAN HANSEN
No. 100000000
Iowa State Board of Engineers and Surveyors
PRELIMINARY

Section Key Plan

Bar Code

Package
FULL BUILDOUT
Sheet Title Number
**CIVIL
EROSION AND
SEDIMENT
CONTROL PLAN
DSM42-C-B1-D02**

SEE SHEET C-B1-C03 FOR CONTINUATION



LEGEND

- DRAINAGE ARROW
- GRADING LIMITS
- FILTER SOCK
- SILT FENCE
- INLET PROTECTION
- PORTABLE RESTROOM
- TEMPORARY STANDPIPE
- CONCRETE WASHOUT PIT
- PERMANENT SEEDING
- TEMPORARY SEEDING
- UNDISTURBED AREA
- RIP-RAP
- POTENTIAL TOPSOIL STOCKPILE LOCATION
- CRUSHED STONE SURFACING
- STAGING AREA
- P.C.C. PAVEMENT, 8" HEAVY DUTY
- P.C.C. PAVEMENT, 6" MEDIUM DUTY
- P.C.C. SIDEWALK, 4"
- P.C.C. SIDEWALK, 6"
- TEMPORARY SEDIMENT BASIN

SEE SHEET C-B1-D04 FOR CONTINUATION

STABILIZATION QUANTITIES

ITEM NO.	ITEM	UNIT	TOTAL
1	SILT FENCE	LF	7,870
2	SEEDING, FERTILIZING AND MULCHING	AC	33.5
3	INLET PROTECTION DEVICES	EA	36
4	CONCRETE WASHOUT PITS	LS	1

DISCHARGE POINT SUMMARY

DISCHARGE POINT #1 TO LITTLE CROW CREEK 1,870 FT	26.55 ACRES
TOTAL AREA DISTURBED TO DISCHARGE POINT	95,580 CU FT
STORAGE VOLUME REQUIRED (1/8 OF ACRES*3600 CU FT)	
VOLUME IN SILT FENCE (7,870 LF @ 4.5 CU FT/LF OF FENCE)	35,365 CU FT
VOLUME IN EXISTING TSB #1	1,000,733 CU FT
TOTAL VOLUME PROVIDED	1,241,538 CU FT

NOTES:

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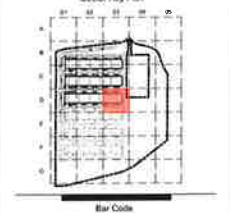
DSM 42
DATA CENTER
11100 Booneville Road
West Des Moines, Iowa

Drawn	NSP-JB
Check	NSP-JB
Date	11-12-2021
Scale	P 1:200

MICROSOFT	
Project Manager	JON NYDINE
Site Supervisor	SCOTT WILSON
Architectural	LISA GALLANT / DAVID SWANSON
Mechanical	STEVE TOULPIN
Electrical	BILL GELBERG
Structural	ANACA KRISHNAN
Civil	BRUCE FRANCO
Transportation	DAVID PUTMAN
Security	DANIEL PUTMAN

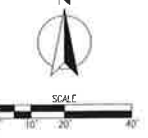
DESIGN TEAM	
Principal	STEVE NYDINE
Senior Designer	DAVID PUTMAN
Designer	DAVID PUTMAN
Checker	DAVID PUTMAN
Approver	DAVID PUTMAN

REVISIONS		
No.	Date	Description
1	21 SEP 2021	SOB BY PACKAGE
2	08 OCT 2021	ADD BY PACKAGE
3	04 NOV 2021	BY PACKAGE



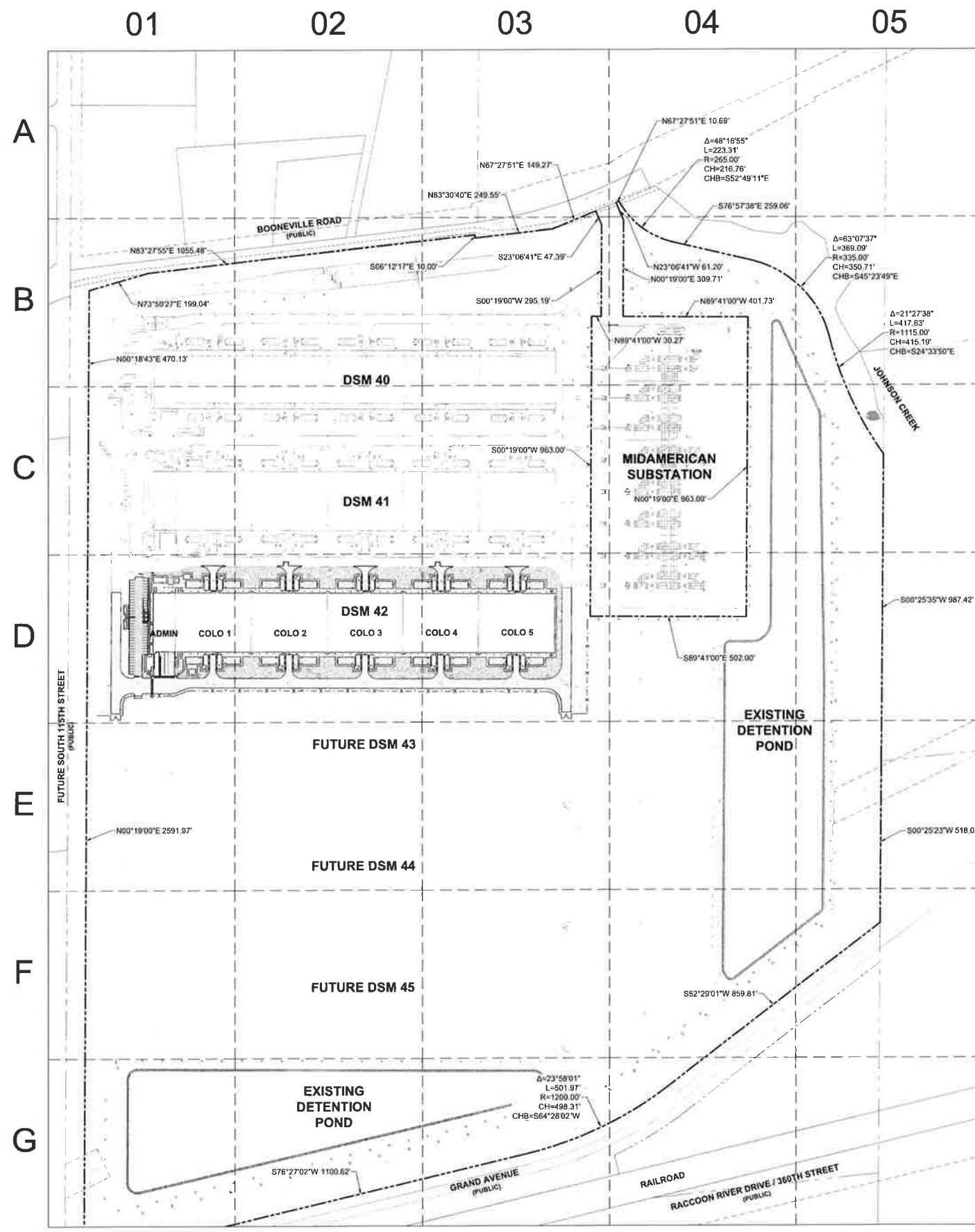
Package
FULL BUILDOUT

CIVIL
EROSION AND
SEDIMENT
CONTROL PLAN
DSM42-C-B1-D03



SEE SHEET C-B1-D02 FOR CONTINUATION

SEE SHEET C-B1-E03 FOR CONTINUATION



GENERAL NOTES

1. ALL WORK SHALL COMPLY WITH THE MOST RECENT ADDITION OF THE PUBLIC RIGHT-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG).
2. ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS. NOTHING INDICATED ON THE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
3. PRIOR TO ANY WORK AT THE SITE, CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER, ENGINEER, ARCHITECT, AND CONSULT WITH OWNERS PERSONNEL AND UTILITY COMPANY REPRESENTATIVES. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
4. ONE WEEK PRIOR TO CONSTRUCTION WITHIN CITY R.O.W. OR ANY CONNECTION TO PUBLIC SEWERS CONTRACTOR SHALL NOTIFY THE CITY'S CONSTRUCTION DIVISION.
5. ALL CONSTRUCTION WITHIN PUBLIC R.O.W. / EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH THE CITY'S STANDARDS.
6. CONTRACTOR TO VERIFY BUILDING DIMENSIONS WITH ARCHITECTURAL PLANS.
7. PLACE 3/4 INCH EXPANSION JOINT BETWEEN ALL P.C.C. PAVEMENT/SIDEWALKS AND BUILDING. PLACE 1/2 INCH EXPANSION JOINT BETWEEN SIDEWALKS AND P.C.C. PAVEMENT.
8. REMOVE ALL DEBRIS SPILLED INTO R.O.W. AT THE END OF EACH WORK DAY.
9. ALL PROPERTY PINS SHALL BE PROTECTED FROM GRADING OR OTHER OPERATIONS. ANY PINS DISTURBED SHALL BE RESET AT THE CONTRACTOR'S EXPENSE.
10. DO NOT STORE CONSTRUCTION MATERIALS AND EQUIPMENT IN THE RIGHT OF WAY.
11. THE CONTRACTOR SHALL NOT DISTURB GRASS AREAS AND TREES OUTSIDE THE CONSTRUCTION LIMITS. THE CONTRACTOR WILL NOT BE PERMITTED TO PARK OR SERVICE VEHICLES AND EQUIPMENT OR USE THESE AREAS FOR STORAGE OF MATERIALS. STORAGE, PARKING AND SERVICE AREAS WILL BE SUBJECT TO THE APPROVAL OF THE OWNER.
12. THE CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY AREAS OF PAVEMENT OR SIDEWALK NOT TO BE REMOVED THAT IS DAMAGED DUE TO OPERATING EQUIPMENT ON THE PAVEMENT OR SIDEWALK.
13. THE CONTRACTOR MAY BE REQUIRED TO PLACE TEMPORARY WARNING DEVICES AND SAFETY FENCE AT CERTAIN LOCATIONS WHERE REPLACEMENT FEATURES ARE NOT INSTALLED THE SAME DAY, AS DIRECTED BY THE ENGINEER OF RECORD OR THE CITY.
14. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK BETWEEN SUPPLIERS AND SUBCONTRACTORS INVOLVED IN THE PROJECT, INCLUDING STAGING OF CONSTRUCTION DETAILS.
15. CONCRETE REMOVAL FOR DRIVEWAY APPROACHES SHALL BE REMOVED TO THE NEAREST TRANSVERSE JOINT. CONTRACTOR SHALL VERIFY REMOVAL LIMITS WITH CITY'S CONSTRUCTION INSPECTOR PRIOR TO ANY CONCRETE REMOVAL.
16. ALL PERMITS AND ADDITIONAL FEES REQUIRED TO COMPLETE THE WORK SHALL BE INCLUDED IN THE CONTRACTOR BID.
17. COORDINATE FINAL KNOX BOX LOCATIONS WITH MICROSOFT SECURITY AND CITY OF WEST DES MOINES FIRE DEPARTMENT.

CITY OF WEST DES MOINES NOTES

1. ALL WATER WORK, PUBLIC OR PRIVATE, SHALL BE DONE IN ACCORDANCE WITH WEST DES MOINES WATER WORKS STANDARD SPECIFICATIONS.
2. CONTRACTOR SHALL NOTIFY WEST DES MOINES WATER WORKS AT LEAST ONE WEEK PRIOR TO BUILDING CONSTRUCTION.
3. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK OF ALL SUBCONTRACTORS INVOLVED IN THE PROJECT.
4. CONTACT BUILDING INSPECTION (515-222-3630) A MINIMUM OF 24 HOURS IN ADVANCE FOR PRIVATE UTILITY INSTALLATION INSPECTIONS.
5. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE WEST DES MOINES WATER WORKS AND THE CITY'S CROSS CONNECTION CONTROL/CONTAINMENT PROVISION.
6. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER INSTALLATION OF APPROVED BACKFLOW PREVENTION ASSEMBLIES FOR CONTAINMENT IN ALL NEW CONSTRUCTION. BACKFLOW PREVENTION SHALL BE INSTALLED PER CITY ORDINANCE 1297.54-1698. THE CONTRACTOR SHALL NOTIFY WEST DES MOINES WATER WORKS, RALPH RENTIERA, ENGINEERING TECHNICIAN (515) 222-3465 A MINIMUM OF 24 HOURS AFTER INSTALLATION AND TESTING OF ALL BACKFLOW DEVICES TO SCHEDULE FINAL INSPECTION.
7. ALL CONNECTIONS TO PUBLIC SEWERS SHALL BE CORE DRILLED TO MANHOLES.
8. ALL CONSTRUCTION WITHIN PUBLIC R.O.W. / EASEMENTS, AND/OR CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH THE WEST DES MOINES STANDARD CONSTRUCTION SPECIFICATIONS FOR SUBDIVISIONS.
9. AT LEAST ONE WEEK PRIOR TO ANY CONSTRUCTION WITHIN PUBLIC R.O.W. / EASEMENTS, AND/OR CONNECTION TO PUBLIC SEWERS AND STREETS, THE CONTRACTOR SHALL CONTACT THE WDM CONSTRUCTION DIVISION (CLINT CARPENTER) (515-222-3480) TO OBTAIN APPLICABLE CITY PERMITS THAT MAY BE NECESSARY.



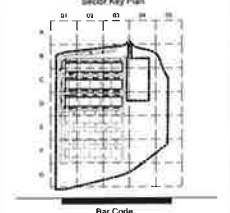
**DSM 42
DATA CENTER**
11100 Booneville Road
West Des Moines, Iowa

Drawn	MSJ/JS
Check	MSJ/JS
Created	MSJ
Date	10/19/2010
Scale	1"=100'
U.S. Project No.	1500

MICROSOFT	
Project Manager	JOHN BARDINE
Chief Estimator	CHRISTOPHER WILSON
Construction Manager	LEON GARCIA
Construction Superintendent	STEVE THOMPSON
Building Subcontractor	BILL GORHAM
Structural Subcontractor	BARBARA KRUMHOLTZ
Electrical Subcontractor	DAVID J. HANSEN
Mechanical Subcontractor	MATT HENNING
Plumbing Subcontractor	DANIEL FURMAN

DESIGN TEAM	
Chief Engineer	RYAN HARRIS / CIVIL DESIGN ADVANTAGE
Structural Engineer	KEVIN JAMES / BMD
Electrical Engineer	BOB CLEMENTS / BMD
Mechanical Engineer	JEFFREY WALSON / BMD
Plumbing Engineer	SAMUEL GARCIA / BMD
ME Engineer	WILL CLAY / BMD
Structural Engineer	JEFFREY WALSON / BMD
Mechanical Engineer	JASON MITCHELL / BMD
Plumbing Engineer	MARK ANDERSON / BMD
Utility Subcontractor	MIRCEA BARAB / INTERCO

No.	Date	Description
0	21 SEP 2010	ISSUE PACKAGE
1	20 OCT 2010	ISSUE REVISIONS
2	18 NOV 2010	ISSUE PACKAGE



Package
FULL BUILDOUT
Sheet Title Number
**CIVIL SITE
IMPROVEMENTS
PLAN OVERALL**

DSM42-C-C1-01



**BURNS
MEDONNELL**

9400 Ward Parkway
Kansas City, MO 64114
www.burnsmcd.com



**DSM 42
DATA CENTER**
11100 Booneville Road
West Des Moines, Iowa

Design	MSJ/JS
Drawn	MSJ/JE
Checked	
Date	11/10/2011
Scale	1"=100'-0"
Sheet Number	1
Total Sheets	1
Project Name	DSM 42

MICROSOFT

Design Manager	JON NYDINE
Lead Engineer	
Lead Designer	
Lead Drafter	
Lead Surveyor	
Lead Estimator	
Lead Scheduler	
Lead Cost Estimator	
Lead Quantity Surveyor	
Lead Environmental Engineer	
Lead Geotechnical Engineer	
Lead Structural Engineer	
Lead Mechanical Engineer	
Lead Electrical Engineer	
Lead Civil Engineer	
Lead Architectural Engineer	
Lead Landscape Architect	
Lead Urban Planner	
Lead Transportation Engineer	
Lead Traffic Engineer	
Lead Water Resources Engineer	
Lead Environmental Scientist	
Lead Environmental Analyst	
Lead Environmental Technician	
Lead Environmental Intern	
Lead Environmental Support	

DESIGN TEAM

Civil Engineering Lead	JEAN MARIEEY / ECA DESIGN ADVANTAGE
Structural Engineering Lead	SHYAM JEMAL / BACD
Architectural Lead	NEAL CLEMENTS / BACD
Mechanical Engineering Lead	JEFFREY WILSON / BACD
Plumbing Engineering Lead	DANIEL GARCIA / BACD
Fire Protection Engineering Lead	WILL CLAY / BACD
MEP Engineering Lead	JEFFREY WILSON / BACD
Electrical Engineering Lead	JEFFREY WILSON / BACD
Telecommunications Engineering Lead	MARK ANDERSON / BACD
Security Systems Engineering Lead	MIRCEA SARBAT / INTCOBA

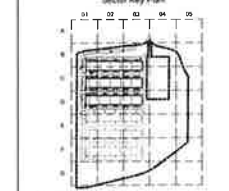
Revisions

No.	Date	Description
1	21 SEP 2011	ISSUE PACKAGE
2	29 OCT 2011	ISSUE PACKAGE
3	10 NOV 2011	ISSUE PACKAGE

Registration



Sector Key Plan



Bar Code

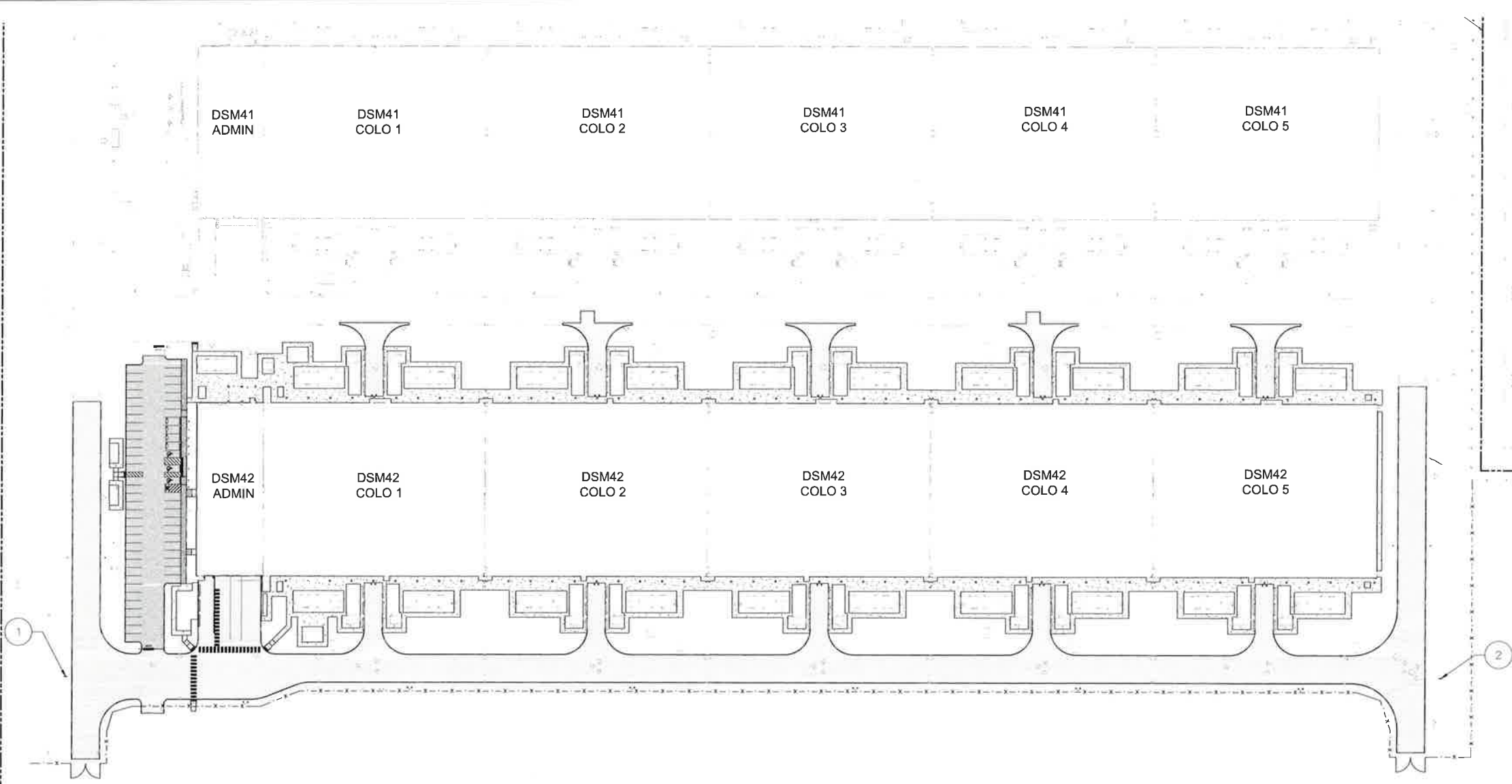
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FULL BUILDOUT

Sheet Title Number

**CIVIL SITE
DIRECTIONAL
SIGNAGE PLAN
& DETAILS**
DSM42-C-C1-05

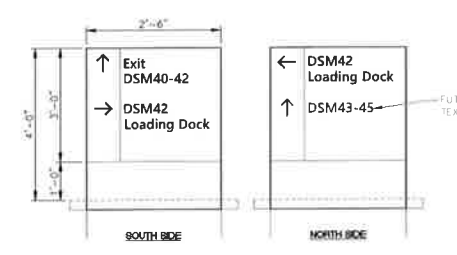
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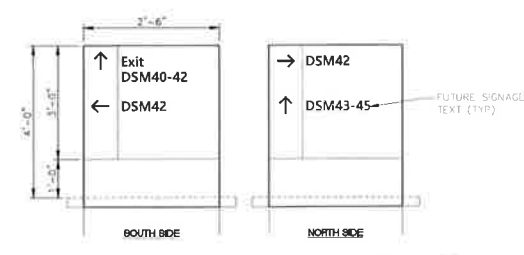
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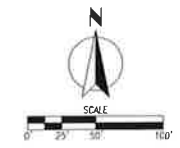
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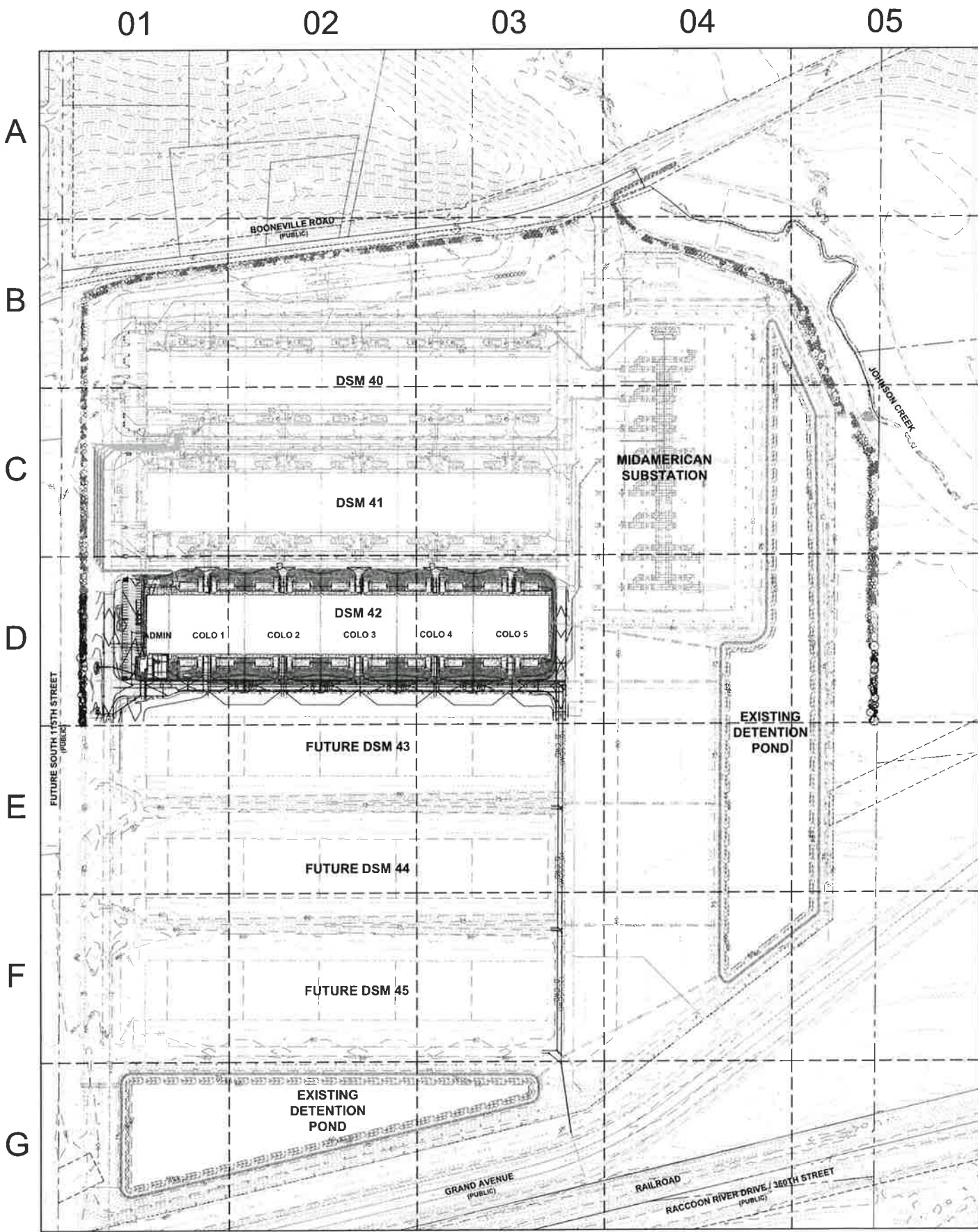


SIMPLIFIED VEHICULAR DIRECTIONAL 1



SIMPLIFIED VEHICULAR DIRECTIONAL 2





LANDSCAPE TOTALS

TOTAL SITE AREA: =925,094 S.F. (21.23 AC)
 OPEN SPACE REQUIRED: =185,019 S.F. (4.24 AC 20%)

DSM 42 BUFFER REQUIREMENTS
 30' BUFFER REQ. PER NEW LANDSCAPE PROVISIONS 9-19-B-C-3-B
 1 OVERSTORY/EVERGREEN TREE/ 35 L.F., 2 UNDERSTORY TREES/ 35 L.F., 6 SHRUBS/ 35 L.F.
 415 L.F. of 30' BUFFER
 12 OVERSTORY TREES REQUIRED
 24 UNDERSTORY TREES REQUIRED
 72 SHRUBS REQUIRED

60' BUFFER REQ. PER NEW LANDSCAPE PROVISIONS 9-19-B-C-3-A
 1 OVERSTORY/EVERGREEN TREE/ 35 L.F., 3 SHRUBS/ 35 L.F.
 258 L.F. of 60' BUFFER
 8 OVERSTORY TREES REQUIRED
 22 SHRUBS REQUIRED

TOTAL BUFFER PROVIDED -
 56 OVERSTORY/EVERGREEN TREES PROVIDED - 36 SURPLUS
 28 UNDERSTORY TREES PROVIDED - 5 SURPLUS
 241 SHRUBS PROVIDED - 139 SURPLUS

OPEN SPACE REQUIREMENTS
 PER NEW LANDSCAPE PROVISIONS 9-18-B-1:
 2 TREE & 3 SHRUBS/ 3000 S.F. WITH 50% AS OVERSTORY/EVERGREEN
 123 TREES
 185 SHRUBS REQUIRED

THE CALCULATIONS ABOVE REPRESENT A COMBINED TOTAL OF OPEN SPACE AND BUFFER PLANTING CONTAINED WITHIN THE 30' AND 60' BUFFERS ON THIS SITE.

PARKING LOT LANDSCAPE REQUIREMENTS
 PER NEW LANDSCAPE PROVISIONS 9-19-B-1:
 MINIMUM OF ONE LANDSCAPED 8'x17' ISLAND PER 18 STALLS OF SINGLE ROW PARKING
 ONE TREE PER 8'x17' ISLAND
 33 STALLS (1 ISLAND) AND 26 STALLS (1 ISLAND) OF SINGLE ROW PARKING AND TERMINAL ISLANDS (4 ISLANDS)
 6 TREES REQUIRED

TOTAL TREES PROVIDED -
 6 OVERSTORY/EVERGREEN TREES PROVIDED

REQUIRED TREES ARE PROVIDED IN LANDSCAPE BUFFER AND ARE LABELED ON SHEET L-A1-01

TOTAL COMBINED LANDSCAPE CALCULATIONS

TOTAL PLANT MATERIAL REQUIRED
 TREES: 167
 SHRUBS: 301

TOTAL PLANT MATERIAL PROVIDED*
 OVERSTORY/EVERGREEN TREES: 62
 UNDERSTORY TREES: 29
 SHRUBS: 301

*DEFICIENCIES WILL BE ACCOMMODATED IN THE DSM 43-45 LANDSCAPE.

LANDSCAPE NOTES

- LOCATE ALL UTILITIES BEFORE ANY PLANTING BEGINS.
- ALL LANDSCAPE CONSTRUCTION SHALL CONFORM TO THE MOST RECENT EDITION OF THE WEST DES MOINES STANDARDS SPECIFICATIONS FOR SUBDIVISIONS.
- BACKFILL TO TOP OF CURB (MINUS 1 1/2" FOR 500, IF REQ.)
- WEED PREVENTER (PRE-EMERGENT) SHALL BE SPREAD OVER SOIL AFTER PLANTING AND BEFORE MULCHING IN ALL PLANTING BEDS PER MANUFACTURER'S RECOMMENDATIONS.
- PLANT QUANTITIES ARE SHOWN FOR INFORMATION ONLY. THE DRAWING SHALL GOVERN IF ANY CONFLICTS ARISE.
- ALL DEBRIS SPILLED IN ANY PUBLIC R.O.W. SHALL BE PICKED UP BY THE CONTRACTOR AT THE END OF EACH WORK DAY.
- NO OVERSTORY TREES SHALL BE PLANTED IN ANY QTY OF WEST DES MOINES PUBLIC UTILITY EASEMENT.
- ROCK MULCH SHALL BE RIVER ROCK, MINIMUM DEPTH OF 3" OVER WEEDSCAPE LANDSCAPE FABRIC OR APPROVED EQUAL. EDGING BETWEEN ROCK MULCH AND GRASS SHALL BE 4" STEEL LANDSCAPE EDGING.
- MAINTAIN 10' CLEARANCE OF ANY PLANTINGS ON EACH SIDE OF THE PERIMETER FENCE.
- SEED ALL DISTURBED AREAS (LESS PLANTING BEDS) WITH SEED TYPE #1 PERMANENT LAWN MIXTURE. REFER TO THE SPECIFICATIONS.

PLANT SCHEDULE 115TH ST BUFFER

EVERGREEN TREES	QTY	COMMON NAME	BOTANICAL NAME	CONDITION AND SIZE	CAL	SIZE
PB	21	Black Hills Spruce	Picea glauca densata	B&B, 6" HEIGHT, 50-100" MAT. HEIGHT		15" DIA
PL	3	Lambert Pine	Pinus resinosa	B&B, 6" HEIGHT		12" DIA
PS	6	White Pine	Pinus strobus	B&B, 6" HEIGHT, 50-60" MAT. HEIGHT		12" DIA

ORNAMENTAL TREES

QTY	COMMON NAME	BOTANICAL NAME	CONDITION AND SIZE	CAL	SIZE	
AS	7	Servewberry	Amelanchier alnifolia	B&B, 15-35" MAT. HEIGHT	1.5"	12" DIA
CC	12	Eastern Redbud	Cercis canadensis	B&B, 20-30" MAT. HEIGHT	1.5"	12" DIA
MS	8	Spring Snow Crabapple	Malus x 'Spring Snow'	B&B	1.5" CAL, 8-10" HEIGHT	12" DIA

OVERSTORY TREES

QTY	COMMON NAME	BOTANICAL NAME	CONDITION AND SIZE	CAL	SIZE	
AE	2	Endowment Maple	Acer saccharum 'Endowment'	B&B, 50" MAT. HEIGHT	3"	20" DIA
AM	8	Crescote Maple	Acer saccharum 'Morton'	B&B	2" CAL, 12-14" HEIGHT	20" DIA
AW	3	Black Maple	Acer nigrum	B&B, 60-75" MAT. HEIGHT	2"	25" DIA
OR	1	Red Oak	Quercus rubra	B&B, 80-90" MAT. HEIGHT	2"	30" DIA

SHRUBS

QTY	COMMON NAME	BOTANICAL NAME	CONDITION AND SIZE	CAL	SIZE
CG	28	Gray Dogwood	Cornus racemosa	5 GAL	
CH	38	Heavy Holly Dogwood	Cornus alba 'Bohrho' TM	5 GAL	
CH2	10	Heavy Holly Dogwood	Cornus alba 'Bohrho' TM	5 GAL	
PJ	14	Jacobsen's Parrotilla	Prunella 'Jacobsen'	5 GAL	
SE	38	Dorothy	Sambucus canadensis	5 GAL	
VB	51	Blackhaw Viburnum	Viburnum prunifolium	5 GAL	

PLANT SCHEDULE EAST BUFFER

EVERGREEN TREES	QTY	COMMON NAME	BOTANICAL NAME	CONDITION AND SIZE	CAL	SIZE
PB	2	Black Hills Spruce	Picea glauca densata	B&B, 6" HEIGHT, 50-100" MAT. HEIGHT		15" DIA
PL	2	Lambert Pine	Pinus resinosa	B&B, 6" HEIGHT		12" DIA
PS	5	White Pine	Pinus strobus	B&B, 6" HEIGHT, 50-60" MAT. HEIGHT		12" DIA

ORNAMENTAL TREES

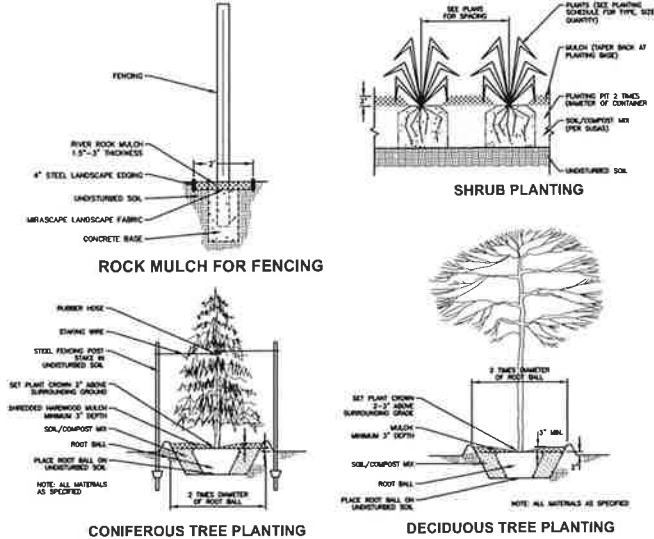
QTY	COMMON NAME	BOTANICAL NAME	CONDITION AND SIZE	CAL	SIZE	
MS	2	Spring Snow Crabapple	Malus x 'Spring Snow'	B&B	1.5" CAL, 8-10" HEIGHT	12" DIA

OVERSTORY TREES

QTY	COMMON NAME	BOTANICAL NAME	CONDITION AND SIZE	CAL	SIZE	
AE	4	Endowment Maple	Acer saccharum 'Endowment'	B&B, 50" MAT. HEIGHT	3"	20" DIA
AM	1	Crescote Maple	Acer saccharum 'Morton'	B&B	2" CAL, 12-14" HEIGHT	20" DIA
AW	4	Black Maple	Acer nigrum	B&B, 60-75" MAT. HEIGHT	2"	25" DIA
OR	2	Red Oak	Quercus rubra	B&B, 80-90" MAT. HEIGHT	2"	30" DIA

SHRUBS

QTY	COMMON NAME	BOTANICAL NAME	CONDITION AND SIZE	CAL	SIZE
CG	14	Gray Dogwood	Cornus racemosa	5 GAL	
SE	15	Dorothy	Sambucus canadensis	5 GAL	
VB	15	Blackhaw Viburnum	Viburnum prunifolium	5 GAL	



EA
 Civil Design Advantage
 4121 NW Urbandale Drive
 Urbandale, IA 50322

BURNS McDONNELL
 8400 Ward Parkway
 Kansas City, MO 64114
 www.burnsmcd.com

NAVIX
 SAFE DESIGN

Microsoft
 DSM 42
 DATA CENTER
 11100 Booneville Road
 West Des Moines, Iowa

Sheet: L-A1-01
 Date: 11/14/2011
 Title: DSM 42 DATA CENTER
 Project: 11100 Booneville Road
 Client: Microsoft
 Designer: DANIEL PLYMAN
 Checker: DANIEL PLYMAN
 Engineer: DANIEL PLYMAN

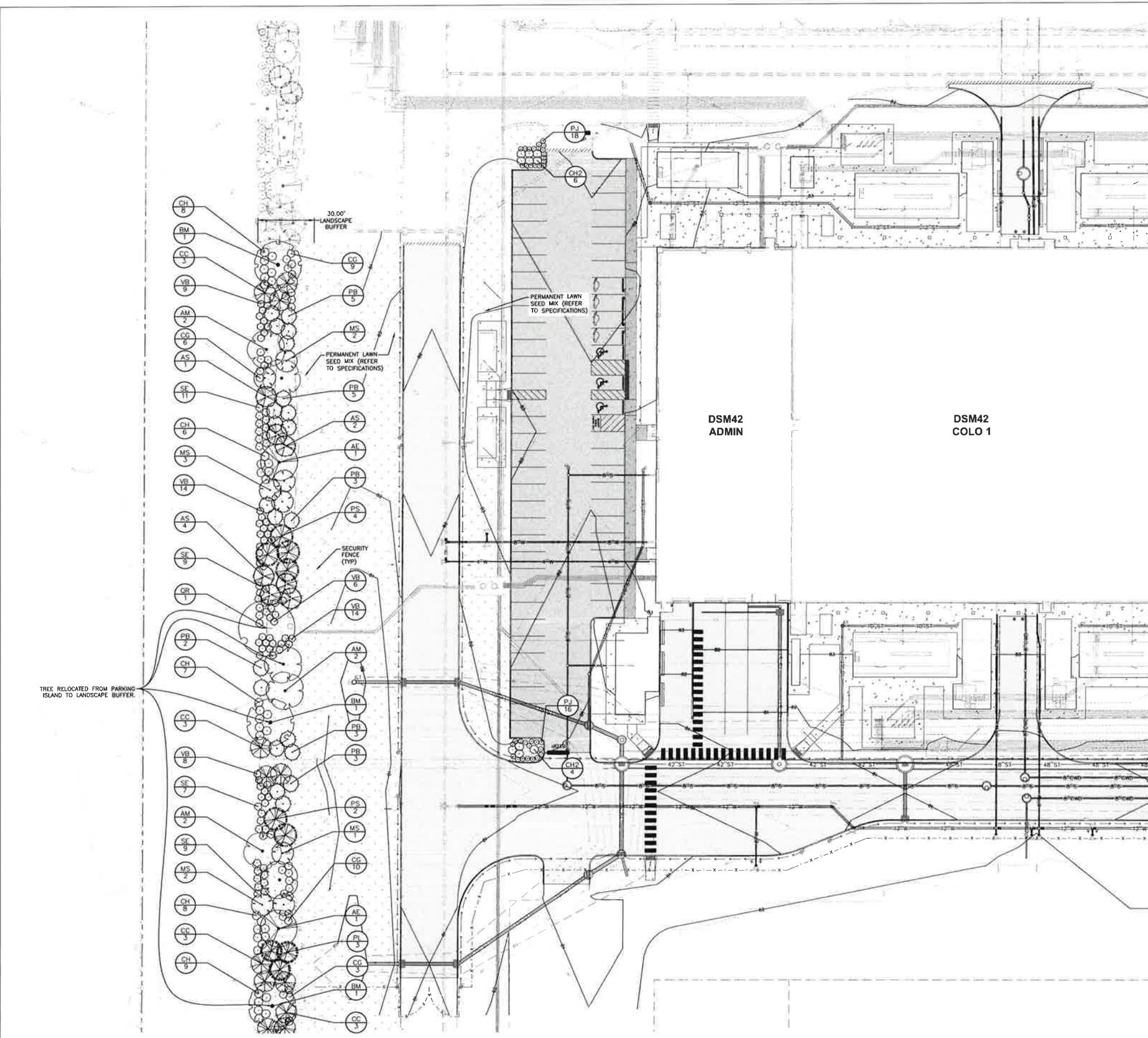
DESIGN TEAM
 Project Manager: DANIEL PLYMAN
 Designer: DANIEL PLYMAN
 Checker: DANIEL PLYMAN
 Engineer: DANIEL PLYMAN

REVISIONS

No.	Date	Description
1	11/14/2011	ISSUE FOR PERMIT
2	11/14/2011	ISSUE FOR PERMIT
3	11/14/2011	ISSUE FOR PERMIT
4	11/14/2011	ISSUE FOR PERMIT

Professional Engineer Seal
 DANIEL PLYMAN
 IOWA PROFESSIONAL ENGINEER
 No. 111111

Package
 FULL BUILDOUT
 Sheet Title/Number
 LANDSCAPE PLAN OVERALL
 DSM42-L-A1-01



LANDSCAPE KEY

- PH BLACK HILLS SPRUCE
 - WP WHITE PINE
 - SB SERVICEBERRY
 - ER EASTERN REDBUD
 - SC SPRING SNOW CRABAPPLE
 - EM ENDOWMENT MAPLE
 - CM CRESCENDO MAPLE
 - BM BLACK MAPLE
 - RO RED OAK
 - CH IVORY HALO DOGWOOD
 - SE ELDERBERRY
 - VB BLACKHAW VIBURNUM
- FULL PLANT MATERIAL SCHEDULE ON SHEET L-A1-01

LANDSCAPING LEGEND

- PERMANENT LAWN SEED MIX (REFER TO SPECIFICATIONS)
- COBBLE MULCH (SEE SPECS FOR MORE INFORMATION)



**DSM 42
DATA CENTER**
11100 Booneville Road
West Des Moines, Iowa

Design	10/01/02
Drawn	10/01/02
Checked	10/01/02
File	10/01/02
Sheet Number	10/01/02
Project Name	10/01/02

MICROSOFT

Design Manager	JOHN MONTGOMERY
Lead Designer	JOHN MONTGOMERY
Lead Engineer	JOHN MONTGOMERY
Lead Architect	JOHN MONTGOMERY
Lead Mechanical	JOHN MONTGOMERY
Lead Electrical	JOHN MONTGOMERY
Lead Plumbing	JOHN MONTGOMERY
Lead Fire Protection	JOHN MONTGOMERY
Lead Security	JOHN MONTGOMERY
Lead IT	JOHN MONTGOMERY

DESIGN TEAM

Chief Engineer	JOHN MONTGOMERY
Senior Engineer	JOHN MONTGOMERY
Engineer	JOHN MONTGOMERY
Assistant Engineer	JOHN MONTGOMERY
Architectural Lead	JOHN MONTGOMERY
Mechanical Engineer	JOHN MONTGOMERY
Electrical Engineer	JOHN MONTGOMERY
Plumbing Engineer	JOHN MONTGOMERY
Fire Protection Engineer	JOHN MONTGOMERY
Security Engineer	JOHN MONTGOMERY
IT Engineer	JOHN MONTGOMERY

Revisions

No.	Date	Description
1	10/01/02	ISSUE FOR PERMITS
2	10/01/02	REVISED PERMITS
3	10/01/02	REVISED PERMITS
4	10/01/02	REVISED PERMITS
5	10/01/02	REVISED PERMITS

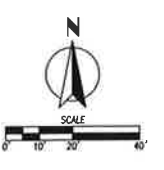


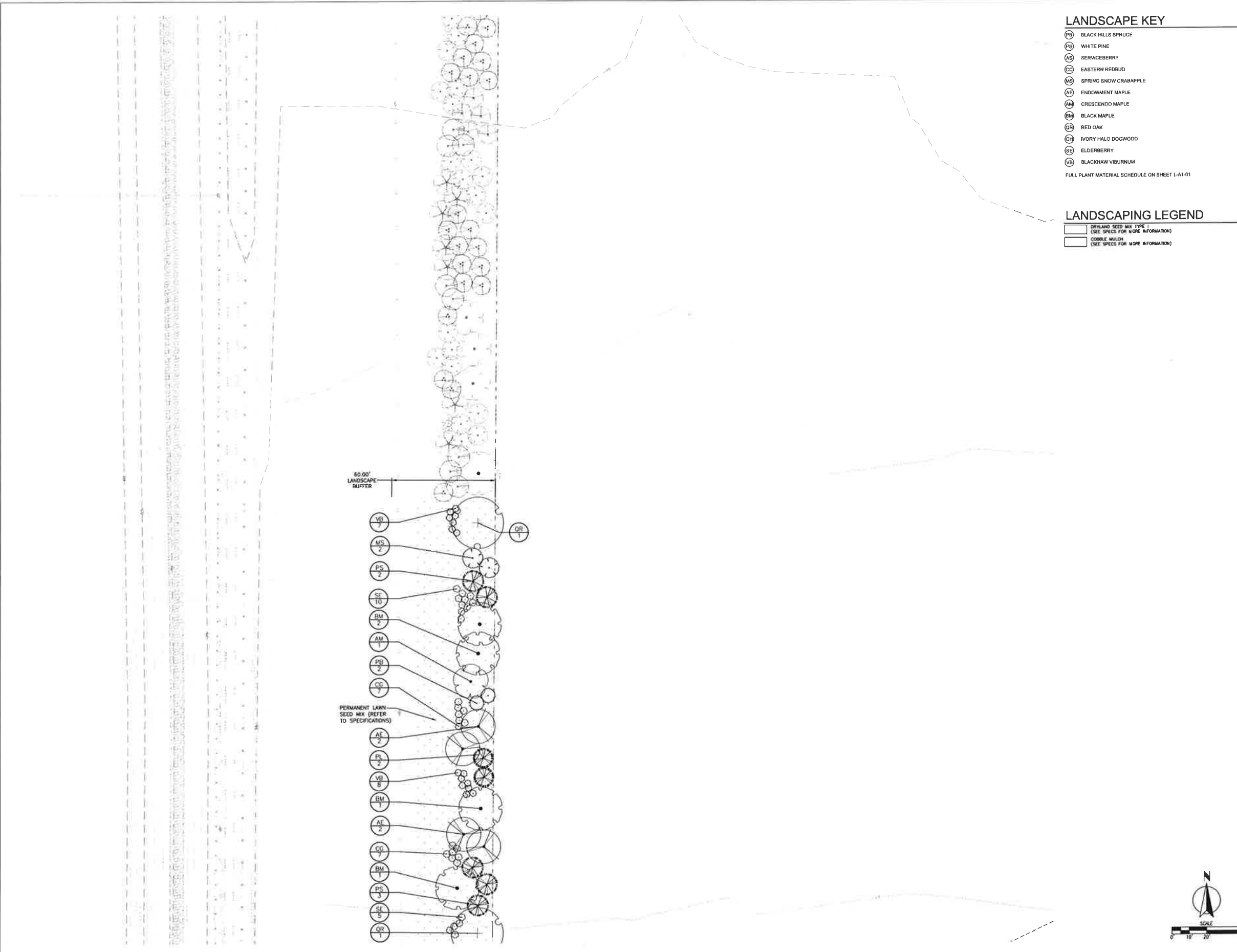
Bar Code

Package
FULL BUILDOUT

Sheet Title/Number
LANDSCAPE PLAN

DSM42-L-A1-D01





LANDSCAPE KEY

- Ⓟ BLACK HILLS SPRUCE
- Ⓛ WHITE PINE
- Ⓟ SERVICEBERRY
- Ⓞ EASTERN REDBUD
- Ⓜ SPRING SNOW CRABAPPLE
- Ⓜ ENDOWMENT MAPLE
- Ⓜ CRESCENDO MAPLE
- Ⓜ BLACK MAPLE
- Ⓜ RED OAK
- Ⓞ IVORY HALO DOGWOOD
- Ⓞ ELDERBERRY
- Ⓞ BLACKHAW VIBURNUM

FULL PLANT MATERIAL SCHEDULE ON SHEET L-A1-01

LANDSCAPING LEGEND

- DRYLAND SEED MIX TYPE 1 (SEE SPECS FOR MORE INFORMATION)
- COBBLE MULCH (SEE SPECS FOR MORE INFORMATION)



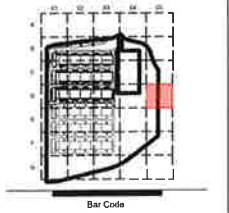
Microsoft
DSM 42
DATA CENTER
11100 Booneville Road
West Des Moines, Iowa

Project	DSM 42
Client	MSA / DS
Contract	DSM
Sheet	DSM 42
Scale	1" = 20'-0"
Date	11/03/2015
Author	D. PUTMAN
Check	D. PUTMAN
Approved	

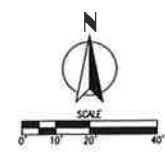
MICROSOFT	
Project Manager	JON AVOLIO
Site Manager	
Site Engineer	
Site Technician	
Site Surveyor	
Site Inspector	
Site Safety	
Site Security	
Site Maintenance	
Site Operations	
Site Administration	
Site Finance	
Site HR	
Site Legal	
Site Compliance	

DESIGN TEAM	
Principal Designer	DANIEL PUTMAN
Senior Designer	
Designer	
Lead Engineer	
Senior Engineer	
Engineer	
Lead Designer	
Senior Designer	
Designer	
Lead Engineer	
Senior Engineer	
Engineer	
Lead Designer	
Senior Designer	
Designer	

Revisions		
No.	Date	Description
1	11/03/2015	DSM 42 PACKAGE
2	11/03/2015	DSM 42 PACKAGE
3	11/03/2015	DSM 42 PACKAGE
4	11/03/2015	DSM 42 PACKAGE



Package
FULL BUILDOUT
Sheet Title/Number
LANDSCAPE PLAN



DSM42-L-A1-D05

Prepared by: Brian Portz, City of West Des Moines Development Services Dept., PO Box 65320, West Des Moines, Iowa
50265-0320 515-222-3620

When Recorded, Return to: City Clerk, City of West Des Moines, PO Box 65320, West Des Moines, IA 50265-0320

RESOLUTION

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF WEST DES MOINES, APPROVING A MAJOR MODIFICATION TO SITE PLAN TO ALLOW CONSTRUCTION OF A DATA CENTER BUILDING

WHEREAS, pursuant to the provisions of Title 9, Zoning, of the West Des Moines Municipal Code, the applicant and property owner, Microsoft Corporation, requests approval of Microsoft DSM 42 Major Modification to Site Plan for that property located at 11100 Booneville Road and legally described in attached Exhibit "B" for the purpose of constructing a 245,000 square foot data center building with associated parking lot; and

WHEREAS, studies and investigations were made, and staff reports, and recommendations were submitted which is made a part of this record and herein incorporated by reference; and

WHEREAS, the Major Modification to Site Plan complies with findings stated in the applicable provisions of Title 9, Chapter 1, Subsection 8, the Comprehensive Plan and City Code; and

WHEREAS, on December 27, 2023, the Planning and Zoning Commission recommended to the City Council, by a 6-0 vote, for approval of the Major Modification to Site Plan; and

WHEREAS, on this day the City Council held a duly noticed meeting to consider the application for the Major Modification to Site Plan.

NOW, THEREFORE, The City Council does approve the Microsoft DSM 42 Major Modification to Site Plan (MaM-006237-2023), subject to compliance with all of the conditions of approval, including any conditions added at the meeting, attached hereto as Exhibit "A". Violation of any such conditions shall be grounds for revocation of the permit, as well as any other remedy which is available to the City.

PASSED AND ADOPTED on January 2, 2024.

Greg Hudson, Presiding Officer

ATTEST:

Ryan Jacobson, City Clerk

I HEREBY CERTIFY that the foregoing resolution was duly adopted by the City Council of the City of West Des Moines, Iowa, at a regular meeting held on January 2, 2024, by the following vote.

Exhibit A: Conditions of Approval

1. The City Council agreeing to not require landscape islands in the parking lot as required by City Code due to security concerns with trees in the parking lot. Required parking lot trees shall be added to the buffer plantings.
2. The City Council allowing shrubs in lieu of trees to be planted within parking lot islands due to security concerns with trees in the parking lot. Required parking lot trees shall be added to the buffer plantings.
3. The City Council allowing gravel to be implemented around industrial buildings on the site to allow access to utility structures for maintenance purposes.

Exhibit B: Legal Description

LOT 1, GINGER WEST PLAT 1, AN OFFICIAL PLAT IN THE
CITY OF WEST DES MOINES, DALLAS COUNTY, IOWA.

**CITY OF WEST DES MOINES
STAFF REPORT COMMUNICATION**

Meeting Date: January 2, 2024

ITEM: Microsoft DSM 43, 11100 Booneville Road – Approve Major Modification to Site Plan to allow construction of a data center building – Microsoft Corporation – MaM-006238-2023

Resolution: Approval of Major Modification to Site Plan

Background: Ryan Hardisty with Civil Design Advantage, on behalf of the applicant and property owner, Microsoft Corporation, request approval of the Major Modification to Site Plan for the approximately 153-acre property located at 11100 Booneville Road. The applicant proposes to construct an approximately 245,000 square foot data center building with associated parking lot.

Staff Review & Comment:

- **Financial Impact:** As a part of a development agreement approved by City Council on April 19, 2021, for this site. The City will undertake the following proposed public use improvements:
 - Reconstruction of Booneville Road from S. 100th Street to S. 115th Street; and
 - Construction of S. Grand Prairie Parkway from Mills Civic Parkway to Raccoon River Drive;
 - Extension of Grand Avenue from S. 88th Street to S. 115th; and
 - Extension of approximately one mile of Grand Avenue Trail from S. Grand Prairie Pkwy to the west boundary of the Urban Renewal Area.

The proposed street improvements will include the installation of the associated utilities, streetlights and sidewalks.

- **Key Development Aspects:**
 1. **Parking Lot Landscaping:** The applicant is proposing to only plant shrubs within the landscape islands in the parking lot instead of the required trees and reduce the number of landscape islands due to security concerns. Also, the applicant is proposing to install gravel in areas around the parking lot and buildings where access to utility structures for maintenance purposes is necessary instead of planting grass. Grass will be planted between the main north/south access road and the parking lot. This was discussed with the Development & Planning Subcommittee as part of the requested approval of DSM 41 and was a compromise between the operational concerns and the code required landscaping (see Development and Planning Subcommittee bullet below). The City Council supported this approach as part of the site plan approval of DSM 41, and the same is being requested of the approval for DSM 42 which is also being considered at the December 27, 2023 Plan and Zoning and January 2, 2024 City Council meetings. The applicant has placed the required parking lot trees in the buffer areas surrounding the site. The areas of gravel in lieu of vegetation around the building's utility structures are screened from public view by the landscape buffer around the site. Staff believes these changes proposed to the landscaping on the site plan meet the intent of the code and are a reasonable accommodation for the specific operational requirements of this project. Recommended conditions of approval that these alternative methods be approved by the City Council have been added.
- **Traffic Impact Study Findings:** No traffic study was required of this Major Modification to Site Plan since a traffic study was already completed for this entire site, including the proposed building. Any modifications to surrounding streets required of the traffic study have been completed.

- *Development & Planning Subcommittee*: On December 19, 2022, the Development & Planning City Council Subcommittee discussed the use of gravel in and around the proposed parking lot and the omission of trees within the landscape islands in the parking lot for this site. The Subcommittee members were supportive of allowing shrubs to replace trees in the parking area in light of security concerns as presented by Microsoft's representative, waiving required landscape islands in the parking areas, and allowing partial use of gravel or paving near utilities for maintenance purposes while requiring the incorporation of vegetation to comply with code for the bulk of the landscaped areas adjacent to parking lots and any area visible from the perimeter of the site.
- *Vesting of Entitlement*: Per City Code, entitlement (approval to construct or implement) shall remain in effect so long as substantial site work has progressed beyond grading and completion of structural foundations and twenty-five percent (25%) of the total building area has occurred above grade within twenty-four (24) months of the effective date of the approval, unless a greater time period is authorized at time of the original entitlement, or by approval of an extension of the original entitlement. It is the responsibility of the developer to be aware of this deadline and request an extension of the approval prior to the expiration date.

Outstanding Issues: There are no outstanding issues.

Planning and Zoning Commission Action:

Date: December 27, 2023

Vote: 6-0 for approval, with Commissioner Conlin absent

Recommendation: Approval of Major Modification to Site Plan

Recommendation: Approve the Major Modification to Site Plan request, subject to the applicant meeting all City Code requirements, and the following conditions of approval:

1. The City Council agreeing to not require landscape islands in the parking lot as required by City Code due to security concerns with trees in the parking lot. Required parking lot trees shall be added to the buffer plantings.
2. The City Council allowing shrubs in lieu of trees to be planted within parking lot islands due to security concerns with trees in the parking lot. Required parking lot trees shall be added to the buffer plantings.
3. The City Council allowing gravel to be implemented around industrial buildings on the site to allow access to utility structures for maintenance purposes.

Lead Staff Member: Brian Portz

Approval Meeting Dates:

Planning and Zoning Commission	December 27, 2023
City Council	January 2, 2024

Staff Report Reviews:

Planning & Zoning Commission	<input checked="" type="checkbox"/> Development Coordinator (or) <input checked="" type="checkbox"/> Director	<input checked="" type="checkbox"/> Legal Department
City Council	<input checked="" type="checkbox"/> Director <input type="checkbox"/> Appropriations/Finance	<input type="checkbox"/> Legal Department <input checked="" type="checkbox"/> Agenda Acceptance <i>BP</i>

Publications (if applicable)

Published In:	Des Moines Register Community Section
Date(s) Published	n/a
Date(s) of Mailed Notices	n/a

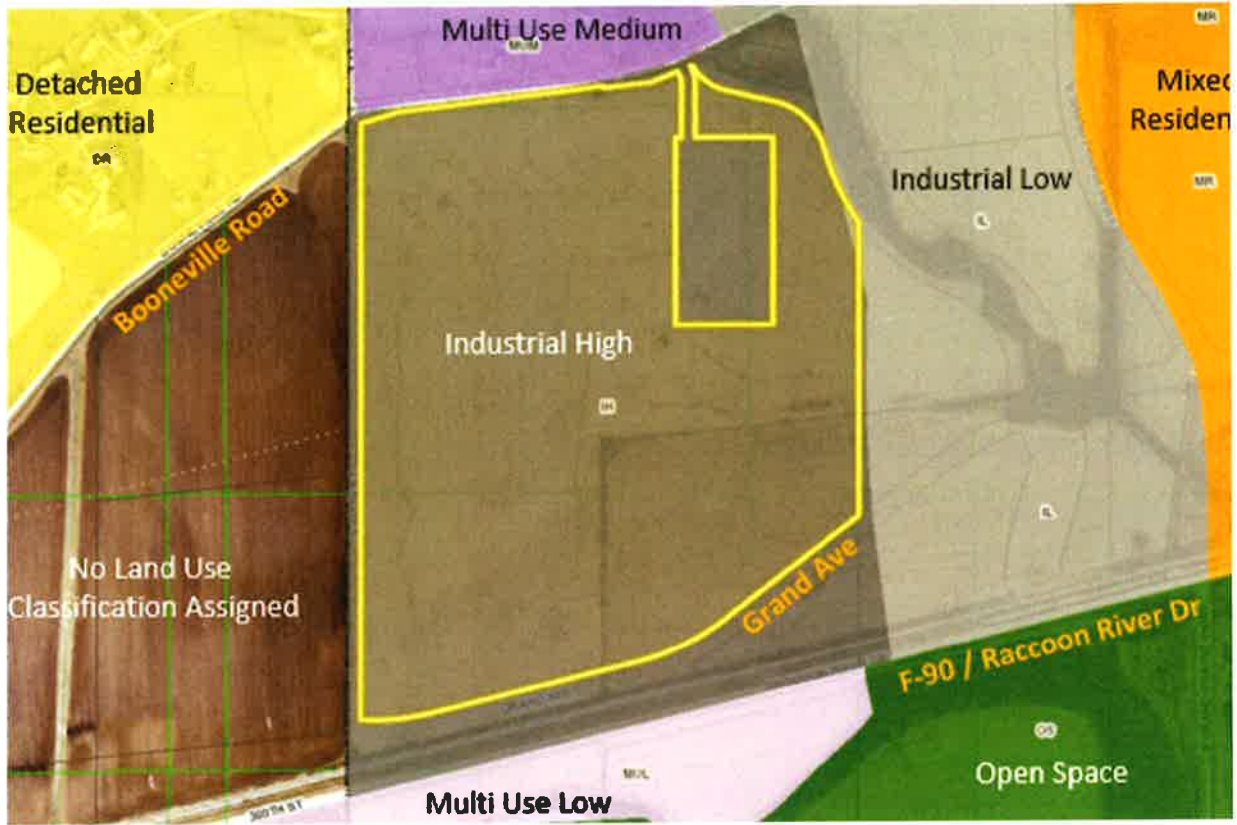
Council Subcommittee Review (if applicable)

Subcommittee	Development & Planning
Date Reviewed	December 19, 2022 & November 20, 2023
Recommendation	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Split

Location Map



Vicinity Map – Land Uses



A RESOLUTION OF THE PLANNING AND ZONING COMMISSION

NO. PZC-23-066

WHEREAS, pursuant to the provisions of Title 9, Zoning of the West Des Moines Municipal Code, the applicant and property owner, Microsoft Corporation, request approval of the Major Modification to Site Plan for the approximately 153-acre property located at 11100 Booneville Road as depicted on the location map included in the staff report. The applicant requests approval to construct a 245,000 square foot data center building, and associated site improvements; and

WHEREAS, the Major Modification to Site Plan request complies with the findings stated in the applicable provisions of Title 9, the Comprehensive Plan and City Code.

NOW THEREFORE, the Planning and Zoning Commission of the City of West Des Moines recommends the City Council approve the Microsoft DSM 43 Major Modification to Site Plan (MaM-006238-2023), subject to compliance with all the conditions of approval as stated in the staff report, including conditions added at the meeting, and attached hereto as Exhibit "A", if applicable.

PASSED AND ADOPTED on December 27, 2023.



Tina Shaw, Vice Chair
Planning and Zoning Commission

I HEREBY CERTIFY that the foregoing resolution was duly adopted by the Planning and Zoning Commission of the City of West Des Moines, Iowa, at a regular meeting on December 27, 2023, by the following vote:

AYES: Costa, Crowley, Davis, Hatfield, McCoy, Shaw

NAYS:

ABSTENTIONS:

ABSENT: Conlin

ATTEST:

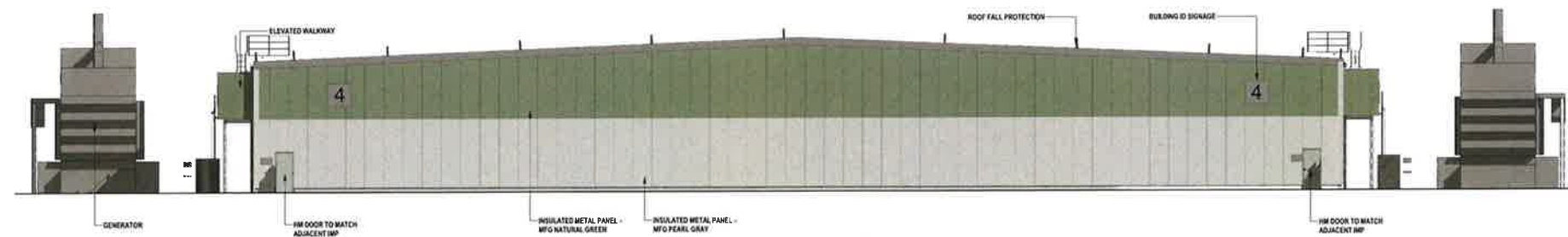


Recording Secretary

PLANS INCLUDED ARE FOR ILLUSTRATIVE PURPOSES ONLY – APPROVED PLANS ON FILE WITH THE CITY



1 ARCHITECTURAL EXTERIOR ELEVATION - EAST
1" = 10'-0"



2 ARCHITECTURAL EXTERIOR ELEVATION - WEST
1" = 10'-0"



**DSM43
DATA CENTER**

11100 BOONEVILLE ROAD
WEST DES MOINES, IA

Design	SR
Drawn	SR/SPC
Checked	CW/SL
Date	
MSD Project No.	P-18-100
W.C. Project No.	P-2000

MICROSOFT	
Project Manager	JON BIVOLSE
Project Architect	SCOTT WOOD
Architectural & Structural Engineer	DAVID S. GARDNER
Mechanical & Electrical Engineer	NEAL CLEMENTS
Building Information Systems (BIM) Manager	BILL CAMPBELL
Structural Engineer	ANDREW ANDRUSIAK
Electrical Engineer	SCOTT WOOD
Telecommunications Network Engineer	MATT BRIDGES
Security System Manager	DANIEL PUTNAM

DESIGN TEAM	
Project Manager	SCOTT WOOD
Structural Engineer	ANDREW ANDRUSIAK
Mechanical Engineer	NEAL CLEMENTS
Electrical Engineer	SCOTT WOOD
Telecommunications Network Engineer	MATT BRIDGES
Security System Manager	DANIEL PUTNAM

REVISIONS		
No.	Date	Description

Registration

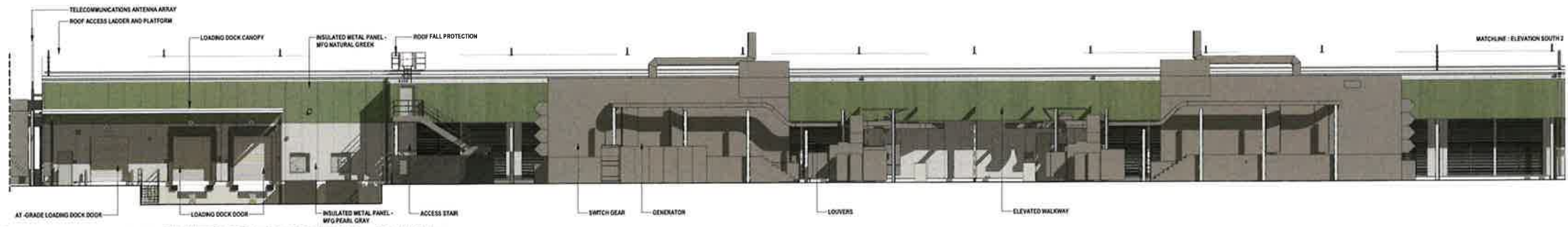
11-10-2023
Sector Key Plan

Bar Code
CONFIDENTIAL - DO NOT DISCLOSE. This document is exempt from public disclosure under the Public Disclosure Act and Uniform Trade Secrets Act.

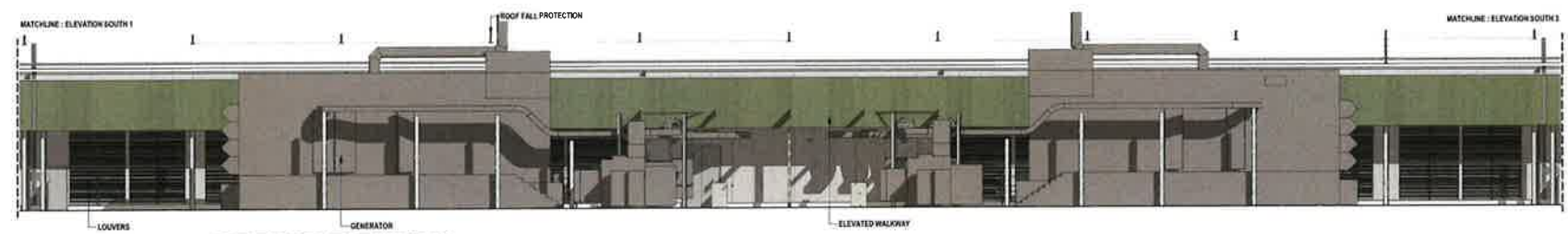
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FULL BUILDOUT
Sheet Title/Number

**ARCHITECTURAL
RENDERED
EXTERIOR
ELEVATIONS**

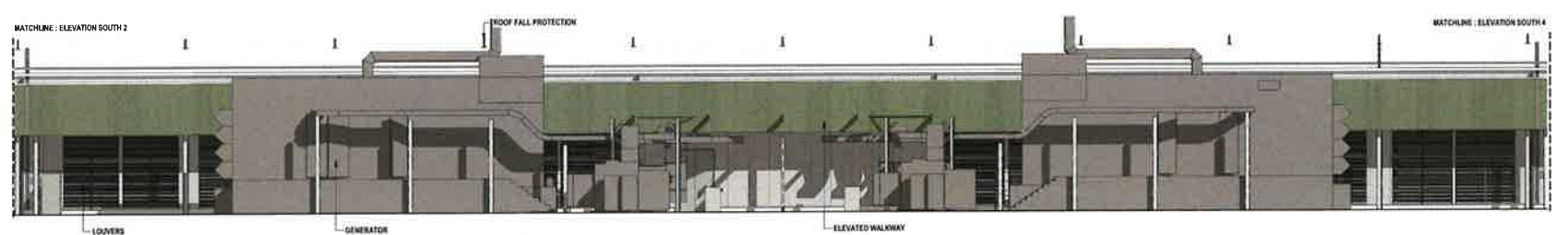
DSM43-1



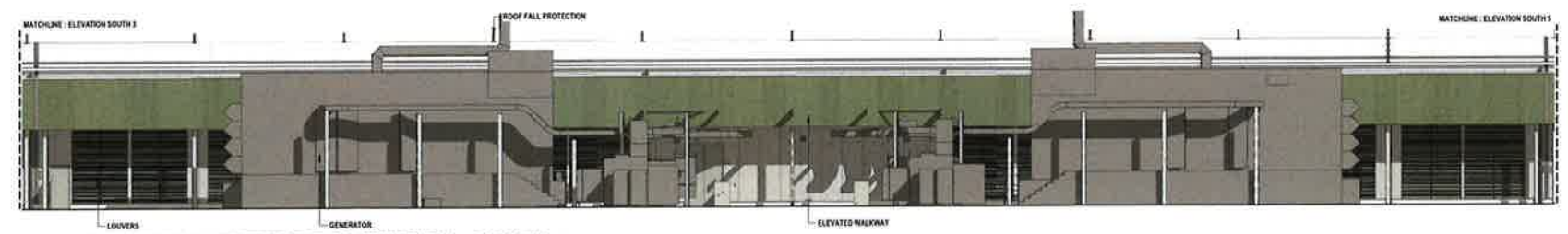
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1" = 10'-0"



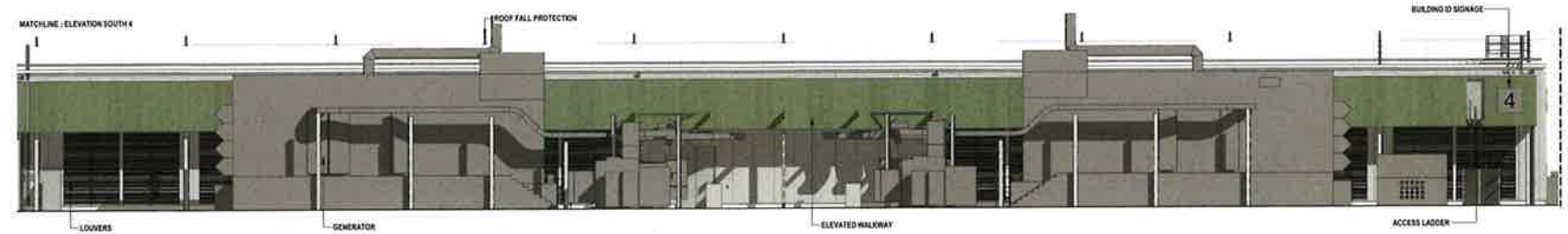
2 ARCHITECTURAL EXTERIOR ELEVATION - SOUTH 2
1" = 10'-0"



3 ARCHITECTURAL EXTERIOR ELEVATION - SOUTH 3
1" = 10'-0"



4 ARCHITECTURAL EXTERIOR ELEVATION - SOUTH 4
1" = 10'-0"



5 ARCHITECTURAL EXTERIOR ELEVATION - SOUTH 5
1" = 10'-0"



3400 Ward Parkway
Kansas City, MO 64114
www.burnsmcd.com



DSM43
DATA CENTER
11100 BOONEVILLE ROAD
WEST DES MOINES, IA

Design	EA
Drawn	MP/ML
Checked	CM/ML
Date	
MSD Project No.	10-10-00
MSD Project No.	00000

MICROSOFT	
Client Name	JON AYONDE
Project Manager	SCHEIDT/ML
Architectural Lead	NEAL CLEMENTS / B.A.M.D.
Mechanical Engineering Lead	JEFFREY WILSON / B.A.M.D.
Electrical Engineering Lead	JEFFREY WILSON / B.A.M.D.
Structural Engineering Lead	BRADY JESAL / B.A.M.D.
Interior Design Lead	ANGELA KRISHNAN
Construction Management Lead	MARK ANASTROFF / B.A.M.D.
Security Systems Engineering Lead	MARK ANASTROFF / B.A.M.D.
Security Design Manager	DANIEL PUTZMAN

DESIGN TEAM	
Client Name	JON AYONDE
Project Manager	SCHEIDT/ML
Architectural Lead	NEAL CLEMENTS / B.A.M.D.
Mechanical Engineering Lead	JEFFREY WILSON / B.A.M.D.
Electrical Engineering Lead	JEFFREY WILSON / B.A.M.D.
Structural Engineering Lead	BRADY JESAL / B.A.M.D.
Interior Design Lead	ANGELA KRISHNAN
Construction Management Lead	MARK ANASTROFF / B.A.M.D.
Security Systems Engineering Lead	MARK ANASTROFF / B.A.M.D.
Security Design Manager	DANIEL PUTZMAN

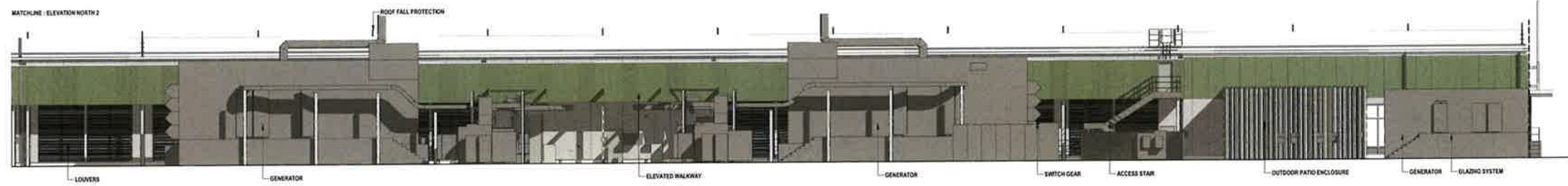
Revisions		
No.	Date	Description



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Package
FULL BUILDOUT
Sheet Title/Number
ARCHITECTURAL RENDERED EXTERIOR ELEVATIONS

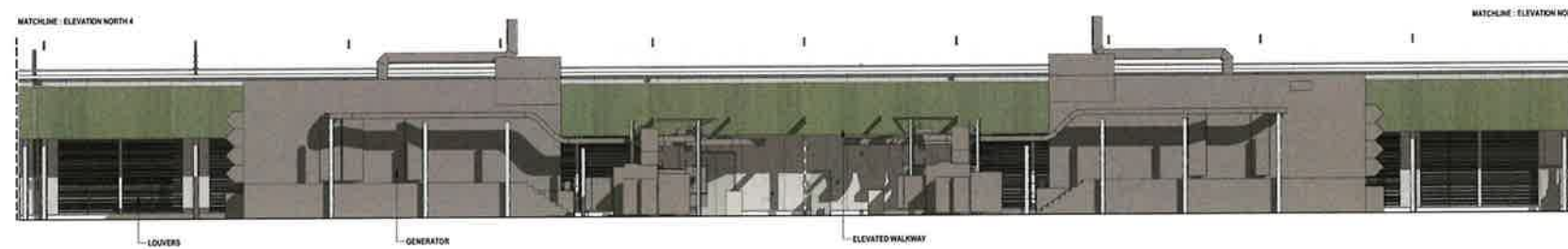
DSM43-2



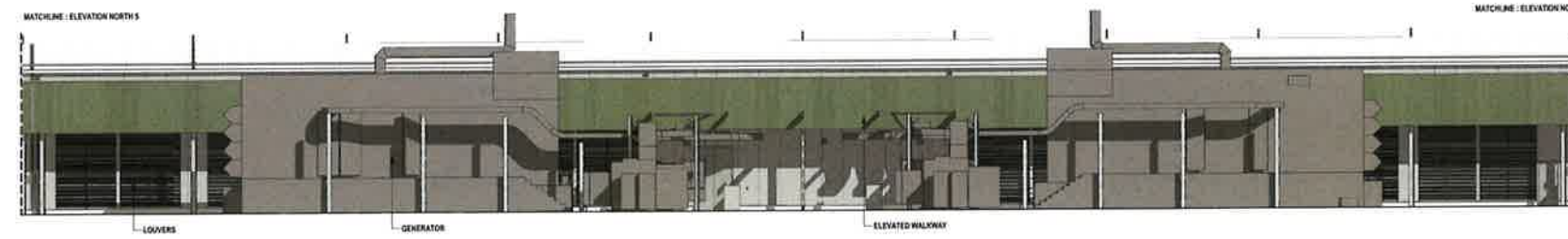
1 ARCHITECTURAL EXTERIOR ELEVATIONS - NORTH 1
1" = 10'-0"



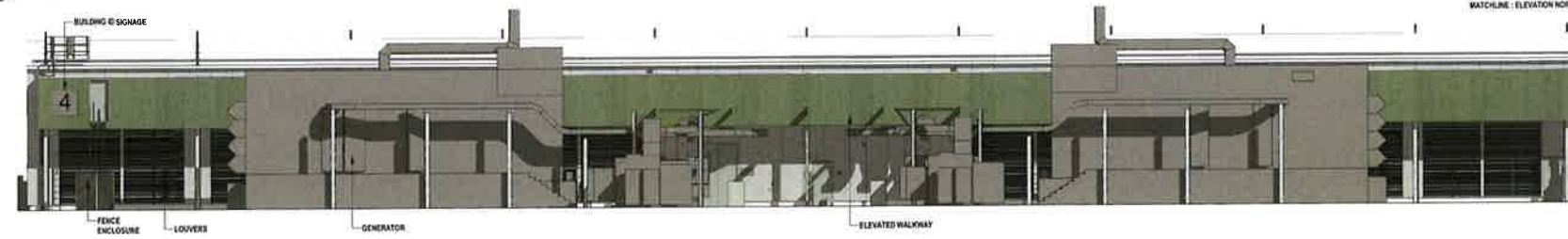
2 ARCHITECTURAL EXTERIOR ELEVATIONS - NORTH 2
1" = 10'-0"



3 ARCHITECTURAL EXTERIOR ELEVATIONS - NORTH 3
1" = 10'-0"



4 ARCHITECTURAL EXTERIOR ELEVATIONS - NORTH 4
1" = 10'-0"



5 ARCHITECTURAL EXTERIOR ELEVATIONS - NORTH 5
1" = 10'-0"

**BURNS
MEDONNELL**
5400 Ward Parkway
Kansas City, MO 64114
www.burnsmcdonnell.com

Microsoft
DSM43
DATA CENTER
11100 BOONEVILLE ROAD
WEST DES MOINES, IA

Client	MS
Owner	MS/MS
Contract	Design
Drawn	
Scale	1" = 10'-0"
U.S. Paper No.	3000

MICROSOFT

Project Manager: JEFFREY WILSON

Architect: NEAL CLEMENTS / B&B

Structural Engineer: BENJAMIN JEANIS / B&B

Mechanical Engineer: JEFFREY WILSON / B&B

Electrical Engineer: JEFFREY WILSON / B&B

Interior Designer: ALAN MCGEE / B&B

Security System Engineer: ANDREW BARNETT / MICROSOFT

DESIGN TEAM

Client Representative: RYAN HADLEY / CAUL DESIGN ADVANTAGE

Structural Engineer: BENJAMIN JEANIS / B&B

Architectural Lead: NEAL CLEMENTS / B&B

Mechanical Engineer: JEFFREY WILSON / B&B

Interior Designer: ALAN MCGEE / B&B

Electrical Engineer: JEFFREY WILSON / B&B

Interior Designer: ALAN MCGEE / B&B

Security System Engineer: ANDREW BARNETT / MICROSOFT

Revisions

No.	Date	Description

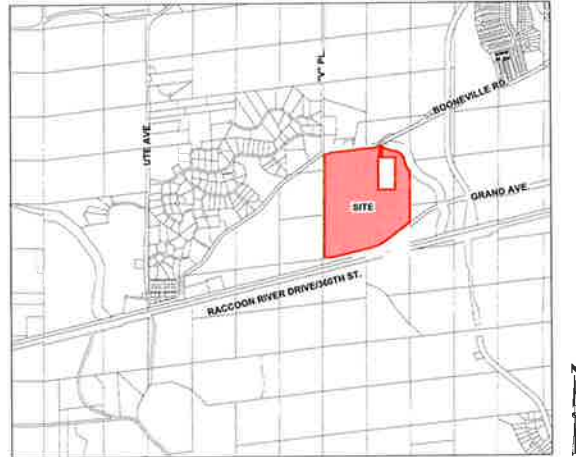


Bar Code
CONFIDENTIAL - DO NOT DISCLOSE. This document is exempt from public disclosure under the Public Disclosure Act and Uniform Trade Secrets Act.

Package:
FULL BUILDOUT
Sheet Title/Number:
**ARCHITECTURAL
RENDERED
EXTERIOR
ELEVATIONS**

DSM43-3

VICINITY MAP
NOT TO SCALE



OWNER/APPLICANT

MICROSOFT CORPORATION
ONE MICROSOFT WAY
REDMOND, WA 98052

CONSULTANTS

CIVIL:

CIVIL DESIGN ADVANTAGE, LLC
4121 NW URBANDALE DRIVE
URBANDALE, IA 50322
PH: (515) 269-4400
CONTACT: RYAN HARDISTY

NAVIX ENGINEERING, INC.
11234 SE 6TH STREET, SUITE 150
BELLEVUE, WA 98004
PH: (425) 458-7900
CONTACT: PAUL MANZER

GEOTECHNICAL:

TERRACON CONSULTANTS INC.
1523 S BELL AVENUE, SUITE 104
AMES, IOWA 50010
PH: (515) 232-0950
CONTACT: CASH-STURGEON

GOVERNING AGENCIES

REVIEW AGENCY:

CITY OF WEST DES MOINES (WDM)
4200 MILLS CIRCLE PARKWAY, SUITE 2D
WEST DES MOINES, IA 50265
PH: (515) 222-3620
CONTACT: LYNNE TWEDT

FIRE DISTRICT:

CITY OF WEST DES MOINES (WDM)
2421 ASHWOOD ROAD
WEST DES MOINES, IA 50265
PH: (515) 222-3420
CONTACT: MIKE WHITSSELL

UTILITIES

WATER:

WEST DES MOINES WATER WORKS (WDMWW)
1505 RAILROAD AVENUE
WEST DES MOINES, IA 50265
PH: (515) 222-3510
CONTACT: WILLIAM MABUCE, P.E.

SANITARY SEWER:

CITY OF WEST DES MOINES (WDM)
560 SOUTH 16TH STREET
WEST DES MOINES, IA 50265
PH: (515) 222-3480
CONTACT: CLINT CARPENTER

BENCHMARKS

WDM BM 084

CITY OF WDM STANDARD BENCHMARK LOCATED ALONG 9100 BLOCK OF RACCOON RIVER DRIVE. INTERSECTION OF RACCOON RIVER DRIVE AND WINDSOR COURT, 3 FEET NORTH OF SOUTH FENCE, 25 FEET WEST OF FENCE CORNER. STA 1124 ± STAMPED IN PCC PAVEMENT ON THE SOUTH SIDE. ELEVATION = 841.07 (DATUM: NAVD 88, FEET)

WDM BM 130

CITY OF WDM STANDARD BENCHMARK LOCATED AT SOUTHWEST CORNER OF BOONEVILLE ROAD AND "V" PLACE, 3 FEET NORTH OF SOUTH RIGHT OF WAY FENCE ON BOONEVILLE ROAD AND IN LINE WITH EAST EDGE OF "V" PLACE. WEST SIDE OF FIELD ENTRANCE. ELEVATION = 873.86 (DATUM: NAVD 88, FEET)

LEGAL DESCRIPTION

LOT 1, QINGER WEST PLAT 1, AN OFFICIAL PLAT IN THE CITY OF WEST DES MOINES, DALLAS COUNTY, IOWA, AND CONTAINING 153.06 ACRES (6,667,355 SF).

NOTES

- SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE PROJECT SPECIFICATIONS AND THE CURRENT CITY OF WEST DES MOINES STANDARD SPECIFICATIONS FOR SUBDIVISIONS AND ADDENDUMS.
- THE DESIGN SHOWN IS BASED UPON THE ENGINEER'S UNDERSTANDING OF THE EXISTING CONDITIONS. THIS PLAN DOES NOT REPRESENT A DETAILED FIELD SURVEY. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING FIELD CONDITIONS PRIOR TO BIDDING THE PROPOSED SITEWORK IMPROVEMENTS. IF CONDITIONS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER PRIOR TO INSTALLATION OF ANY PORTION OF THE SITEWORK WHICH WOULD BE AFFECTED. IF CONTRACTOR DOES NOT ACCEPT EXISTING SURVEY, INCLUDING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE: AT HIS/HER OWN EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW.
- CAUTION - NOTICE TO CONTRACTOR:** THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.
- ALL CONSTRUCTION WITHIN PUBLIC ROW/EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS SHALL COMPLY WITH THE WEST DES MOINES STANDARD CONSTRUCTION SPECIFICATIONS FOR SUBDIVISIONS, DSM METRO DESIGN STANDARDS, AND WDM ADDENDUMS.
- AT LEAST ONE WEEK PRIOR TO ANY CONSTRUCTION WITHIN PUBLIC ROW/EASEMENTS AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, THE CONTRACTOR SHALL CONTACT THE WDM ENGINEERING SERVICES 515-222-3470 TO SCHEDULE ANY REQUIRED INSPECTIONS. IT IS IMPORTANT TO NOTE CITY APPROVAL OF THIS PLAN IS SUBJECT TO THE APPLICANT OBTAINING ALL NECESSARY EASEMENTS/AGREEMENTS AND APPLICABLE PERMITS.
- ALL SECURITY GATES SHALL HAVE THEIR LOCKS AND SEQUENCE OF EVENTS TO OPEN THEM APPROVED BY THE FIRE MARSHAL PRIOR TO INSTALLATION.

CITY OF WEST DES MOINES DATUM CONVERSION

PLAN DATUM CONVERSION FROM THE CITY OF WEST DES MOINES DATUM TO NAVD88= PLAN ELEVATION + 774.01 FEET

SITE DATA

COMPREHENSIVE PLAN	LIGHT INDUSTRIAL
ZONING	LIGHT INDUSTRIAL
SURROUNDING LAND USES:	
NORTH: EXISTING LAND USE	RESIDENTIAL AND AGRICULTURE
EXISTING ZONING	UNZONED
COMPREHENSIVE PLAN DESIGNATION	OFFICE/BUSINESS PARK
EAST: EXISTING LAND USE	AGRICULTURE
EXISTING ZONING	UNZONED
COMPREHENSIVE PLAN DESIGNATION	BUSINESS PARK
SOUTH: EXISTING LAND USE	AGRICULTURE
EXISTING ZONING	UNZONED
COMPREHENSIVE PLAN DESIGNATION	MED. DENSITY RESIDENTIAL/OPEN SPACE
WEST: EXISTING LAND USE	AGRICULTURE
EXISTING ZONING	UNZONED
COMPREHENSIVE PLAN DESIGNATION	SINGLE FAMILY RESIDENTIAL

PARKING SUMMARY

MICROSOFT REQUIRED PARKING = 1.2 STALLS PER MW PLUS 1 SECURITY VEHICLE STALL
48 MW BUILDING X 1.2 STALL/MW + 1 SECURITY STALL = 59 STALLS

DSM43:

TOTAL REQUIRED = 59 SPACES
TOTAL PROVIDED = 59 SPACES

LEED CREDIT REDUCED PARKING FOOTPRINT:

ITE TRIP GENERATION MANUAL DATA REQUIRED PARKING = 0.99 STALLS PER 1000 SF
245,000 SF BUILDING X 0.99 STALLS/1000 SF = 243 STALLS REQUIRED

PARKING REDUCTION = 75.7%

SITE AREA DATA

LOT 1:		
EXISTING:	IMPERVIOUS	63.22 ACRES (2,753,837 SF) (41.30%)
	PERVIOUS	89.84 ACRES (3,913,518 SF) (58.70%)
PROPOSED:	IMPERVIOUS	76.29 ACRES (3,323,140 SF) (49.84%)
	PERVIOUS	76.74 ACRES (3,344,215 SF) (50.14%)
TOTAL LAND AREA		153.06 ACRES (6,667,355 SF)
OPEN SPACE AREA:	REQUIRED	30.61 ACRES (1,333,459 SF) (20.00%)
	PROVIDED	76.74 ACRES (3,344,215 SF) (50.14%)

UTILITY WARNING

THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY AND RECORDS OBTAINED BY THIS SURVEYOR. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL THE UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION SHOWN.

SHEET INDEX

SHEET NUMBER	SHEET TITLE
DSM43-C-A-01	CIVIL COVER SHEET
DSM43-C-B-01	CIVIL BASE CONDITIONS MAP
DSM43-C-B-001	CIVIL DEMOLITION PLAN
DSM43-C-B-002	CIVIL DEMOLITION PLAN
DSM43-C-B-003	CIVIL DEMOLITION PLAN
DSM43-C-B1-01	CIVIL EROSION & SEDIMENT CONTROL PLAN OVERALL
DSM43-C-B1-001	CIVIL EROSION & SEDIMENT CONTROL PLAN
DSM43-C-B1-002	CIVIL EROSION & SEDIMENT CONTROL PLAN
DSM43-C-B1-003	CIVIL EROSION & SEDIMENT CONTROL PLAN
DSM43-C-B1-004	CIVIL EROSION & SEDIMENT CONTROL PLAN
DSM43-C-B1-005	CIVIL EROSION & SEDIMENT CONTROL PLAN
DSM43-C-B1-006	CIVIL EROSION & SEDIMENT CONTROL PLAN
DSM43-C-B1-007	CIVIL EROSION & SEDIMENT CONTROL PLAN
DSM43-C-B1-008	CIVIL EROSION & SEDIMENT CONTROL PLAN
DSM43-C-B1-009	CIVIL EROSION & SEDIMENT CONTROL PLAN
DSM43-C-B1-010	CIVIL EROSION & SEDIMENT CONTROL PLAN
DSM43-C-C1-01	CIVIL SITE IMPROVEMENTS PLAN OVERALL
DSM43-C-C1-001	CIVIL SITE IMPROVEMENTS PLAN
DSM43-C-C1-002	CIVIL SITE IMPROVEMENTS PLAN
DSM43-C-C1-003	CIVIL SITE IMPROVEMENTS PLAN
DSM43-C-C1-004	CIVIL SITE IMPROVEMENTS PLAN
DSM43-C-C1-005	CIVIL SITE DIRECTIONAL SIGNAGE PLAN & DETAILS
DSM43-C-C2-01	CIVIL HORIZONTAL CONTROL PLAN OVERALL
DSM43-C-C2-001	CIVIL HORIZONTAL CONTROL PLAN
DSM43-C-C2-002	CIVIL HORIZONTAL CONTROL PLAN
DSM43-C-C2-003	CIVIL HORIZONTAL CONTROL PLAN
DSM43-C-D1-01	CIVIL OVERALL UTILITY PLAN
DSM43-C-D2-01	CIVIL SITE GRADING & DRAINAGE PLAN OVERALL
DSM43-C-D2-001	CIVIL SITE GRADING & DRAINAGE PLAN
DSM43-C-D2-002	CIVIL SITE GRADING & DRAINAGE PLAN
DSM43-C-D2-003	CIVIL SITE GRADING & DRAINAGE PLAN
DSM43-C-D3-01	CIVIL FINISH GRADING PLAN OVERALL
DSM43-C-D3-001	CIVIL FINISH GRADING PLAN
DSM43-C-D3-002	CIVIL FINISH GRADING PLAN
DSM43-C-D3-003	CIVIL FINISH GRADING PLAN
DSM43-C-E1-01	CIVIL WATER PLAN OVERALL
DSM43-C-E1-001	CIVIL WATER PLAN
DSM43-C-E1-002	CIVIL WATER PLAN
DSM43-C-E1-003	CIVIL WATER PLAN
DSM43-C-E2-01	CIVIL WATER PLAN & PROFILE
DSM43-C-E2-02	CIVIL WATER PLAN & PROFILE
DSM43-C-E2-03	CIVIL WATER PLAN & PROFILE
DSM43-C-E2-04	CIVIL WATER PLAN & PROFILE
DSM43-C-E2-05	CIVIL WATER PLAN & PROFILE
DSM43-C-E2-06	CIVIL WATER PLAN & PROFILE
DSM43-C-E2-07	CIVIL WATER PLAN & PROFILE
DSM43-C-E3-01	CIVIL CLEAR WATER DISCHARGE & SANITARY SEWER PLAN OVERALL
DSM43-C-E3-001	CIVIL CLEAR WATER DISCHARGE & SANITARY SEWER PLAN
DSM43-C-E3-002	CIVIL CLEAR WATER DISCHARGE & SANITARY SEWER PLAN
DSM43-C-E3-003	CIVIL CLEAR WATER DISCHARGE & SANITARY SEWER PLAN
DSM43-C-F-01	CIVIL SITE DETAILS
DSM43-C-F-02	CIVIL SITE DETAILS
DSM43-C-F-03	CIVIL SITE DETAILS
DSM43-C-F-04	CIVIL SEWER DETAILS
DSM43-C-F-05	CIVIL SEWER DETAILS
DSM43-C-F-06	CIVIL SEWER DETAILS
DSM43-C-F-07	CIVIL WATER DETAILS
DSM43-C-F-08	CIVIL WATER DETAILS
DSM43-L-A1-01	LANDSCAPE PLAN OVERALL
DSM43-L-A1-001	LANDSCAPE PLAN
DSM43-L-A1-002	LANDSCAPE PLAN
DSM43-L-A1-003	LANDSCAPE PLAN
DSM43-L-A1-004	LANDSCAPE PLAN
DSM43-L-A1-005	LANDSCAPE PLAN
DSM43-L-A1-006	LANDSCAPE PLAN
DSM43-L-A1-007	LANDSCAPE PLAN
DSM43-L-A1-008	LANDSCAPE PLAN
DSM43-L-A1-009	LANDSCAPE PLAN
DSM43-L-A1-010	LANDSCAPE PLAN
DSM43-L-A1-011	LANDSCAPE PLAN
DSM43-L-A1-012	LANDSCAPE PLAN



(PROPRIETARY AND CONFIDENTIAL - TRADES SECRET AND COMMERCIAL INFORMATION - EXEMPT FROM RELEASE UNDER FOIA (5 U.S.C. § 552 (b)(4)) AND STATE PUBLIC DISCLOSURE LAW)

Civil Design Advantage
4121 NW URBANDALE DRIVE
URBANDALE, IA 50322

8400 Ward Parkway
Kansas City, MO 64114
www.burnsmcd.com

DSM 43
DATA CENTER
11100 Booneville Road
West Des Moines, Iowa

Owner: MICROSOFT
 Title: NEW JC
 Checked: [Signature]
 Date: 11/06/2008
 Scale: AS SHOWN
 Project Number: F-2008-0034
MICROSOFT
 Site Manager: JOHN NYTON
 Site Engineer: JASON SWANSON
 Designer: USA GALLANT / DAVID SWANSON
 Draftsman: STEVE TOUPRI
 Detail Engineer: BELL GEVERSKI
 Detail Engineer: ANAGA KRISHNAN
 Detail Engineer: SERGIO FINANCO
 Detail Engineer: MATT BENSON
 Survey Group Manager: DANIEL PUTMAN
DESIGN TEAM
 Design Engineer: RYAN HARDISTY / CIVIL DESIGN ADVANTAGE
 Senior Engineer: BRYAN JEWELL / B&B
 Engineer: NEAL CLEMENTE / B&B
 Assistant Engineer: JEFFREY WILSON / B&B
 Project Engineer: DANIEL GARCIA / B&B
 Site Engineer: BRYAN JEWELL / B&B
 Senior Engineer: JEFFREY WILSON / B&B
 Senior Engineer: JASON MITCHELL / B&B
 Senior Engineer: ANNA ANDERSON / B&B
 Senior Engineer: ANNA BARABAT / B&B
Revisions

No.	Date	Description
1	2/18/2009	ISSUE PACKAGE
2	05/05/2009	ISSUE PACKAGE

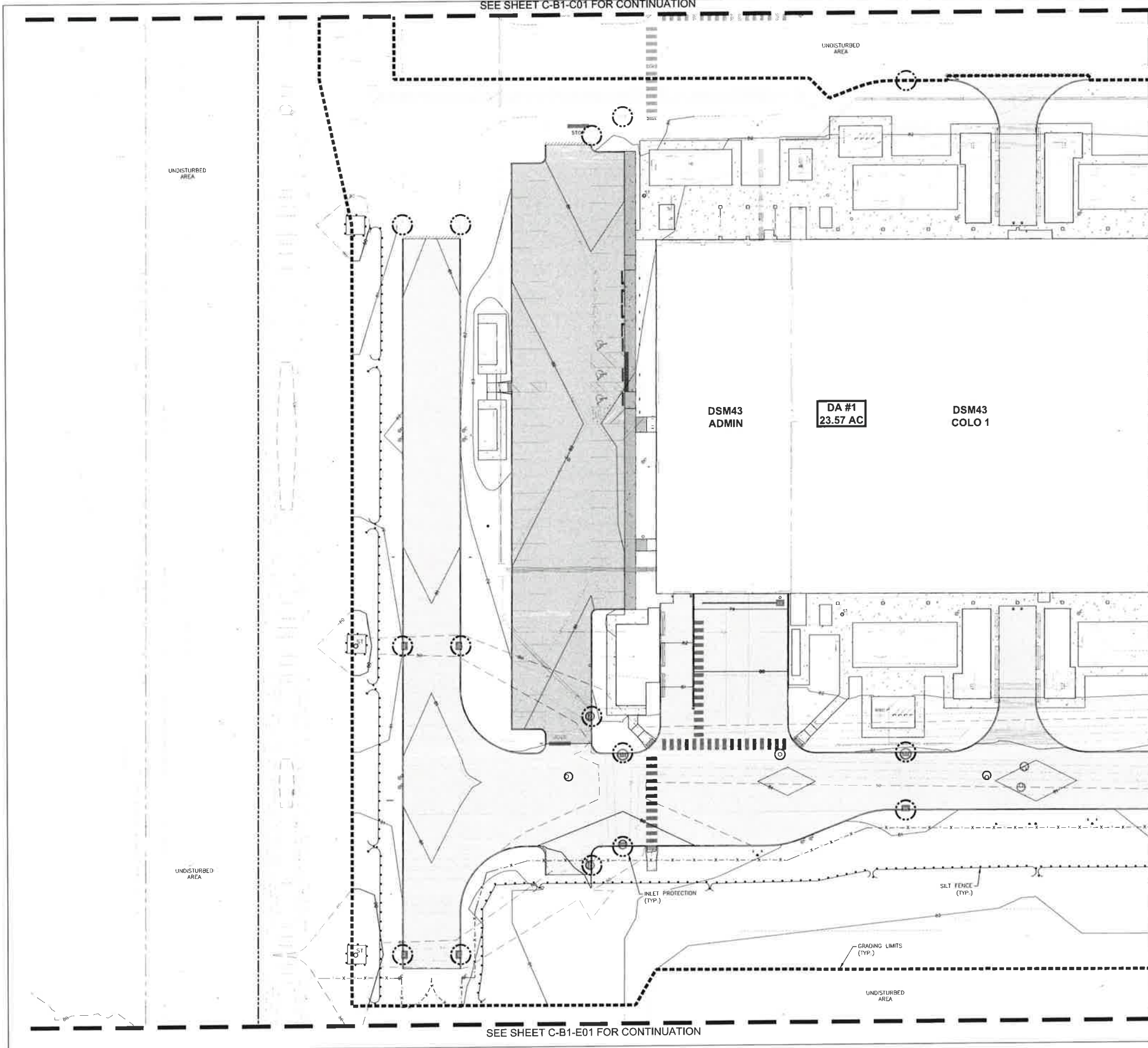
 Registration

 Sector Key Plan

 Bar Code
 Package
FULL BUILDOUT
 Sheet Title Number
CIVIL COVER SHEET
 DSM43-C-A-01

PRELIMINARY
 I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.
 Ryan A. Hardisty, P.E.
 11/06/2008
 ALL C & I SERIES SHEETS

SEE SHEET C-B1-C01 FOR CONTINUATION



SEE SHEET C-B1-E01 FOR CONTINUATION

LEGEND

- DRAINAGE ARROW
- GRADING LIMITS
- FILTER SOCK
- SILT FENCE
- INLET PROTECTION
- PORTABLE RESTROOM
- TEMPORARY STANDPIPE
- CONCRETE WASHOUT PIT
- PERMANENT SEEDING
- TEMPORARY SEEDING
- UNDISTURBED AREA
- RIP-RAP
- POTENTIAL TOPSOIL STOCKPILE LOCATION
- CRUSHED STONE SURFACING
- STAGING AREA
-
-
-
-
- TEMPORARY SEDIMENT BASIN

STABILIZATION QUANTITIES

ITEM NO.	ITEM	UNIT	TOTAL
1	SILT FENCE	LF	6,400
2	SEEDING, FERTILIZING AND MULCHING	AC	30.5
3	PALET PROTECTION DEVICES	EA	36
4	CONCRETE WASHOUT PIT	LS	1

DISCHARGE POINT SUMMARY

DISCHARGE POINT #1 TO LITTLE CREEK CREEK	23.57 ACRES
TOTAL AREA RESTORED TO DISCHARGE POINT	84,852 CU FT
STORAGE VOLUME REQUIRED (# OF ACRES * 3600 CU FT)	33,690 CU FT
VOLUME IN SILT FENCE (6,400 LF @ 4.5 CU FT/LF OF FENCE)	1,140,000 CU FT
VOLUME IN EXISTING TSB #1	1,178,111 CU FT
TOTAL VOLUME PROVIDED	

NOTES:

- CONTRACTOR SHALL ENSURE STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES SHALL COMPLY WITH THE IOWA DEPARTMENT OF NATURAL RESOURCES NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) GENERAL PERMIT NO. 2.
- WATER TAKEN FROM ANY DEWATERING ACTIVITIES SHALL BE DISCHARGED INTO A TEMPORARY SEDIMENT BASIN OR SHALL RUN THROUGH A DEWATERING SILT SACK PRIOR TO LEAVING THE SITE. MEASURES ARE ALSO TO BE TAKEN TO PREVENT SCOUR DURING A DEWATERING DISCHARGE POINT.
- DISTURBED AREAS SHALL BE TEMPORARILY SEEDED OR MULCHED PRIOR TO THE SITE SHUTTING DOWN FOR WINTER CONDITIONS.
- STORM SEWERS AND DRAINAGE WAYS SHALL BE PROTECTED FROM CONCRETE SLURRY PRODUCED BY SANICUTTING AND CONCRETE GRINDING.
- STABILIZATION QUANTITIES ARE FOR REFERENCE ONLY AND ARE NOT FOR CONSTRUCTION TAKE-OFF.
- TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES AS SHOWN SHALL BE THE INTENDED BASIS FOR STORMWATER POLLUTION PREVENTION PLANNING. AS GRADING AND SITE WORK PROGRESS IS MADE AND WEATHER CONDITIONS CHANGE, THE CONTRACTOR IS EXPECTED TO MODIFY THE PROJECT STORMWATER POLLUTION PREVENTION PLAN (SWPPP). MATERIAL QUANTITIES TO ADDRESS CHANGES IN THE EROSION AND SEDIMENT CONTROL PLAN NEEDS SHALL BE CONSIDERED IN THE CONTRACTOR BID.

EA
Civil Design Advantage
4121 NW Urbandale Drive
Urbandale, IA 50332

BURNS MEDONNELL
8400 Ward Parkway
Kansas City, MO 64114
www.burnsmcd.com

NAVIX
SITE CALC

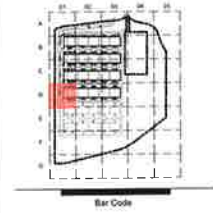
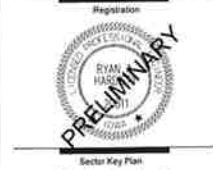
Microsoft
DSM 43
DATA CENTER
11100 Booneville Road
West Des Moines, Iowa

Drawn:	NEW 02
Check:	NEW 02
Date:	11/02/2023
Scale:	AS SHOWN
Sheet No.:	2

MICROSOFT	
Project Manager:	JON MYONE
Project Engineer:	DAVID GAGLIANT / DAVID SWANSON
Project Engineer:	STEVE THOMPSON
Project Engineer:	BILL GARDNER
Project Engineer:	AMANDA KIRKMAN
Project Engineer:	SEBASTIAN FRANCO
Project Engineer:	BRIAN BENSON
Project Engineer:	DANIEL PUTMAN

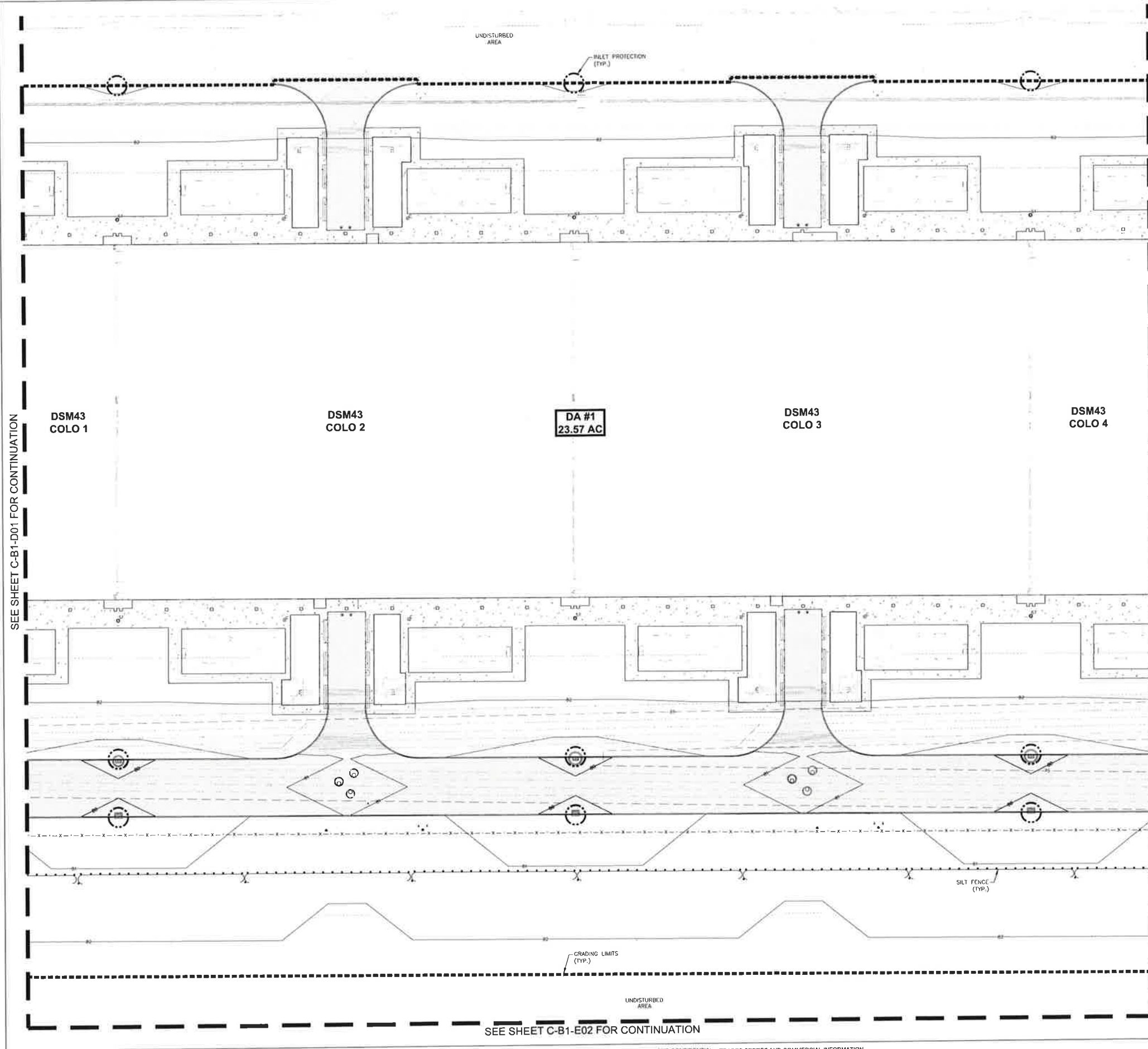
DESIGN TEAM	
Principal Engineer:	RYAN HANSEN / CAUL DESIGN ADVANTAGE
Senior Engineer:	BRYAN JEMAL / BMD
Structural Engineer:	NEAL CLEMENTS / BMD
Mechanical Engineer:	JEFFREY WALSON / BMD
Electrical Engineer:	EMANUEL GARCIA / BMD
Plumbing Engineer:	WILL CLAY / BMD
Fire Protection Engineer:	JEFFREY WALSON / BMD
Sanitary Engineer:	JASON BRETHER / BMD
Transportation Engineer:	MARK ANDERSON / BMD
Surveying Engineer:	MARCELA BERBER / BMD

Revisions		
No.	Date	Description
1	11/02/2023	5% RFP PACKAGE
2	10/02/2023	10% RFP PACKAGE
3	10/02/2023	15% RFP PACKAGE



Package
FULL BUILDOUT
Sheet Title Number

CIVIL
EROSION AND
SEDIMENT
CONTROL PLAN
DSM43-C-B1-D01



LEGEND

- DRAINAGE ARROW
- GRADING LIMITS
- FILTER SOCK
- INLET PROTECTION
- PORTABLE RESTROOM
- TEMPORARY STANDPIPE
- CONCRETE WASHOUT PIT
- PERMANENT SEEDING
- TEMPORARY SEEDING
- UNDISTURBED AREA
- RIP-RAP
- POTENTIAL TOPSOIL STOCKPILE LOCATION
- CRUSHED STONE SURFACING
- STAGING AREA
-
-
-
-
- TEMPORARY SEDIMENT BASIN

STABILIZATION QUANTITIES

ITEM NO.	ITEM	UNIT	TOTAL
1	SILT FENCE	LF	8,400
2	SEEDING, FERTILIZING, AND MULCHING	AC	30.5
3	INLET PROTECTION DEVICES	EA	24
4	CONCRETE WASHOUT PIT	LS	1

DISCHARGE POINT SUMMARY

DISCHARGE POINT #1 TO LITTLE CREEK CREEK, 4,870 FT	23.57 ACRES
TOTAL AREA DISTURBED TO DISCHARGE POINT	84,852 CU FT
STORAGE VOLUME REQUIRED (# OF ACRES X 3600 CU FT)	
VOLUME IN SILT FENCE (8,400 LF @ 4.5 CU FT/LF OF FENCE)	37,800 CU FT
VOLUME IN EXISTING TSB #1	1,180,311 CU FT
TOTAL VOLUME PROVIDED	1,218,111 CU FT

- ### NOTES:
- CONTRACTOR SHALL ENSURE STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES SHALL COMPLY WITH THE IOWA DEPARTMENT OF NATURAL RESOURCES NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) GENERAL PERMIT NO. 2
 - WATER TAKEN FROM ANY DEWATERING ACTIVITIES SHALL BE DISCHARGED INTO A TEMPORARY SEDIMENT BASIN OR SHALL RUN THROUGH A DEWATERING SILT SOCK PRIOR TO LEAVING THE SITE. MEASURES ARE ALSO TO BE TAKEN TO PREVENT SCOUR EROSION AT DEWATERING DISCHARGE POINT.
 - DISTURBED AREAS SHALL BE TEMPORARILY SEEDED OR MULCHED PRIOR TO THE SITE SHUTTING DOWN FOR WINTER CONDITIONS.
 - STORM SEWERS AND DRAINAGE WAYS SHALL BE PROTECTED FROM CONCRETE SLURRY PRODUCED BY SAWCUTTING AND CONCRETE GRINDING.
 - STABILIZATION QUANTITIES ARE FOR REFERENCE ONLY AND ARE NOT FOR CONSTRUCTION TAKE-OFF.
 - TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES AS SHOWN SHALL SERVE AS THE INTENDED BASIS FOR STORMWATER POLLUTION PREVENTION PLANNING. AS GRADING AND SITE WORK PROGRESS IS MADE AND WEATHER CONDITIONS CHANGE, THE CONTRACTOR IS EXPECTED TO MODIFY THE PROJECT STORMWATER POLLUTION PREVENTION PLAN (SWPPP). MATERIAL QUANTITIES TO ADDRESS CHANGES IN THE EROSION AND SEDIMENT CONTROL PLAN NEEDS SHALL BE CONSIDERED IN THE CONTRACTOR BID.

SEE SHEET C-B1-D01 FOR CONTINUATION

SEE SHEET C-B1-D03 FOR CONTINUATION

SEE SHEET C-B1-E02 FOR CONTINUATION

DA #1
23.57 AC

DSM43 COLO 1

DSM43 COLO 2

DSM43 COLO 3

DSM43 COLO 4

UNDISTURBED AREA

UNDISTURBED AREA

GRADING LIMITS (TYP.)

UNDISTURBED AREA

SILT FENCE (TYP.)

SCALE

North Arrow

Civil Design Advantage
4121 NW Urbansale Drive
Urbansale, IA 50322

9400 Ward Parkway
Kansas City, MO 64114
www.burnsmcdonnell.com

WTE CIVIL

DSM 43
DATA CENTER
11100 Booneville Road
West Des Moines, Iowa

MICROSOFT	
Project Manager	JON KYONE
Lead Designer	SCOTT SHAR
Designer	USA CALLANT / DAVID SWANSON
Checker	STEVE TOLSON
Estimator	DAVE GARDNER
Project Engineer	ANASIA KRISHNAN
Senior Project Engineer	MATT BENSON
Senior Design Manager	DANIEL PUTMAN

DESIGN TEAM

Chief Engineer	JOHN BISHOP / BMSD
Senior Engineer	JEFFREY WILSON / BMSD
Engineer	DAVID GARDNER / BMSD
Senior Surveyor	WILL CLAY / BMSD
Surveyor	JEFFREY WILSON / BMSD
Senior Surveyor	JASON MITCHELL / BMSD
Surveyor	DAVID ANDERSON / BMSD
Senior Surveyor	BRUCE BARBAT / PATRICK

Registration

SYN HILL

PRELIMINARY

Sector Key Plan

Bar Code

Package

FULL BUILDOUT

Sheet Title Number

CIVIL

EROSION AND SEDIMENT CONTROL PLAN

DSM43-C-B1-D02

DSM43-C-B1-D02



BURNS & MCDONNELL

8400 Ward Parkway
Kansas City, MO 64114
www.burnsmcd.com



Microsoft

DSM 43
DATA CENTER
11100 Booneville Road
West Des Moines, Iowa

Sheet No.	101-001
Project No.	101-001
Client	Microsoft
Site	11100 Booneville Rd
Scale	P 200'

MICROSOFT	
Project Manager	JON WILSON
Architect	JEFFREY WILSON / BMB
Structural Engineer	DANIEL GARCIA / BMB
Mechanical Engineer	JEFFREY WILSON / BMB
Electrical Engineer	JEFFREY WILSON / BMB
IT Specialist	DANIEL GARCIA / BMB
IT Specialist	JEFFREY WILSON / BMB
IT Specialist	JEFFREY WILSON / BMB
IT Specialist	JEFFREY WILSON / BMB
IT Specialist	JEFFREY WILSON / BMB

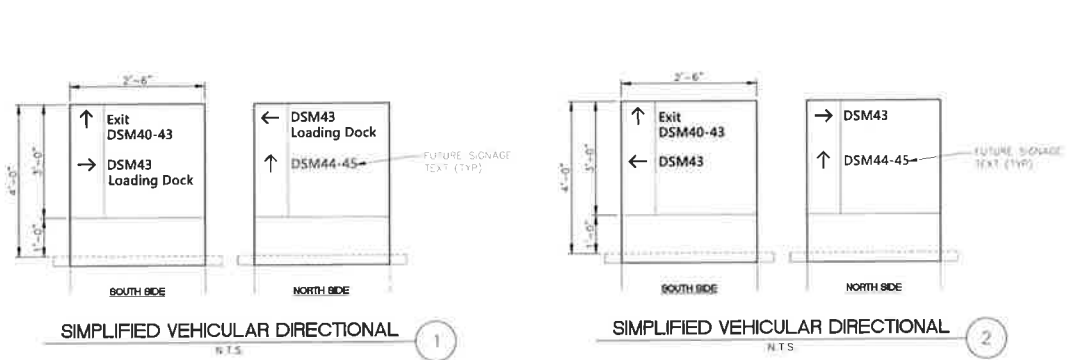
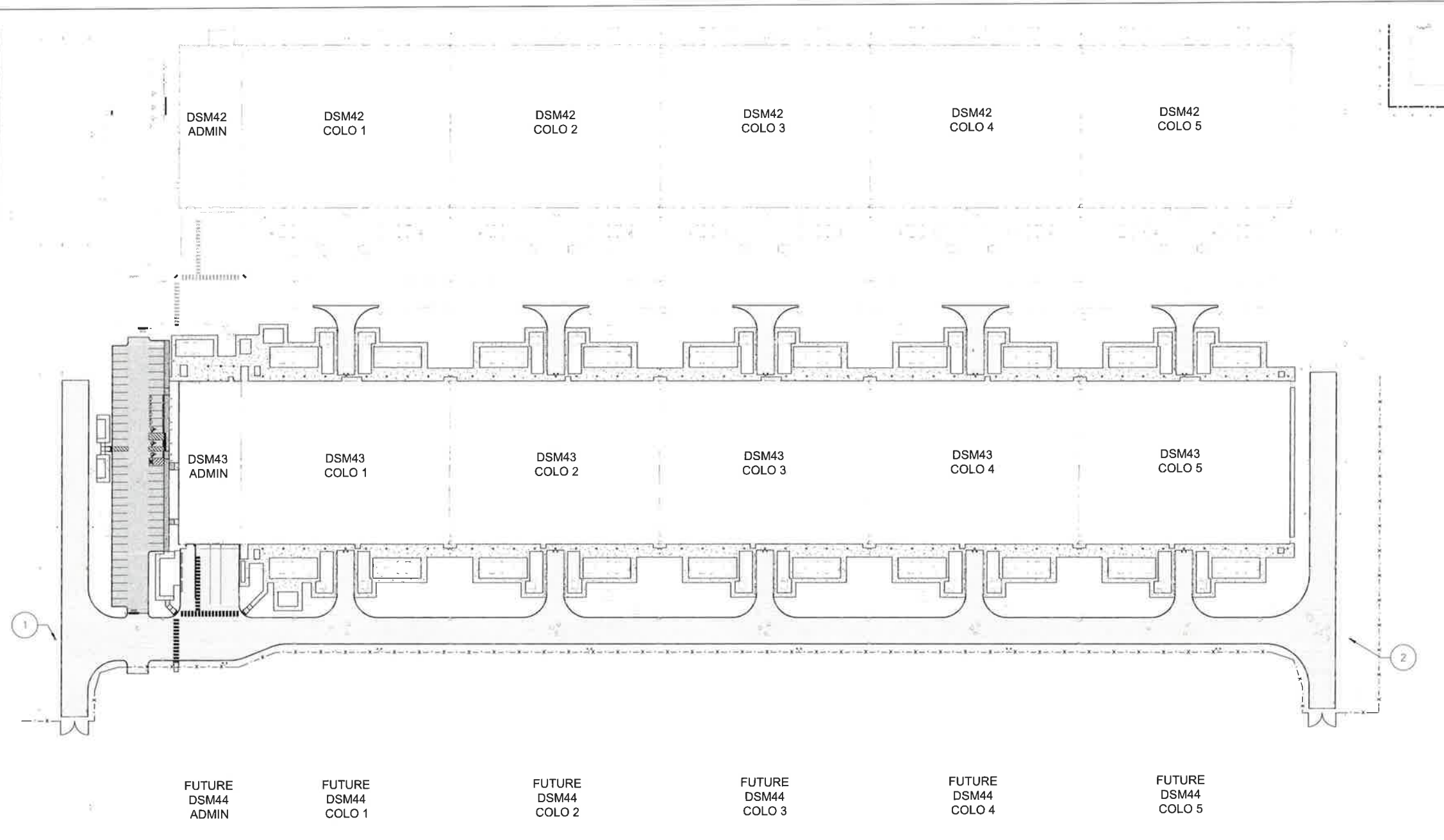
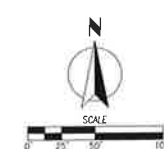
Revisions		
No.	Date	Description
0	21 SEP 2003	10% PER PACKAGE
1	06 OCT 2003	30% PER PACKAGE
2	19 NOV 2003	#3 PACKAGE

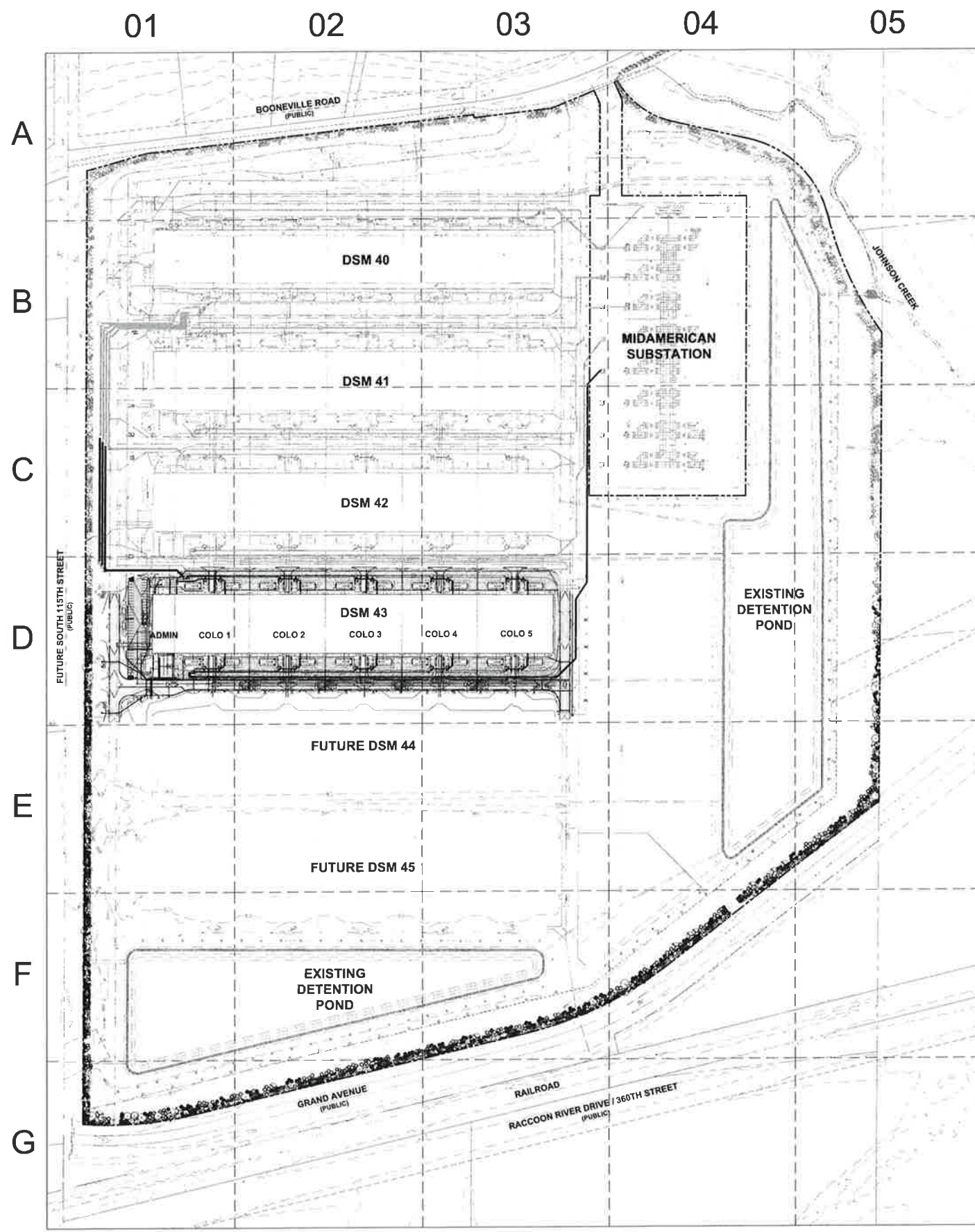
Registration
Professional Engineer
JEFFREY WILSON
IOWA
PRELIMINARY

Sector Key Plan

Bar Code

Package
FULL BUILDOUT
Sheet Title Number
**CIVIL SITE
DIRECTIONAL
SIGNAGE PLAN
& DETAILS
DSM43-C-01-05**





LANDSCAPE TOTALS FOR DSM 43, 44, AND 45

TOTAL SITE AREA DSM 43-45 = 3,583,911 SF (82.27 AC)
 OPEN SPACE REQUIRED = 716,782 SF (20%)

BUFFER LANDSCAPE
 30' BUFFER LANDSCAPE REQ. PER MDM LANDSCAPE PROVISIONS 9-19-B-E-3-B
 1 OVERSTORY/EVERGREEN TREE / 35 L.F., 2 UNDERSTORY TREES / 35 L.F., 6 SHRUBS / 35 L.F.
 AT 4.295 L.F. OF 30' BUFFER
 123 OVERSTORY TREES REQUIRED
 246 UNDERSTORY TREES REQUIRED
 237 SHRUBS REQUIRED

60' BUFFER LANDSCAPE REQ. PER MDM LANDSCAPE PROVISIONS 9-19-B-E-3-B
 1 OVERSTORY/EVERGREEN TREE / 35 L.F., 3 SHRUBS / 35 L.F.
 AT 815 L.F. OF 60' BUFFER
 24 TREES REQUIRED
 70 SHRUBS REQUIRED

COMBINED BUFFER LANDSCAPE PROVIDED -
 147 OVERSTORY TREES PROVIDED - 536 SURPLUS
 246 UNDERSTORY TREES PROVIDED - 20 SURPLUS
 807 SHRUBS PROVIDED - 799 SURPLUS

OPEN SPACE LANDSCAPE
 PER MDM LANDSCAPE PROVISIONS 9-18-B-1
 2 TREE & 3 SHRUBS / 3000 SF WITH 50% AS OVERSTORY/EVERGREEN
 478 TREES REQUIRED
 717 SHRUBS REQUIRED

OPEN SPACE LANDSCAPE PROVIDED -
 478 TREES - INCLUDES SURPLUS FROM BUFFER
 717 SHRUBS - INCLUDES SURPLUS FROM BUFFER

PARKING LOT LANDSCAPE REQUIREMENTS
 PER MDM LANDSCAPE PROVISIONS 9-18-B-4
 MINIMUM OF ONE LANDSCAPED 9'x17' ISLAND PER 18 STALLS OF SINGLE ROW PARKING
 ONE TREE PER 9'x17' ISLAND
 33 STALLS AND 26 STALLS OF SINGLE ROW PARKING PER BUILDING
 6 TREES REQUIRED

TOTAL TREES PROVIDED -
 9 OVERSTORY/EVERGREEN TREES PROVIDED
 *REQUIRED TREES ARE PROVIDED IN LANDSCAPE BUFFER AND ARE LABELED ON SHEET L-A1-005 & L-A1-005

TOTAL COMBINED LANDSCAPE
 TOTAL COMBINED LANDSCAPE REQUIRED:
 TREES 877
 SHRUBS 1,524

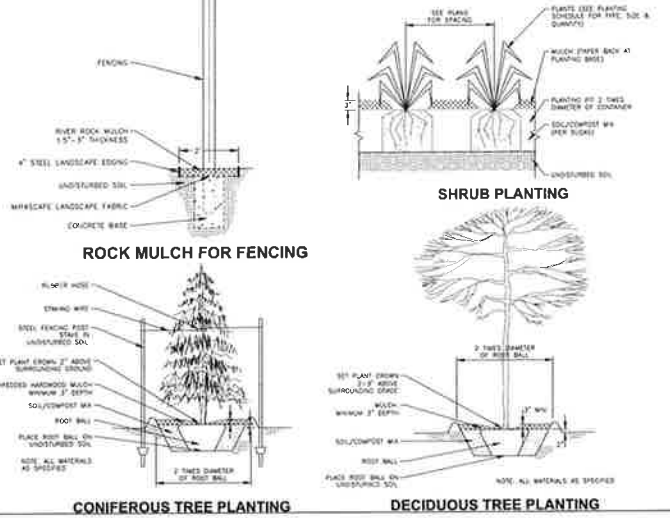
TOTAL COMBINED LANDSCAPE PROVIDED:
 TREES 1,547 (INCLUDES 72 TREES FROM DSM 42)
 SHRUBS 1,547 (INCLUDES 23 SHRUBS FROM DSM 42)

PLANT SCHEDULE 30'	QTY	COMMON NAME	BOTANICAL NAME	CONDITION AND SIZE	CAL	SIZE
EVERGREEN TREES	123	White Fir	Abies concolor	BBB, 6' HEIGHT	12"	15' DIA
PS	123	Black Hill Spruce	Picea glauca densata	BBB, 6' HEIGHT, 50-100' MAT HEIGHT	12"	15' DIA
PS	123	Colorado Blue Spruce	Picea pungens glauca	BBB, 6' HEIGHT	12"	15' DIA
PS	34	Luster Pine	Pinus baltica	BBB, 6' HEIGHT	12"	15' DIA
PS	33	White Pine	Pinus strobus	BBB, 6' HEIGHT, 50-80' MAT HEIGHT	12"	15' DIA
ORNAMENTAL TREES	24	Servicberry	Amelanchier canadensis	BBB, 15-35' MAT HEIGHT	1.5"	12' DIA
OR	103	Eastern Redbud	Cercis canadensis	BBB, 20-30' MAT HEIGHT	1.5"	12' DIA
OR	8	Prinella Sp. Crabapple	Malus x 'Spring Snow'	BBB, 1.5' CALIPER	1.5"	12' DIA
OR	18	Spring Snow Crabapple	Malus x 'Spring Snow'	BBB, 1.5' CAL, 8-10' HEIGHT	1.5"	12' DIA
OVERSTORY TREES	23	Emmentree Maple	Acer saccharum 'Emmentree'	BBB, 50' MAT HEIGHT	2"	20' DIA
OR	59	Creeping Maple	Acer saccharum 'Morton'	BBB	2"	20' DIA
OR	37	Black Maple	Acer nigrum	BBB, 60-75' MAT HEIGHT	2"	25' DIA
OR	3	White Oak	Quercus alba	BBB, 80-100' MAT HEIGHT	2"	25' DIA
OR	19	Burr Oak	Quercus macrocarpa	BBB, 6' HEIGHT, 50-80' MAT HEIGHT	2"	20' DIA
OR	13	Red Oak	Quercus rubra	BBB, 80-90' MAT HEIGHT	2"	20' DIA
SHRUBS	246	Gray Dogwood	Cornus foeniculifera	5' CAL		
SH	130	Ivory Halo Dogwood	Cornus alba 'Bairdii' TM	5' CAL		
SH	10	Ivory Halo Dogwood	Cornus alba 'Bairdii' TM	5' CAL		
SH	34	Jackson's Palmetto	Palmetto pulchra 'Jacksonii'	5' CAL		
SH	20	Staghorn Sumac	Rhus typhina	5' CAL		
SH	180	Blackberry	Sambucus canadensis	5' CAL		
SH	197	Blackhaw Viburnum	Viburnum prunifolium	5' CAL		

PLANT SCHEDULE 60' BUFFER	QTY	COMMON NAME	BOTANICAL NAME	CONDITION AND SIZE	CAL	SIZE
EVERGREEN TREES	24	Black Hill Spruce	Picea glauca densata	BBB, 6' HEIGHT, 50-100' MAT HEIGHT	12"	15' DIA
PS	3	Luster Pine	Pinus baltica	BBB, 6' HEIGHT	12"	15' DIA
PS	12	White Pine	Pinus strobus	BBB, 6' HEIGHT, 50-80' MAT HEIGHT	12"	15' DIA
ORNAMENTAL TREES	1	Servicberry	Amelanchier canadensis	BBB, 15-35' MAT HEIGHT	1.5"	12' DIA
OR	15	Eastern Redbud	Cercis canadensis	BBB	1.5"	12' DIA
OR	2	Prinella Sp. Crabapple	Malus x 'Spring Snow'	BBB, 1.5' CALIPER	1.5"	12' DIA
OVERSTORY TREES	2	Emmentree Maple	Acer saccharum 'Emmentree'	BBB, 50' MAT HEIGHT	2"	20' DIA
OR	17	Creeping Maple	Acer saccharum 'Morton'	BBB	2"	20' DIA
OR	4	Black Maple	Acer nigrum	BBB, 60-75' MAT HEIGHT	2"	25' DIA
OR	4	Red Oak	Quercus rubra	BBB, 80-90' MAT HEIGHT	2"	25' DIA
SHRUBS	24	Gray Dogwood	Cornus foeniculifera	5' CAL		
SH	4	Staghorn Sumac	Rhus typhina	5' CAL		
SH	13	Blackberry	Sambucus canadensis	5' CAL		
SH	39	Blackhaw Viburnum	Viburnum prunifolium	5' CAL		

LANDSCAPE NOTES

1. VERIFY ALL UTILITIES BEFORE ANY PLANTING BEGINS.
2. ALL LANDSCAPE CONSTRUCTION SHALL CONFORM TO THE MOST RECENT EDITION OF THE WEST DES MOINES STANDARDS SPECIFICATIONS FOR SUBDIVISIONS.
3. BACKFILL TO TOP OF CURB (MINUS 1 1/2" FOR SOG, IF REQ.)
4. WEED PREVENTER (PRE-EMERGENT) SHALL BE SPREAD OVER SOIL AFTER PLANTING AND BEFORE MULCHING IN ALL PLANTING BEDS PER MANUFACTURER'S RECOMMENDATIONS.
5. PLANT QUANTITIES ARE SHOWN FOR INFORMATION ONLY; THE DRAWING SHALL GOVERN IF ANY CONFLICTS ARISE.
6. ALL DEBRIS SPILLED IN ANY PUBLIC R.O.W. SHALL BE PICKED UP BY THE CONTRACTOR AT THE END OF EACH WORK DAY.
7. NO OVERSTORY TREES SHALL BE PLANTED IN ANY CITY OF WEST DES MOINES PUBLIC UTILITY EASEMENT.
8. ROCK MULCH SHALL BE RIVER ROCK, MINIMUM DEPTH OF 3" OVER WIRASCAPED LANDSCAPE FABRIC OR APPROVED EQUAL. EDGING BETWEEN ROCK MULCH AND GRASS SHALL BE 4" STEEL LANDSCAPE EDGING.
9. MAINTAIN 10' CLEARANCE OF ANY PLANTINGS ON EACH SIDE OF THE PERMETER FENCE.
10. SEED ALL DISTURBED AREAS (LESS PLANTING BEDS) WITH SEED TYPE #1 PERMANENT LAWN MIXTURE. REFER TO THE SPECIFICATIONS.



EA
Civil Design Advantage
4121 NW Urbandale Drive
Urbandale, IA 50322

BURNS MEDONNELL
8400 Ward Parkway
Kansas City, MO 64114
www.burnsmcd.com

NAVIX
SITE-CAD

Microsoft
DSM 43
DATA CENTER
11100 Booneville Road
West Des Moines, Iowa

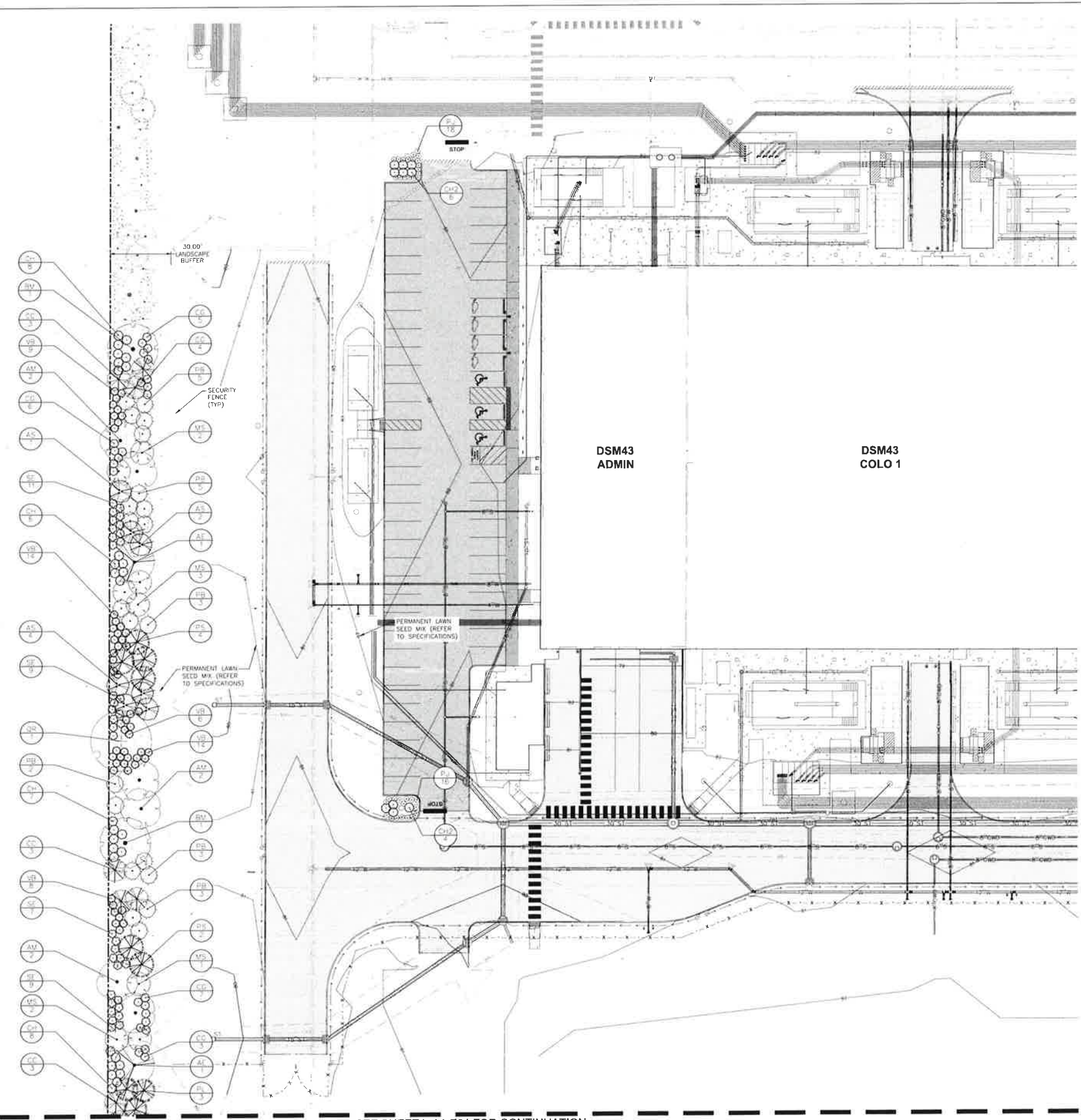
Owner	MSD
Architect	EA
Contractor	BAV
Scale	1/8" = 1'-0"
Sheet Number	P-1005
Project Name	DSM 43

MICROSOFT
Design Manager: JON NYKON

DESIGN TEAM
Civil Engineering: KEVIN HANSEN / EA
Structural Engineering: JAMES JEMAL / BMD
Architectural: NEAL CLAYTON / BMD
Landscape Engineering: BRUCE WILSON / BMD
Tree Retention Engineering: DANIEL GARCIA / BMD
Site Planning: KEVIN HANSEN / EA
Structural Engineering: JAMES JEMAL / BMD
Architectural: NEAL CLAYTON / BMD
Landscape Engineering: BRUCE WILSON / BMD
Tree Retention Engineering: DANIEL GARCIA / BMD

PRELIMINARY

Package FULL BUILDOUT
Sheet Title Number
LANDSCAPE PLAN OVERALL
DSM43-L-A1-01



LANDSCAPE KEY

- PB BLACK HILLS SPRUCE
- PC WHITE PINE
- AS SERVICEBERRY
- CC EASTERN REDBUD
- MS SPRING SNOW CRABAPPLE
- AE ENDOWMENT MAPLE
- AM CRESCENDO MAPLE
- BM BLACK MAPLE
- QR RED OAK
- CH IVORY HALO DOGWOOD
- SE ELDERBERRY
- VB BLACKHAW VIBURNUM

FULL PLANT MATERIAL SCHEDULE ON SHEET L-A1-01

LANDSCAPING LEGEND

- DRYLAND SEED MIX TYPE 1 (SEE SPECS FOR MORE INFORMATION)
- COBBLE MULCH (SEE SPECS FOR MORE INFORMATION)

SEE SHEET L-A1-E01 FOR CONTINUATION

EA
Civil Design Advantage
4121 NW Urbanside Drive
Urbandale, IA 50322

**BURNS
MCDONNELL**
9400 Ward Parkway
Kansas City, MO 64114
www.burnsmcd.com

NAVIX
SINCE 1998

Microsoft
DSM 43
DATA CENTER
11100 Booneville Road
West Des Moines, Iowa

Drawn	4/28/22	
Check	4/28/22	
Checked	4/28/22	
File	15.03.2022	
Scale	1" = 10'-0"	
Sheet No.	1 of 10	
Project No.	22-000	
MICROSOFT		
Design Manager	JON MOORE	
Senior Designer	JOHN MOORE	
Site Engineer	CHRISTOPHER SCHWEPH	
Construction Technical Lead	USA GALLANT / DAVID SWANSON	
Site Planning & P&I Project Technical Lead	STEVE TOULON	
Substation Systems (S&I) Technical Lead	BILL GILBERTSON	
Electrical Technical Lead	ANGELA KRISHNAN	
Electrical Power Management Systems (EPM) Technical Lead	SERGEY FRANKO	
Telecommunications Network Technical Lead	MATT BESSON	
Systems Design Manager	DANIEL PUTMAN	
DESIGN TEAM		
Chief Engineer	JEAN-LOUIS BENOIST / B&B	
Structural Engineer	JEFFREY JENSEN / B&B	
Architectural	NEAL CLEMENTS / B&B	
Mechanical Engineer	STEFAN POLSON / B&B	
Plumbing Engineer	DANIEL GARCIA / B&B	
Fire Protection Engineer	BILL CLAY / B&B	
ME Engineering Lead	JEFFREY POLSON / B&B	
Structural Engineering Lead	JASON MITCHELL / B&B	
Telecommunications Engineering Lead	MARK ANDERSON / B&B	
Systems Engineering Lead	MARCA BARBANT / INTRIXIA	
Revisions		
No.	Date	Description
0	21 SEP 2021	ISSUE PACKAGE
1	20 OCT 2021	ISSUE PACKAGE
2	15 NOV 2021	ISSUE PACKAGE

Registration

RYAN HARRIS
Professional Engineer
No. 1548
Iowa

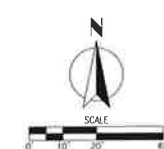
PRELIMINARY

Section Key Plan

Bar Code

Package
FULL BUILDOUT
Sheet Title Number
LANDSCAPE PLAN

DSM43-L-A1-D01



DSM43-L-A1-D01

Prepared by: Brian Portz, City of West Des Moines Development Services Dept., PO Box 65320, West Des Moines, Iowa
50265-0320 515-222-3620

When Recorded, Return to: City Clerk, City of West Des Moines, PO Box 65320, West Des Moines, IA 50265-0320

RESOLUTION

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF WEST DES MOINES, APPROVING A MAJOR MODIFICATION TO SITE PLAN TO ALLOW CONSTRUCTION OF A DATA CENTER BUILDING

WHEREAS, pursuant to the provisions of Title 9, Zoning, of the West Des Moines Municipal Code, the applicant and property owner, Microsoft Corporation, requests approval of Microsoft DSM 43 Major Modification to Site Plan for that property located at 11100 Booneville Road and legally described in attached Exhibit "B" for the purpose of constructing a 245,000 square foot data center building with associated parking lot; and

WHEREAS, studies and investigations were made, and staff reports, and recommendations were submitted which is made a part of this record and herein incorporated by reference; and

WHEREAS, the Major Modification to Site Plan complies with findings stated in the applicable provisions of Title 9, Chapter 1, Subsection 8, the Comprehensive Plan and City Code; and

WHEREAS, on December 27, 2023, the Planning and Zoning Commission recommended to the City Council, by a 6-0 vote, for approval of the Major Modification to Site Plan; and

WHEREAS, on this day the City Council held a duly noticed meeting to consider the application for the Major Modification to Site Plan.

NOW, THEREFORE, The City Council does approve the Microsoft DSM 43 Major Modification to Site Plan (MaM-006238-2023), subject to compliance with all of the conditions of approval, including any conditions added at the meeting, attached hereto as Exhibit "A". Violation of any such conditions shall be grounds for revocation of the permit, as well as any other remedy which is available to the City.

PASSED AND ADOPTED on January 2, 2024.

Greg Hudson, Presiding Officer

ATTEST:

Ryan Jacobson, City Clerk

I HEREBY CERTIFY that the foregoing resolution was duly adopted by the City Council of the City of West Des Moines, Iowa, at a regular meeting held on January 2, 2024, by the following vote.

Exhibit A: Conditions of Approval

1. The City Council agreeing to not require landscape islands in the parking lot as required by City Code due to security concerns with trees in the parking lot. Required parking lot trees shall be added to the buffer plantings.
2. The City Council allowing shrubs in lieu of trees to be planted within parking lot islands due to security concerns with trees in the parking lot. Required parking lot trees shall be added to the buffer plantings.
3. The City Council allowing gravel to be implemented around industrial buildings on the site to allow access to utility structures for maintenance purposes.

Exhibit B: Legal Description

LOT 1, GINGER WEST PLAT 1, AN OFFICIAL PLAT IN THE
CITY OF WEST DES MOINES, DALLAS COUNTY, IOWA.

**CITY OF WEST DES MOINES
STAFF REPORT COMMUNICATION**

Meeting Date: January 2, 2024

ITEM: 510 S. 19th Street Warehouse, 510 S. 19th Street – Approve Major Modification to Site Plan to allow construction of a warehouse – Dan Southwick – MaM-006084-2023

Resolution: Approval of Major Modification to Site Plan and Acceptance of Associated Legal Documents

Background: Dan Southwick with Bishop Engineering, on behalf of the property owner, Mark Eggers with DEGH, LLC, requests approval of the Major Modification to Site Plan for the approximately 3-acre property located at 1924 Fuller Road. The applicant proposes to construct a second warehouse building on the property. The new 25,585 square foot warehouse will be constructed south of the existing warehouse building on the property and will use the address 510 S 19th Street.

Staff Review & Comment:

- **Financial Impact:** The developer and the City entered into a development agreement that provided a 5-year, declining scale property tax rebate (TIF), with a capped assistance amount of \$100,000, and a minimum assessment agreement for the property in the amount of \$1,500,000, which is valid for ten years. As part of the agreement, the development is required to employ at least 5 full time employees throughout the life of the agreement. In addition, cost to the City will be for Staff time in the processing of development application(s) and inspections during construction.
- **Key Development Aspects:**
 1. **Architecture:** The design of the new warehouse will include vertical siding to match the existing building but will also have a stone veneer siding.
 2. **Irrevocable Offer of Dedication:** The property owner has agreed to dedicate five feet of right-of-way adjacent to the existing S 19th Street. This is because S. 19th Street is classified as a minor collector roadway which requires 70 feet of total right-of-way or 35 feet from the center of the right-of-way adjacent to the subject property. The existing right-of-way adjacent to this site is 30 feet. The property owner has provided an Irrevocable Offer of Right-of-Way Dedication for the remaining five feet of additional right-of-way to the City.

Additionally, Fuller Road is classified as a major collector roadway which requires 100 feet of total right-of-way or 50 feet from the center of the right-of-way adjacent to the subject property. The existing right-of-way adjacent to this site is 33 feet. The property owner has provided an Irrevocable Offer of Right-of-Way Dedication for the remaining right-of-way.

The City Council approval and acceptance of both Irrevocable Offers of Dedication is being requested as part of this Major Modification approval.

- Traffic Impact Study Findings: The Traffic Impact Study was completed on June 29, 2023. The proposed development is expected to generate slightly less traffic during an average weekday and slightly more traffic during the peak hours compared to what was previously estimated in full-build traffic modeling for the area. The existing roadway geometry and traffic control have adequate capacity to accommodate the proposed development.
- Vesting of Entitlement: Per City Code, entitlement (approval to construct or implement) shall remain in effect so long as substantial site work has progressed beyond grading and completion of structural foundations and twenty-five percent (25%) of the total building area has occurred above grade within twenty-four (24) months of the effective date of the approval, unless a greater time period is authorized at time of the original entitlement, or by approval of an extension of the original entitlement. It is the responsibility of the developer to be aware of this deadline and request an extension of the approval prior to the expiration date.

Outstanding Issues: There are no outstanding issues.

Planning and Zoning Commission Action:

Date: December 27, 2023
 Vote: 6-0 for approval, with Commissioner Conlin absent
 Recommendation: Approval of Major Modification

Recommendation: Approve the Major Modification to Site Plan request, subject to the applicant meeting all City Code requirements.

Lead Staff Member: Emani Brinkman

Approval Meeting Dates:

Planning and Zoning Commission	December 27, 2023
City Council	January 2, 2023

Staff Report Reviews:

Planning & Zoning Commission	<input checked="" type="checkbox"/> Development Coordinator (or) <input checked="" type="checkbox"/> Director	<input checked="" type="checkbox"/> Legal Department
City Council	<input checked="" type="checkbox"/> Director <input type="checkbox"/> Appropriations/Finance	<input type="checkbox"/> Legal Department <input checked="" type="checkbox"/> Agenda Acceptance <i>EB</i>

Publications (if applicable)

Published In:	Des Moines Register Community Section
Date(s) Published	n/a
Date(s) of Mailed Notices	n/a

Council Subcommittee Review (if applicable)

Subcommittee	Development & Planning
Date Reviewed	8/7/23 as Upcoming Project
Recommendation	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Split

Location Map



Vicinity Map – Land Uses



1924 FULLER RD WAREHOUSE SITE PLAN

PLANS INCLUDED ARE FOR ILLUSTRATIVE PURPOSES ONLY - APPROVED PLANS ON FILE WITH THE CITY

SHEET INDEX:

- C0.1 COVER SHEET
- C0.2 SITE SURVEY
- C1.1 DEMO PLAN
- C2.1 LAYOUT PLAN
- C3.1 GRADING PLAN
- C4.1 UTILITY PLAN
- C5.1 LANDSCAPE PLAN
- C6.1 DETAILS SHEET
- C7.1 SWPPP

PROPERTY DESCRIPTION:

WARRANTY DEED BOOK 1412 PAGE 289-402
LOTS ELEVEN (11), TWELVE (12), THIRTEEN (13), AND FOURTEEN (14)
(EXCEPT THE NORTHERLY 78.8 FEET OF LOT 14 AS SHOWN ON THE
NORTHWEST LOT LINE AND THE SOUTH EAST LOT LINE IN WEST
GRAND INDUSTRIAL ACRES PLAT ONE AN OFFICIAL PLAT NOW
INCLUDED AND FORMING PART OF THE CITY OF WEST DES
MOINES, POLK COUNTY, IOWA.

ADDRESS:
1924 FULLER ROAD, WEST DES MOINES, IOWA 50325

NEW WAREHOUSE ADDRESS
516 S 19TH STREET, WEST DES MOINES, IOWA 50325

OWNER:
DEGH LLC
1201 FULLER RD
WEST DES MOINES IA 50325

PREPARED FOR:

MARK EGGERS
PROJECT MANAGER & ESTIMATOR
WEGGERS CONSTRUCTION
2152 SADDLE
1924 FULLER RD
WEST DES MOINES, IA 50325

ZONING:
C-1 GENERAL INDUSTRIAL DISTRICT
COMPREHENSIVE PLAN ZONING & GENERAL INDUSTRIAL DISTRICT
MAX PERMITTED BUILDING HEIGHT: 40 FT
MAX ALLOWED BUILDING HEIGHT: 40 FT

SETBACKS:

FRONT SETBACK: 40 FT
REAR SETBACK: 35 FT
SIDE SETBACKS: 35 FT
SIDE SETBACK OF 6 ALLOWED IF ADJACENT TO SIMILAR
PROPERTY

PARKING REQUIREMENTS:

1 SPACE PER 1,000 S.F. = 25 SPACES
ADA ACCESSIBLE SPACES REQUIRED = 2 SPACES
TOTAL PARKING REQUIRED = 27 SPACES
PARKING PROVIDED = 27 SPACES
(INC. 2 ADA SPACES)

OPEN SPACE:

SITE AREA 17.01 S.F.
REQUIRED OPEN SPACE 20% = 26,835 S.F.

OPEN SPACE = 30,669 S.F. (23.7%)
IMPERVIOUS AREA:
PAVING AREA = 35,261 S.F. (25.9%)
IMPERVIOUS PAVEMENT = 85,741 S.F. (29.2%)
TOTAL IMPERVIOUS = 121,002 S.F. (75.1%)

BENCHMARK:
BASIS OF BEARING ASSUMED FOR THE PURPOSES OF
THIS SURVEY

UTILITY MAPS PROVIDED BY:

1. ELECTRIC - IOWA ONE CALL
2. STORM AND SANITARY CITY OF WEST DES MOINES - 515-222-3460
3. FIBER OPTIC
 - 3.1 CANTONIA - 619-344-6747
 - 3.2 ALIADA NETWORK SERVICES 515-422-0440
 - 3.3 VERIZON 817-774-1000
 - 3.4 IAN TEL PRIVATE NETWORKS 515-422-3558
4. GAS (MIDAM) 515-282-6620
5. WATER (WEST DES MOINES WATER WORKS) 515-222-2610



UTILITY NOTES:
THE LOCATION OF THE UTILITIES INDICATED ON THE PLANS HAVE BEEN TAKEN FROM THE FIELD SURVEY. EXISTING PUBLIC RECORDS AND PLANS PROVIDED BY OTHERS. SURFACE UTILITY LOCATIONS HAVE BEEN FIELD LOCATED BY 3:30-HP ENGINEERING UNLESS OTHERWISE NOTED. ALL UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE LOCATIONS ONLY. BISHOP ENGINEERING DOES NOT GUARANTEE THE UNDERGROUND LOCATION OF ANY UTILITIES SHOWN. IT SHALL BE THE DUTY OF THE CONTRACTOR TO DETERMINE THE LOCATION AND DEPTH OF ANY UNDERGROUND UTILITIES SHOWN AND IF ANY ADDITIONAL UTILITIES OTHER THAN THOSE SHOWN ON THE PLANS, MAY BE PRESENT A REQUEST BE MADE TO IOWA ONE CALL FOR UTILITY PROVIDERS TO VERIFY, LOCATE AND MARK THEIR UTILITIES IN THE FIELD.

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GENERAL NOTES:

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH WEST DES MOINES STANDARD CONSTRUCTION SPECIFICATIONS FOR SUBDIVISIONS AND ANY AND ALL CITY/COUNTY SUPPLEMENTAL SPECIFICATIONS. THE CITY OF WEST DES MOINES MUST BE NOTIFIED BY ALL CONTRACTORS 48 HOURS PRIOR TO COMMENCING WORK.
2. IN EVENT OF A DISCREPANCY BETWEEN THE QUANTITY ESTIMATES AND THE DETAILED PLANS, THE DETAILED PLANS SHALL GOVERN.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL UTILITIES. ANY DAMAGE TO SAID UTILITIES SHALL BE REPAIRED AT THE CONTRACTORS EXPENSE.
4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CURRENT OSHA CODES AND STANDARDS. NOTHING INDICATED ON THESE PLANS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH THE APPROPRIATE SAFETY REGULATIONS.
5. ALL NECESSARY CONSTRUCTION SIGNS, BARRICADES AND OTHER TRAFFIC CONTROL DEVICES REQUIRED DURING CONSTRUCTION WILL BE FURNISHED BY THE CONTRACTOR. SIGNS, BARRICADES AND OTHER TRAFFIC CONTROL DEVICES NOT IN CONFORMANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS.
6. BISHOP ENGINEERING SHALL NOT BE LIABLE FOR ANY DAMAGES THAT HAPPEN ON SITE. THIS SHALL INCLUDE BUT NOT BE LIMITED TO TRENCH COLLAPSES FROM VARYING SOIL CONDITIONS OR INJURIES CAUSED BY UNDERGROUND UTILITIES INCLUDING UTILITIES THAT ARE NOT SHOWN ON PLAN.
7. THE CONTRACTOR IS LIABLE FOR ALL DAMAGES TO PUBLIC OR PRIVATE PROPERTY CAUSED BY THEIR ACTION OR INACTION IN PROVIDING FOR STORM WATER FLOW DURING CONSTRUCTION. DO NOT RESTRICT FLOWS IN EXISTING DRAINAGE CHANNELS, STORM SEWER OR FACILITIES.
8. THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER A SCHEDULE FOR PERFORMANCE OF WORK ITEMS. THIS SCHEDULE SHALL BE PROVIDED BY THE CONTRACTOR AT THE PROJECT PRECONSTRUCTION CONFERENCE. NO WORK SHALL BEGIN UNTIL A SCHEDULE HAS BEEN SUBMITTED AND ACCEPTED. THE CONTRACTOR SHALL THEN PERFORM WORK TO CONFORM TO THE ACCEPTED SCHEDULE.
9. LABORATORY TESTS SHALL BE PERFORMED BY THE OWNER UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL PROVIDE SAMPLES OF MATERIAL REQUIRED FOR LABORATORY TESTS AND TESTING IN ACCORDANCE WITH THE UNDERSTANDING SPECIFICATIONS FOR PUBLIC IMPROVEMENTS.
10. SOIL IMPORT OR EXPORT ON THIS PROJECT SHALL BE OBSERVED, STANDARD AND WILL NOT BE MEASURED OR PAID FOR SEPARATELY.
11. THE CONTRACTOR SHALL PROTECT ALL STRUCTURES NOT SHOWN AS REMOVALS ON THE PLANS.
12. THE CONTRACTOR SHALL OBTAIN ANY AND ALL NECESSARY PERMITS PRIOR TO ANY CONSTRUCTION. CONTRACTOR SHALL WORK WITH OWNER OR OWNERS REPRESENTATIVE ON ALL REQUIRED STORM WATER DRAINAGE PERMITS FROM THE IOWA DEPARTMENT OF NATURAL RESOURCES AND THE CITY OF WEST DES MOINES.
13. GRADING AND EROSION CONTROL SHALL BE DONE IN ACCORDANCE WITH THE APPROVED GRADING PLAN, SWPPP, WQSC DOCUMENTS, AND IOWA DEPARTMENT OF NATURAL RESOURCES REQUIREMENTS.
14. THE CONTRACTOR SHALL PICK UP ANY DEBRIS SPILLED ONTO THE ADJACENT RIGHT OF WAY OR ADJACENT PROPERTIES AS THE RESULT OF CONSTRUCTION, AT THE END OF EACH WORK DAY.
15. THE CONTRACTOR IS RESPONSIBLE FOR THE PROMPT REMOVAL OF ALL MUD THAT HAS BEEN TRACKED OR WASHED SAID ADJACENT PROPERTY OR RIGHT OF WAY UNTIL SUCH TIME THAT PERMANENT VEGETATION HAS BEEN ESTABLISHED.
16. COURSE OF ALL EXCESS MATERIALS AND TRASH IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REQUIREMENTS. PROVIDE WASTE AREAS OR DISPOSAL SITES FOR EXCESS MATERIALS NOT DESIRABLE FOR INCORPORATION INTO THE PROJECT.
17. ALL CONNECTIONS TO EXISTING PUBLIC STRUCTURES SHALL BE CORE DRILLED.
18. ALL PUBLIC SEWERS CONSTRUCTED AS PART OF THESE PLANS WILL BE TELEVIEWED BY THE CITY OF WEST DES MOINES AS PART OF THE FINAL INSPECTION. NOTIFY WEST DES MOINES PUBLIC SERVICES (ROW WHEN 5:30-6:00AM) 48 HOURS BEFORE INSPECTION.
19. IF ADDITIONAL PAVEMENT REMOVAL IS REQUIRED OTHER THAN A STANDARD BOX CUT, FULL PANEL REMOVAL WILL BE REQUIRED. NO HALF PANEL REMOVAL WILL BE ALLOWED.
20. FOR MAINTENANCE: THE CONTRACTOR SHALL SUBMIT THE PCC MIX DESIGN TO THE WEST DES MOINES ENGINEERING SERVICES DEPARTMENT (801 VOLKLESTER 222-3475) A MINIMUM OF 24 HOURS PRIOR TO PLACEMENT. THE CONTRACTOR SHALL USE THE SAME PCC MIX SOURCE FOR A MINIMUM OF 500 SQUARE YARDS OF CONTIGUOUS PAVING.
21. AT LEAST ONE WEEK PRIOR TO ANY CONSTRUCTION WITH PUBLIC ROW, ASSESSMENTS AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, THE CONTRACTOR SHALL CONTACT THE WEST DES MOINES ENGINEERING SERVICES DEPARTMENT (801 VOLKLESTER 222-3475) TO OBTAIN APPLICABLE CITY PERMITS THAT MAY BE NECESSARY.
22. ALL CONNECTIONS WITH PUBLIC RIGHT-OF-WAY OR EASEMENTS AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH THE WEST DES MOINES STANDARD CONSTRUCTION SPECIFICATIONS FOR SUBDIVISIONS AND THE WEST DES MOINES METROPOLITAN DESIGN STANDARDS MANUAL WITH WEST DES MOINES ADDENDUM.
23. COORDINATE STAGING AND TRAFFIC CONTROL WITH WDM EMERGENCY SERVICES.
24. LAND CLOSURE NOTICES MUST BE SUBMITTED TO WEST DES MOINES PUBLIC SERVICES FOR APPROVAL A MINIMUM OF 48 HOURS IN ADVANCE TO CLOSURE.
25. ALL WATER WORK, PUBLIC OR PRIVATE, SHALL BE DONE IN ACCORDANCE WITH WEST DES MOINES WATER WORKS STANDARD SPECIFICATIONS.
26. CONTRACTOR SHALL NOTIFY WEST DES MOINES WATER WORKS AT LEAST ONE WEEK PRIOR TO BUILDING CONSTRUCTION.
27. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK OF ALL SUBCONTRACTORS AND/OR OTHERS IN THE PROJECT.
28. CONTACT BUILDING INSPECTION (515-222-3636) A MINIMUM OF 24 HOURS IN ADVANCE OF PRIVATE UTILITY INSTALLATION INSPECTIONS.
29. DEGRADED BUFFERS SHALL BE LABELED AS A "NO BUILD AREA".
30. ALL LIGHTS ARE TO BE DOWNCAST OUTOFF VARIETY. WALKWAYS ARE PROHIBITED. THE MAXIMUM ILLUMINATION ALLOWED AT THE PROPERTY LINE IS FOOTCANDLE.
31. PAVEMENT REMOVAL SHALL BE TO THE NEAREST TRANSVERSE AND LONGITUDINAL JOINT. VERIFY REMOVAL LIMITS WITH HIGH CONSTRUCTION INSPECTOR PRIOR TO ANY REMOVAL.

PAVING NOTES:

1. THE PAVING CONTRACTOR SHALL BACKFILL THE PAVING SLAB AND FINE GRADE THE RIGHT OF WAY AS SOON AFTER THE PAVING AS POSSIBLE. ALL AREAS SHALL BE SEEDED IN ACCORDANCE WITH CITY OF WEST DES MOINES STANDARD SPECIFICATIONS AND THE CURRENT VERSION OF USDA.
2. SUBGRADE PREPARATION AND PAVING SHALL BE CONSTRUCTIVE FOLLOWING RECOMMENDATIONS IN THE SOIL REPORT. APPROVED SOILS ENGINEER MUST SIGN OFF ON SUB GRADE PRIOR TO ANY PAVEMENT BEING PLACED.
3. SEE DETAILS FOR ALL PAVEMENT THICKNESS.
4. ALL PEDESTRIAN WALKWAYS THAT UNLOAD INTO A VEHICLES TRAVEL PATH MUST HAVE A DETECTABLE WARNING PANEL(S) AS PER A.D.A. REGULATIONS. PANEL TYPE & COLOR SHALL BE PER CITY STANDARD.
5. ALL RAILS, PARALLEL COTS, HANGOFF PARKING, RAFFLE ETC. SHALL COMPLY WITH ALL A.D.A. AND CITY CODES. HANGOFF PARKING BOWSHES IS REQUIRED FOR ALL HANDOFF AREAS AND SHALL BE CONSIDERED INCIDENTAL. IN EVENT OF A DISCREPANCY BETWEEN THE PLANS AND THE A.D.A. CITY CODES THE A.D.A. CITY CODES SHALL GOVERN. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING A.D.A. CODES ARE MET.

UTILITY NOTES:

1. QUANTITY CALCULATIONS ON PIPE LENGTHS ARE APPROXIMATE AND SHOULD BE USED FOR REFERENCE ONLY.
2. THE CONTRACTOR SHALL PROVIDE AS-BUILTS OF ALL UTILITIES, INCLUDING DEPTH AND LOCATION OF ALL SERVICES.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION AND ALL COSTS ASSOCIATED WITH AS-BUILT TOP OF DETENTION POND & DETENTION POND STORM SEWER. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING 3:30-HP ENGINEERING (DAVID BENZ AT 515-276-0447) TO PERFORM SAID AS-BUILT SURVEY. IF DETENTION POND HAVE BEEN GRADED INDEPENDENTLY, CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SUBSEQUENT AS-BUILT TOP SURVEYS UNTIL RESULTS HAVE BEEN NOTIFIED.
4. THE CONTRACTOR SHALL COORDINATE THE ADJUSTMENT OF ANY AND ALL EXISTING AND PROPOSED UTILITIES TO PROPOSED GRADES. EXISTING UTILITIES SHALL BE RAISED OR LOWERED IN ACCORDANCE WITH THE UTILITY OWNER REQUIREMENTS. ANY NECESSARY ADJUSTMENTS SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION.
5. ACTIVE EXISTING FIELD TILES ENCOUNTERED DURING CONSTRUCTION SHALL BE REPAIRED. REPAIRS ON CONNECTED TO PUBLIC OR PRIVATE STORM SEWER TO REMAIN IN SERVICE.
6. ALL PROPOSED RCP STORM SEWER PIPE JOINTS SHALL BE FABRIC WRAPPED AND THE LAST 3 PIPE SECTIONS ON THE AROUND SHALL BE TIED WITH 8" x 14" TYPE II CONNECTIONS. ALL APPROX SHALL HAVE A STANDARD FOOTING AND TRAP GUARD.
7. ALL RIP RAP CALLED OUT ON PLANS SHALL BE UNDERLAIN WITH ENGINEERING FABRIC.
8. SANITARY SEWER SERVICE CONNECTIONS SHALL BE PLACED AT A SLOPE OF NO LESS THAN 2%. SERVICES SHALL MAINTAIN 18" OF VERTICAL SEPARATION FROM THE WATERMAIN WITH 18" OF COMPACTED LOW PERMEABILITY SOIL BETWEEN THE UTILITIES WITHIN 10' OF THE CROSSING.
9. MANHOLE AND PRESSURE TESTS SHALL BE REQUIRED FOR ALL PROPOSED SANITARY LINES. TELEVIEWING OF THE SANITARY SEWER SYSTEM SHALL BE COMPLETED PRIOR TO PAVING UNLESS OTHERWISE APPROVED BY JURISDICTION.
10. WATERWAYS SHALL BE C 50 SIZE OF WATERMAIN AS SHOWN ON PLANS.
11. THURST BLOCKS SHALL BE INSTALLED AS REQUIRED AND SHALL BE CONSIDERED INCIDENTAL TO WATERMAIN CONSTRUCTION.
12. PROPOSED WATERMAIN SHALL BE PRESSURE TESTED, BACTERIA TESTED AND CHLORINATED. THE FILLING OF THE WATER MAIN SHALL BE DONE BY THE CITY OF WEST DES MOINES.
13. TRACER WIRE SHALL BE ADDED TO ALL WATERMAIN, AND BROUGHT TO THE SURFACE AT EVERY HYDRANT.
14. ALL HYDRANTS WILL IMMEDIATELY BE COVERED WITH A BLACK PLASTIC BAG (OR EQUIVALENT) ONCE THE HYDRANT IS INSTALLED. THE CITY OF WEST DES MOINES WILL NOTIFY THE CONTRACTOR WHEN THE BAGS CAN BE REMOVED.
15. THE MINIMUM WINDLIFT LEAD SHALL BE 3.5 FEET.
16. BUILDING FIRE SPRINKLER AND ALARM SYSTEMS WILL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH THE CITY OF WEST DES MOINES FIRE CODE REQUIREMENTS.

UTILITY CONFLICT NOTES:

1. UTILITY CONFLICTS MAY EXIST ACROSS THE SITE WITH UTILITIES, GRADING, PAVING ETC. MOST UTILITY CONFLICTS HAVE BEEN CALLED OUT FOR CONTRACTOR CONFORMANCE.
2. CONTRACTOR IS RESPONSIBLE FOR ALL UTILITY CONFLICTS THAT ARE EITHER CALLED OUT ON THE PLANS OR THAT CAN BE SEEN ON THE PLANS BETWEEN AN EXISTING UTILITY AND PROPOSED CONSTRUCTION.

SURVEY NOTES:

1. SURVEY WORK WAS COMPLETED BY BISHOP ENGINEERING ON 12-04-2023. SEE SITE SURVEY PROVIDED AS PART OF THIS SET OF PLANS FOR EXISTING SITE CONDITIONS AND BOUNDARY INFORMATION.

WETLAND NOTES:

1. BISHOP ENGINEERING DOES NOT PERFORM WETLAND STUDIES OR WETLAND MITIGATION. IT IS THE OWNER'S RESPONSIBILITY TO DETERMINE IF WETLANDS ARE LOCATED ON THE PROJECT SITE AND PERFORM ANY NECESSARY MITIGATION PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES.



ABBREVIATIONS:

- AC ACRES
- ASPH ASPHALT
- BK BOOK
- CONC CONCRETE
- DESER DISTANCE
- EX EXISTING
- ENCL ENCLOSURE
- FF FINISHED FLOOR
- FL FLOW LINE
- FRACT FRACTIONAL
- MH MEASURED DISTANCE
- MI MANHOLE
- DRN DRAINAGE PLASTIC CAP
- P PLATED DISTANCE
- POS POINT
- POB POINT OF BEGINNING
- PDC POINT OF COMMENCEMENT
- PREV PREVIOUSLY RECORDED
- PUE PUBLIC UTILITY EASEMENT
- ROW RIGHT OF WAY
- RCP RCP PLASTIC CAP
- SF SQUARE FEET
- SAN SANITARY
- TRP TRYPICAL
- YPC YELLOW PLASTIC CAP
- N NORTH
- S SOUTH
- E EAST
- W WEST

LEGEND

- SAN — SANITARY SEWER
- ST — STORM SEWER
- W — WATER LINE
- GAS — GAS LINE
- U — UNDERGROUND ELECTRIC
- O — OVERHEAD ELECTRIC
- TEL — TELEPHONE LINE
- F — FIBER OPTIC
- CTV — CABLE TV
- ⊗ STORM MANHOLE
- ⊕ CURB INTAKE
- SURFACE INTAKE
- ⊖ FLARED END SECTION
- ⊙ ROOF DRAIN
- ⊙ KNOCKOUT
- ⊙ SANITARY MANHOLE
- ⊙ CLEANOUT
- ⊙ FIRE HYDRANT
- ⊙ SPRINKLER
- ⊙ IRRIGATION CONTROL VALVE
- ⊙ WATER MANHOLE
- ⊙ WELL
- ⊙ WATER VALVE
- ⊙ WATER SHUT OFF
- ⊙ YARD HYDRANT
- ⊙ FLAGPOLE
- ⊙ ELECTRIC MANHOLE
- ⊙ ELECTRIC METER
- ⊙ ELECTRIC RISER
- ⊙ ELECTRIC VAULT
- ⊙ TRANSFORMER POLE
- ⊙ TRANSFORMER POLE
- ⊙ LIGHT POLE
- ⊙ ELECTRIC JUNCTION BOX
- ⊙ ELECTRIC PANEL
- ⊙ TRANSFORMER
- ⊙ GROUND LIGHT
- ⊙ GUY WIRE
- ⊙ ELECTRIC MANHOLE
- ⊙ GAS METER
- ⊙ GAS VALVE
- ⊙ AIR CONDITIONING UNIT
- ⊙ TELEPHONE RISER
- ⊙ TELEPHONE VAULT
- ⊙ TELEPHONE MANHOLE
- ⊙ TRAFFIC SIGNAL MANHOLE
- ⊙ FIBER OPTIC MANHOLE
- ⊙ FIBER OPTIC RISER
- ⊙ FIBER OPTIC VAULT
- ⊙ CABLE TV RISER
- ⊙ SIGN
- ⊙ BOLLARDS
- ⊙ DENOTES NUMBER OF PARKING STALLS
- ⊙ PROPERTY CORNER - FOUND AS NOTED
- ⊙ PROPERTY CORNER - PLACED 8" IRON ROD WITH YELLOW PLASTIC CAP IF 8" XXXXX OR AS NOTED
- ⊙ SECTION CORNER - FOUND AS NOTED
- ⊙ SITE CONTROL POINT - MONUMENT AS NOTED



I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

DATE: 12-04-2023

ISSUED: 12-04-2023

PROJECT NUMBER: 210282

SHEET NUMBER: C0.1

DATE: 12-04-2023

PROJECT NUMBER: 210282

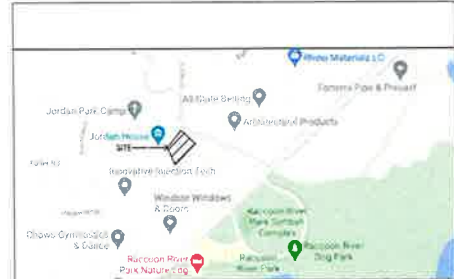
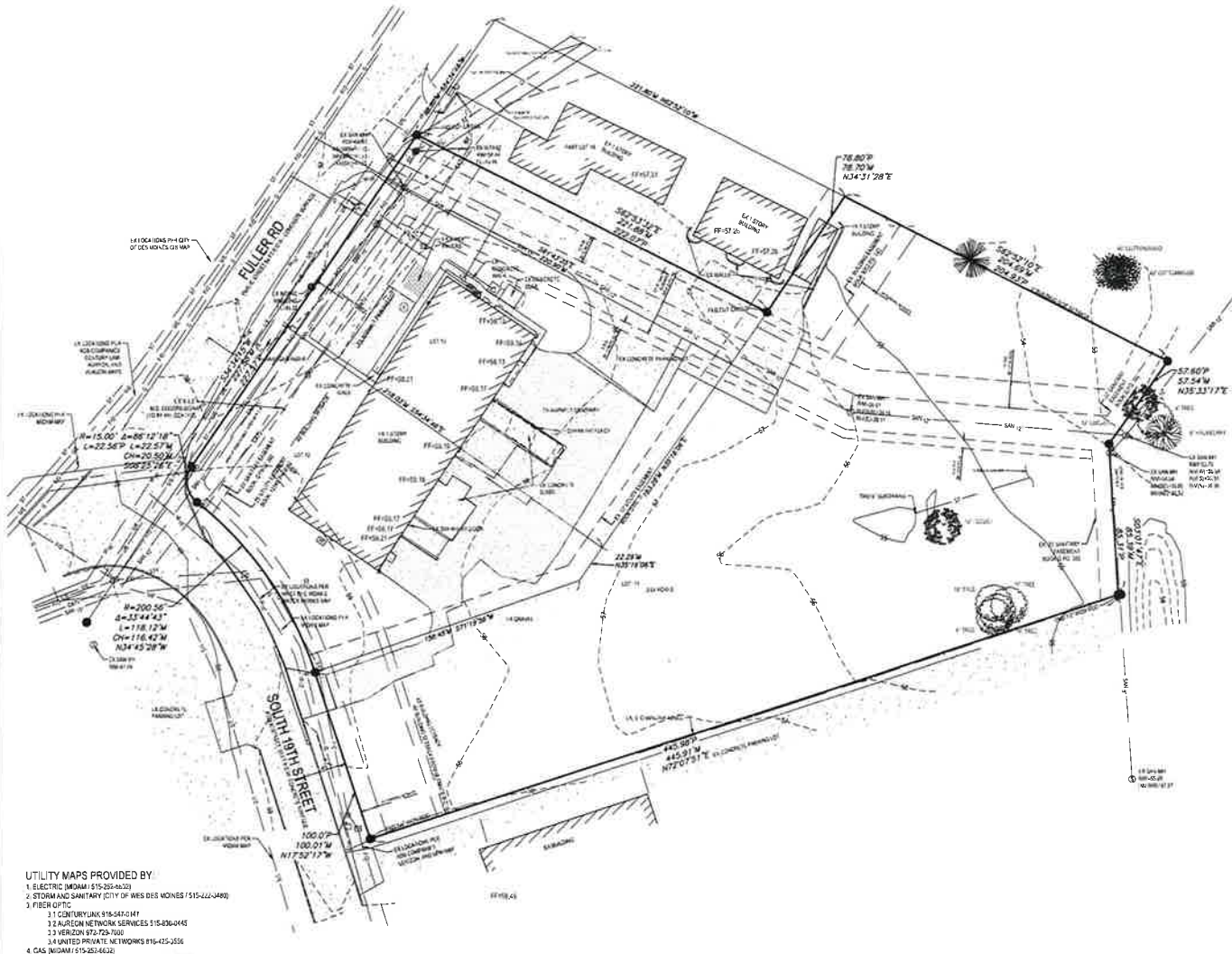
SHEET NUMBER: C0.1



1924 FULLER RD
WEST DES MOINES, IOWA
COVER SHEET

DRAWN BY: JS
CHECKED BY: JET
REVISION DATE: 10-09-2023 CITY SUBMITTAL
07-21-2023 CITY SUBMITTAL
10-21-2023 CITY SUBMITTAL
12-04-2023 ISSUED

1924 FULLER RD SITE SURVEY



VICINITY MAP
NOT TO SCALE

PROPERTY DESCRIPTION:
MINIMUM DEED BOOK 4811 PAGE 19-20
LOTS ELEVEN (11), TWELVE (12), THIRTEEN (13) AND
FOURTEEN (14) (EXCEPT THE NORTHERLY 73.8 FEET OF LOT
14 AS MEASURED ON THE NORTHWEST LOT LINE AND THE
SOUTHEAST LOT LINE) IN WEST GRAND INDUSTRIAL ACRES
PLAT ONE, AN OFFICIAL PLAT NOW INCLUDED IN AND
FORMING A PART OF THE CITY OF WEST DES MOINES, POLK
COUNTY, IOWA.

ADDRESS:
1924 FULLER ROAD
WEST DES MOINES, IOWA 52265

OWNER:
DISH, LLC
5811 WOODLAND ROAD
DES MOINES, IOWA 50312

PREPARED FOR:
MARK EGGER
PROJECT MANAGER & ESTIMATOR
MO EGGER CONSTRUCTION
17528-2025
1924 FULLER RD
WEST DES MOINES, IA 50265

ZONING:
ZONING IS DETERMINED FROM
WEST DES MOINES MUNICIPAL CODE
MINIMUM FRONT SETBACK: 40'
MINIMUM REAR SETBACK: 35'
MINIMUM SIDE SETBACK: 35'
SEE SETBACK OF 2' ALLOWED IF ABUTS A SIMILAR
DISTRICT

SITE CONTROL AND BENCHMARKS:
BASIS OF BEARING ASSUMED FOR THE PURPOSES OF
THIS SURVEY

WEST DES MOINES BENCHMARK ID #546
NORTHING = 580,348.26
EASTING = 1,578,854.85
NAVD88 ELEVATION = +219.87
WEST DES ELEVATION = +48.55
DESCRIPTION: SW CORNER OF GRAND AVENUE AND E.P.
TRUIE PARKWAY, 30 FEET WEST OF BACK OF MAIN ROAD BY
18 FT SOUTH OF TRAFFIC SIGNAL POLE AT THE SW CORNER
OF E.P. TRUIE PARKWAY AND GRAND AVENUE

WEST DES MOINES BENCHMARK ID #126
NORTHING = 572,229.83
EASTING = 1,576,398.15
NAVD88 ELEVATION = +63.23
WEST DESM ELEVATION = 59.22
DESCRIPTION: SW CORNER OF GRAND AVENUE AND E.P.
TRUIE PARKWAY, 30 FEET WEST OF BACK OF MAIN ROAD BY
18 FT SOUTH OF TRAFFIC SIGNAL POLE AT THE SW CORNER
OF E.P. TRUIE PARKWAY AND GRAND AVENUE

ABBREVIATIONS:
AC ACRES
ASPH ASPHALT
BK BODK
CONC CONCRETE
D DEEDED DISTANCE
EA EXISTING
ENCL ENCLOSURE
FF FURNISHED FLOOR
FL FLOW LINE
FRAC FRACTIONAL
M MEASURED DISTANCE
MH MANHOLE
OPC ORANGE PLASTIC CAP
P PLATTED DISTANCE
PG PAGE
PGB POINT OF BEGINNING
PCC POINT OF COMMENCEMENT
PRA PREVIOUSLY RECORDED AS
PUE PUBLIC UTILITY EASEMENT
R RIGHT OF WAY
RPC RED PLASTIC CAP
SF SQUARE FEET
SAN SANITARY
TYP TYPICAL
YPC YELLOW PLASTIC CAP
N NORTH
S SOUTH
E EAST
W WEST

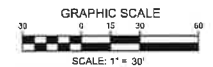
- LEGEND:**
- SAN — SANITARY SEWER
 - ST — STORM SEWER
 - W — WATER LINE
 - G — GAS LINE
 - UE — UNDERGROUND ELECTRIC
 - OE — OVERHEAD ELECTRIC
 - TEL — TELEPHONE LINE
 - FIB — FIBER OPTIC
 - CATV — CABLE TV
 - ⊙ STORM MANHOLE
 - ⊙ CURB INTAKE
 - ⊙ SURFACE INTAKE
 - ⊙ FLARED END SECTION
 - ⊙ SANITARY MANHOLE
 - ⊙ CLEANOUT
 - ⊙ FIRE HYDRANT
 - ⊙ SPRINKLER
 - ⊙ IRRIGATION CONTROL VALVE
 - ⊙ WATER MANHOLE
 - ⊙ WELL
 - ⊙ WATER VALVE
 - ⊙ WATER SHUT OFF
 - ⊙ YARD HYDRANT
 - ⊙ ELECTRIC MANHOLE
 - ⊙ ELECTRIC METER
 - ⊙ ELECTRIC RISER
 - ⊙ ELECTRIC VAULT
 - ⊙ POWER POLE
 - ⊙ TRANSFORMER POLE
 - ⊙ LIGHT POLE
 - ⊙ ELECTRIC JUNCTION BOX
 - ⊙ ELECTRIC PANEL
 - ⊙ TRANSFORMER
 - ⊙ GROUND LIGHT
 - ⊙ GUY WIRE
 - ⊙ ELECTRIC MANHOLE
 - ⊙ GAS METER
 - ⊙ GAS VALVE
 - ⊙ AIR CONDITIONING UNIT
 - ⊙ TELEPHONE RISER
 - ⊙ TELEPHONE VAULT
 - ⊙ TELEPHONE MANHOLE
 - ⊙ TRAFFIC SIGNAL MANHOLE
 - ⊙ FIBER OPTIC MANHOLE
 - ⊙ FIBER OPTIC RISER
 - ⊙ FIBER OPTIC FAULT
 - ⊙ CABLE TV RISER
 - T — TIE
 - ⊙ BOLLARD
 - ⊙ DENOTES NUMBER OF PARKING STALLS
 - ⊙ PROPERTY CORNER - FOUND IRON PIPE ORANGE PLASTIC CAP 12" DIA
 - ⊙ PROPERTY CORNER - PLACED 3" IRON PIPE WITH YELLOW PLASTIC CAP 1.5" DIA
 - ⊙ SECTION CORNER - FOUND AS NOTED
 - ▲ SITE CONTROL POINT - MONUMENT AS NOTED

- UTILITY MAPS PROVIDED BY:**
1. ELECTRIC (MOM) 515-254-6232
 2. STORM AND SANITARY (CITY OF WEST DES MOINES) 515-424-4490
 3. FIBER OPTIC
 - 3.1 COMTEK/UNIK 515-542-0147
 - 3.2 AUREON NETWORK SERVICES 515-436-0445
 - 3.3 VERIZON 870-729-7000
 - 3.4 UNITED PRIVATE NETWORKS 515-425-3556
 4. GAS (MOM) 515-252-4632
 5. WATER (WEST DES MOINES WATER WORKS) 515-424-4490



UTILITY NOTE
THE LOCATION OF THE UTILITIES INDICATED ON THE PLANS HAVE BEEN TAKEN FROM THE FIELD SURVEY. EXISTING PUBLIC RECORDS AND PLANS PROVIDED BY OTHERS. SURFACE UTILITY LOCATIONS HAVE BEEN FIELD LOCATED BY BISHOP ENGINEERING. UNLESS OTHERWISE NOTED, ALL UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE LOCATIONS ONLY. BISHOP ENGINEERING DOES NOT GUARANTEE THE ANCHORAGE LOCATION OF ANY UTILITY SECTION. IT SHALL BE THE DUTY OF THE CONTRACTOR TO DETERMINE THE LOCATION AND DEPTH OF ANY UNDERGROUND UTILITIES SHOWN AND IF ANY ADDITIONAL UTILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT, A REQUEST HAS MADE TO IOWA ONE CALL FOR UTILITY PROVIDERS TO VERIFY, LOCATE, AND MARK THEIR UTILITIES IN THE FIELD.

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FIELD WORK COMPLETED ON: 5/13/2021
ADDITIONAL FIELD WORK COMPLETED ON: 6/11/2021

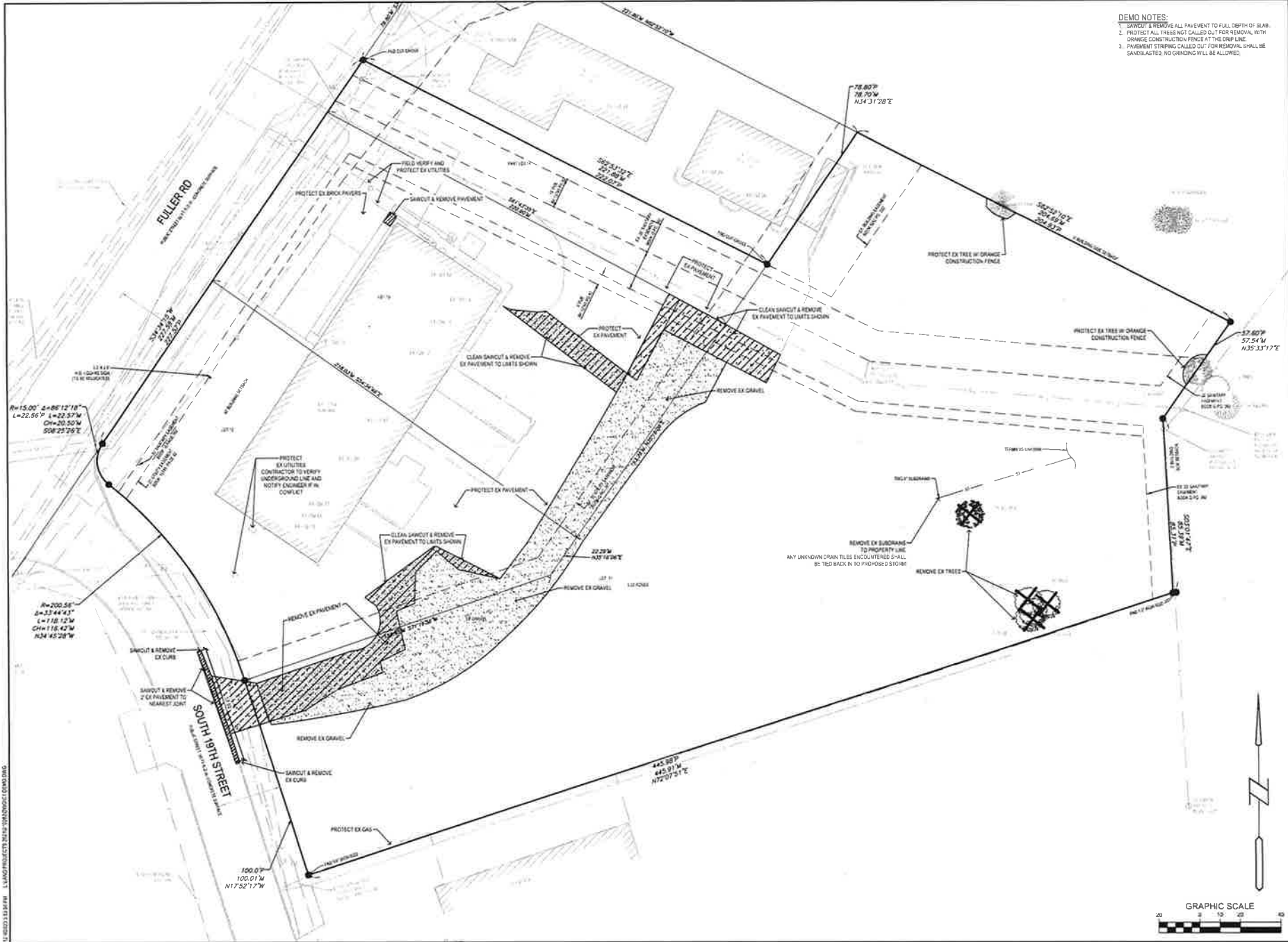
Bishop Engineering
"Planning Your Successful Development"

3501 104th Street
Des Moines, Iowa 50323, MOI
Phone: (515) 276-6676 Fax: (515) 276-0717
Civil Engineering & Land Surveying
Established 1999

1924 FULLER ROAD
WEST DES MOINES, IOWA 50265

SITE SURVEY

PROJECT NUMBER: _____
DRAWN BY: MDH
CHECKED BY: _____
DATE: 06-09-2023
CITY SUBMITTAL: 07-21-2023
CITY SUBMITTAL: 08-14-2023
SURVEY UPDATE: _____
PROJECT NUMBER: _____
SHEET NUMBER: **C0.2**



DEMO NOTES:
 1. SARCUT & REMOVE ALL PAVEMENT TO FULL DEPTH OF SLAB.
 2. PROTECT ALL TREES NOT CALLED OUT FOR REMOVAL WITH ORANGE CONSTRUCTION FENCE AT THE DUMP LINE.
 3. PAVEMENT STRIPS CALLED OUT FOR REMOVAL SHALL BE SANDBLASTED. NO GRINDING WILL BE ALLOWED.

Bishop Engineering
 "Planning Your Successful Development"
 3501 104th Street
 Des Moines, Iowa 50322-3825
 Phone: (515) 276-6467 Fax: (515) 276-0117
 Civil Engineering & Land Surveying Established 1959

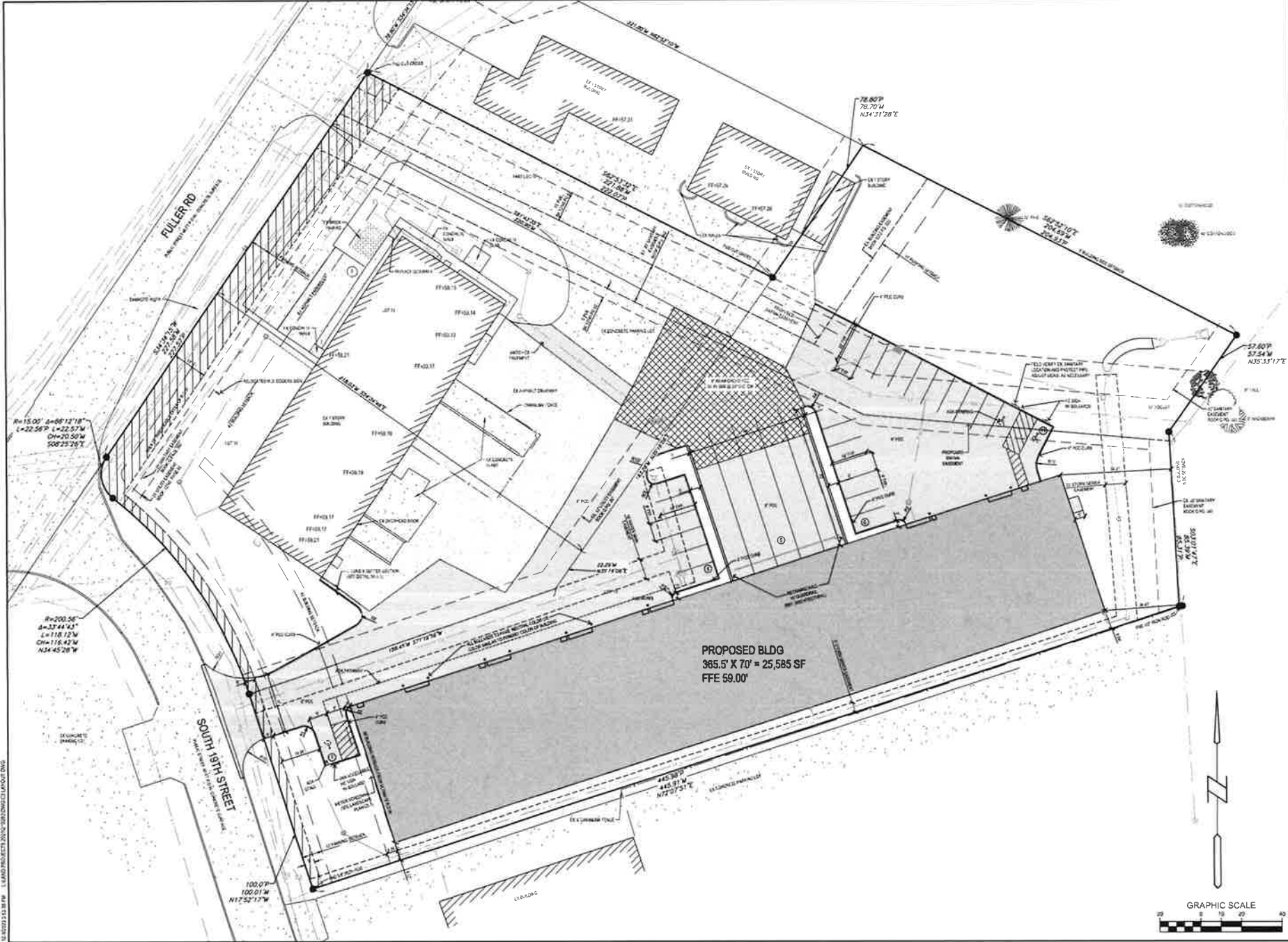
**1924 FULLER RD
 WEST DES MOINES, IOWA**

DATE: 07/11/2011
 DRAWN BY: JG
 CHECKED BY: JG
 REVISION DATE:
 08-09-2011 CITY SUBMITTAL
 07-21-2012 CITY SUBMITTAL
 08-21-2012 CITY SUBMITTAL
 12-04-2012 3RD CD

PROJECT NUMBER:
210282
 SHEET NUMBER:
C1.1



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U:\2025\13.34.W - LAND PROJECTS\2025\2025C2\LAYOUT.DWG

Bishop Engineering
 "Planning Your Successful Development"

3501 104th Street
 Des Moines, Iowa 50322-9825
 Phone: 515.281.4841 Fax: 515.281.6917
 Civil Engineering & Land Surveying Established 1959

1924 FULLER RD
 WEST DES MOINES, IOWA

LAYOUT PLAN

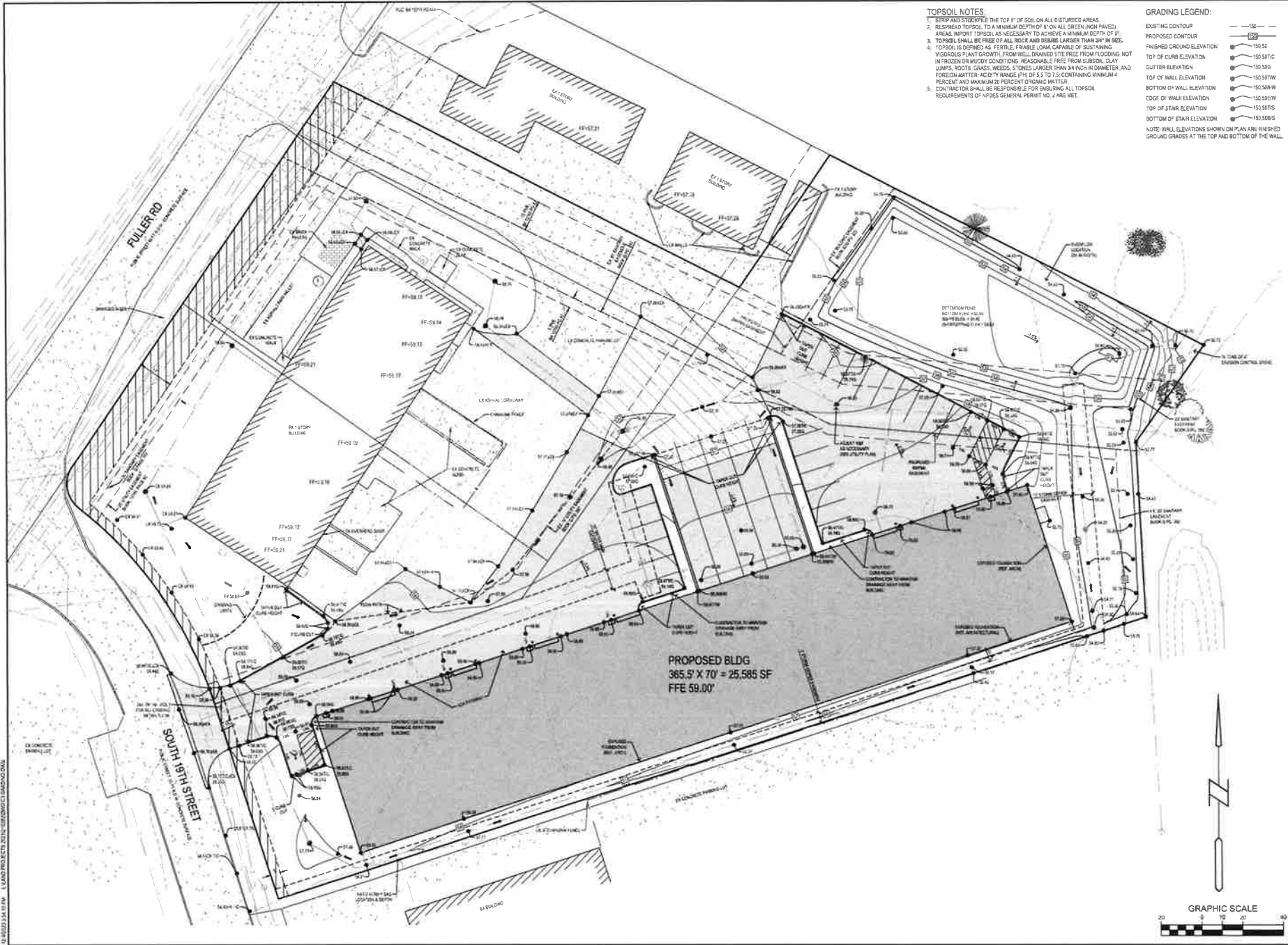
DATE: 10/25/25
 DRAWN BY: JG
 CHECKED BY: JG

SUBJECT NUMBER: 210282

SHEET NUMBER: C2.1

GRAPHIC SCALE





TOPSOIL NOTES:

1. STRIP AND STOCKPILE THE TOP 8" OF SOIL ON ALL DISTURBED AREAS.
2. REAPPLY TOPSOIL TO A MINIMUM DEPTH OF 8" ON ALL GREEN (NON PAVED) AREAS. IMPORT TOPSOIL AS NECESSARY TO ACHIEVE A MINIMUM DEPTH OF 8".
3. TOPSOIL SHALL BE FREE OF ALL ROCK AND DEBRIS LARGER THAN 3/4" IN SIZE.
4. TOPSOIL IS DEFINED AS: FERTILE, FRIABLE LOAM CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH. FROM WELL DRAINED SITE FREE FROM FLOODING NOT IN FROZEN OR MUDDY CONDITIONS. REASONABLY FREE FROM SUBSOIL, CLAY LUMPS, ROOTS, GRASS, WEEDS, STONES LARGER THAN 3/4" IN DIAMETER AND FOREIGN MATTER. ACIDITY RANGE (PH) OF 5.5 TO 7.5; CONTAINING MINIMUM 4 PERCENT AND MAXIMUM 10 PERCENT ORGANIC MATTER.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ALL TOPSOIL REQUIREMENTS OF VPDES GENERAL PERMIT NO. 7 ARE MET.

GRADING LEGEND:

- EXISTING CONTOUR
- PROPOSED CONTOUR
- FINISHED GRADE ELEVATION
- TOP OF CURB ELEVATION
- CUTTER ELEVATION
- GUTTER ELEVATION
- BOTTOM OF WALL ELEVATION
- EDGE OF WALK ELEVATION
- TOP OF STAIR ELEVATION
- BOTTOM OF STAIR ELEVATION

NOTE: WALL ELEVATIONS SHOWN ON PLAN ARE FINISHED GRADE GRADES AT THE TOP AND BOTTOM OF THE WALL.

PROPOSED BLDG
365.5' X 70' = 25,585 SF
FFE 59.00'



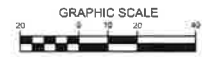
3501 TOMPKINS STREET
WEST DES MOINES, IOWA 50322-3825
PHONE: 515.282.4467 FAX: 515.282.0217

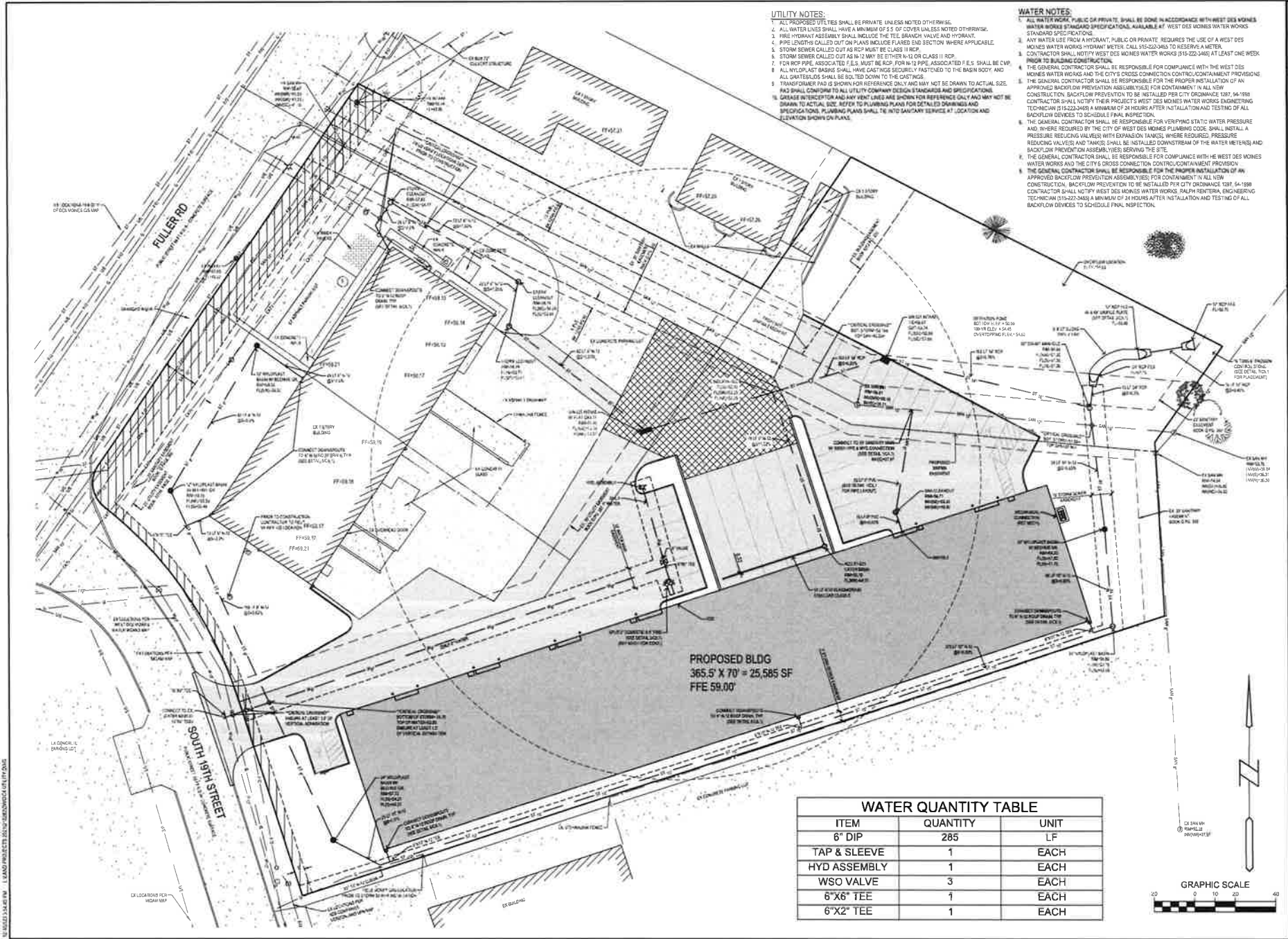
Civil Engineering & Land Surveying Established 1959

1924 FULLER RD
WEST DES MOINES, IOWA
GRADING PLAN

REVISION NUMBER
DRAWN BY: JG
CHECKED BY: JEL
PROJECT DATE:
10-20-2023 CITY NUMBER:
17-1-1023 CITY NUMBER:
18-1-1023 CITY NUMBER:
13-04-2023 36460

PROJECT NUMBER
210282
11-23 1/4" X 17"
C3.1



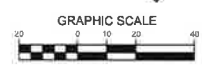


- UTILITY NOTES:**
1. ALL PROPOSED UTILITIES SHALL BE PRIVATE UNLESS NOTED OTHERWISE.
 2. ALL WATER LINES SHALL HAVE A MINIMUM OF 5' OF COVER UNLESS NOTED OTHERWISE.
 3. FIRE HYDRANT ASSEMBLY SHALL INCLUDE THE TEE, BRANCH VALVE AND HYDRANT.
 4. PIPE LENGTHS CALLED OUT ON PLANS INCLUDE FLARED END SECTION WHERE APPLICABLE.
 5. STORM SEWER CALLED OUT AS 18" RCP MUST BE CLASS III RCP.
 6. STORM SEWER CALLED OUT AS 12" MAY BE EITHER 11" OR CLASS III RCP.
 7. FOR RCP PIPE ASSOCIATED F.E.S. MUST BE RCP. FOR 12" PIPE ASSOCIATED F.E.S. SHALL BE CVP.
 8. ALL VCP OR ACP BASKS SHALL HAVE CASTINGS SECURELY FASTENED TO THE BASK BODY AND ALL GATEVALVES SHALL BE BOLTED DOWN TO THE CASTINGS.
 9. TRANSFORMER PAD IS SHOWN FOR REFERENCE ONLY AND MAY NOT BE DRAWN TO ACTUAL SIZE.
 10. P&S SHALL CONFORM TO ALL UTILITY COMPANY DESIGN STANDARDS AND SPECIFICATIONS.
 11. GASPIPE INTERCEPTOR AND ANY VENT LINES ARE SHOWN FOR REFERENCE ONLY AND MAY NOT BE DRAWN TO ACTUAL SIZE. REFER TO PLUMBING PLANS FOR DETAILED DIMENSIONS AND SPECIFICATIONS. PLUMBING PLANS SHALL BE IN ACCORDANCE WITH LOCAL AND STATE AND ELEVATION SHOWN ON PLANS.

- WATER NOTES:**
1. ALL WATER WORKS, PUBLIC OR PRIVATE, SHALL BE DONE IN ACCORDANCE WITH WEST DES MOINES WATER WORKS STANDARD SPECIFICATIONS AVAILABLE AT: WEST DES MOINES WATER WORKS STANDARD SPECIFICATIONS.
 2. ANY WATER USE FROM A HYDRANT, PUBLIC OR PRIVATE, REQUIRES THE USE OF A WEST DES MOINES WATER WORKS HYDRANT METER. CALL 319-223-2465 TO RESERVE A METER.
 3. CONTRACTOR SHALL NOTIFY WEST DES MOINES WATER WORKS (319-223-2465) AT LEAST ONE WEEK PRIOR TO BUILDING CONSTRUCTION.
 4. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE WEST DES MOINES WATER WORKS AND THE CITY'S CROSS CONNECTION CONTROL CONTAMINATION PROVISIONS.
 5. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER INSTALLATION OF AN APPROVED BACKFLOW PREVENTION ASSEMBLY(IES) FOR CONTAMINANT IN ALL NEW CONSTRUCTION. BACKFLOW PREVENTION TO BE INSTALLED PER CITY ORDINANCE 1587. 64-1889 CONTRACTOR SHALL NOTIFY THEIR PROJECT'S WEST DES MOINES WATER WORKS ENGINEERING TECHNICIAN (319-223-2465) A MINIMUM OF 24 HOURS AFTER INSTALLATION AND TESTING OF ALL BACKFLOW DEVICES TO SCHEDULE FINAL INSPECTION.
 6. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING STATO WATER PRESSURE AND, WHERE REQUIRED BY THE CITY OF WEST DES MOINES PLUMBING CODE, SHALL INSTALL A PRESSURE REDUCING VALVES WITH EXPANSION TANKS, WHERE REQUIRED, PRESSURE REDUCING VALVES AND TANKS SHALL BE INSTALLED DOWNSTREAM OF THE WATER METERS) AND BACKFLOW PREVENTION ASSEMBLY(IES) SERVING THE SITE.
 7. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE WEST DES MOINES WATER WORKS AND THE CITY'S CROSS CONNECTION CONTROL CONTAMINATION PROVISIONS.
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PROPOSED BLDG
365.5' X 70' = 25,585 SF
FFE 59.00'

WATER QUANTITY TABLE		
ITEM	QUANTITY	UNIT
6" DIP	285	LF
TAP & SLEEVE	1	EACH
HYD ASSEMBLY	1	EACH
WSO VALVE	3	EACH
6"X6" TEE	1	EACH
6"X2" TEE	1	EACH



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PROJECT NUMBER
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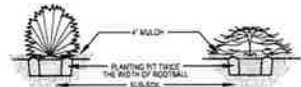
PROJECT NAME
C4.1

LANDSCAPE NOTES:

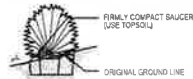
1. ALL SEEDING & LANDSCAPE PLANTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE URBAN STANDARD SPECIFICATIONS UNLESS SPECIFIED OTHERWISE.
2. SEED ALL DISTURBED AREAS WITHIN THE CONTRACT LIMITS UNLESS NOTED OTHERWISE. SEED LIMITS SHOWN ON PLAN ARE FOR REFERENCE ONLY. FINAL LIMITS MAY CHANGE BASED ON CONSTRUCTION ACTIVITIES.
3. PLANT QUANTITIES ARE FOR CONTRACTORS CONVENIENCE. THE DRAWING SHALL PREVAIL IN A CONFLICT OCCURS.
4. ALL PLANT MATERIAL SHALL CONFORM TO THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1).
5. CONTRACTOR SHALL WARRANTY ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR FROM THE DATE OF INITIAL ACCEPTANCE.
6. FOR WARRANTY PURPOSES, THE DATE OF INITIAL ACCEPTANCE SHALL BE SUBMITTED IN WRITING TO THE OWNER AND/OR OWNER'S REPRESENTATIVE AFTER ALL PLANT MATERIALS HAVE BEEN INSTALLED AND REVIEWED BY OWNER OR OWNER'S REPRESENTATIVE. PLANT MATERIALS WILL ONLY BE ACCEPTED IF THEY ARE IN AN ALIVE AND THRIVING CONDITION.
7. **CONSTRUCTION ACCEPTANCE OF PLANT MATERIAL MAY BE GIVEN FOR PLANTS PACKAGED IN A CONTAINER CONDITION WITH INITIAL ACCEPTANCE OCCURRING THE FOLLOWING STEPS ONCE THEY ARE SHOWN TO BE ALIVE AND THRIVING.**
8. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REMOVE IDENTIFICATION TAGS AND CORDS ON ALL PLANT MATERIAL PRIOR TO THE COMPLETION OF THE CONTRACT. IDENTIFICATION TAGS (INCLUDING SIZING INFORMATION) MUST BE LEFT ON UNTIL AFTER ACCEPTANCE BY OWNER OR OWNER'S REPRESENTATIVE.
9. CONTRACTOR SHALL PLACE SHREDED HARDWOOD MULCH AROUND ALL TREES, SHRUBS AND GROUND COVER BEDS TO A DEPTH OF 4 INCHES UNLESS NOTED.
10. STAKING AND GUYING OF TREES SHALL BE AT THE DISCRETION OF THE CONTRACTOR BASED ON CURRENT ACCEPTED NURSERY STANDARDS. GENERALLY, TREES IN LARGE OPEN AREAS SUBJECT TO SIGNIFICANT WIND SHALL BE STAKED. STAKE AND WRAP TREES IMMEDIATELY AFTER PLANTING. CONTRACTOR SHALL ADJUST AND MAINTAIN GUYING TENSION THROUGHOUT THE PLANT ESTABLISHMENT PERIOD. REMOVE ALL STAKES AND GUY WIRES NO MORE THAN ONE YEAR AFTER INSTALLATION.
11. THE LANDSCAPING CONTRACTOR SHALL HAVE ALL UTILITIES LOCATED BEFORE STARTING ANY SITE WORK OR PLANTING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES.
12. **NO LANDSCAPE MATERIAL SHALL BE SUBSTITUTED WITHOUT THE AUTHORIZATION OF THE LANDSCAPE ARCHITECT.**
13. CONTRACTOR SHALL BE RESPONSIBLE MAINTAINING APPROPRIATE LEVEL OF WATERING FOR ALL NEW PLANTS FOR A PERIOD OF 90 DAYS.
14. ALL SHRUB AND PERENNIAL PLANTING BEDS SHALL BE MULCHED WITH 4" THICK SHREDED HARDWOOD MULCH. DO NOT INSTALL LANDSCAPE FABRIC IN MULCH PLANTING BEDS.
15. MAINTENANCE BEDS ADJACENT TO PROPOSED BUILDING (AS CALLED OUT) INCORPORATE TYPAR 3001 NONWOVEN LANDSCAPE FABRIC (1/4" GAUGE) AND 2" THICK LAYER OF WASHED SIVAS DUCK (1/2" NOMINAL SIZE).
16. **ALL BEDS TO RECEIVE DRAMALAK PRE-EMERGENT TREES CONTROL BELIEVE AND AFTER MULCH/ROCK IS INSTALLED.**
17. ALL ADDITIONAL MECHANICAL UNITS ARE TO BE SCREENED FROM PUBLIC VIEW WITH LANDSCAPING AS SHOWN.

GENERAL LANDSCAPE REQUIREMENTS

TOTAL SQUARE FOOTAGE OF PROJECT AREA	131,071 SF
REQUIRED OPEN SPACE(S)	26,334 SF
GENERAL OPEN SPACE REQUIREMENT	
TOTAL REQUIRED OVERSTORY TREES	11
TOTAL REQUIRED EVERGREEN TREES	7
TOTAL REQUIRED SHRUBS	27
LANDSCAPE MATERIAL PROVIDED	
TOTAL PROPOSED OVERSTORY TREES	11
TOTAL PROPOSED EVERGREEN TREES	7
TOTAL PROPOSED SHRUBS	27
TOTAL PROPOSED GRASSES	23



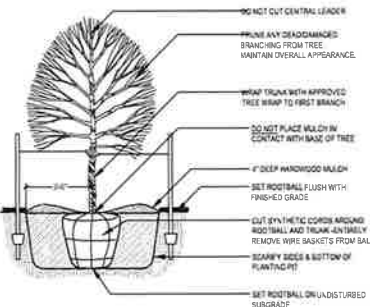
DECIDUOUS SHRUB DETAIL EVERGREEN SHRUB DETAIL



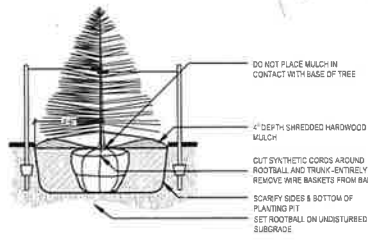
PLANTING ON SLOPES



SHRUB PLANTING (TYP.)
SCALE: NOT TO SCALE



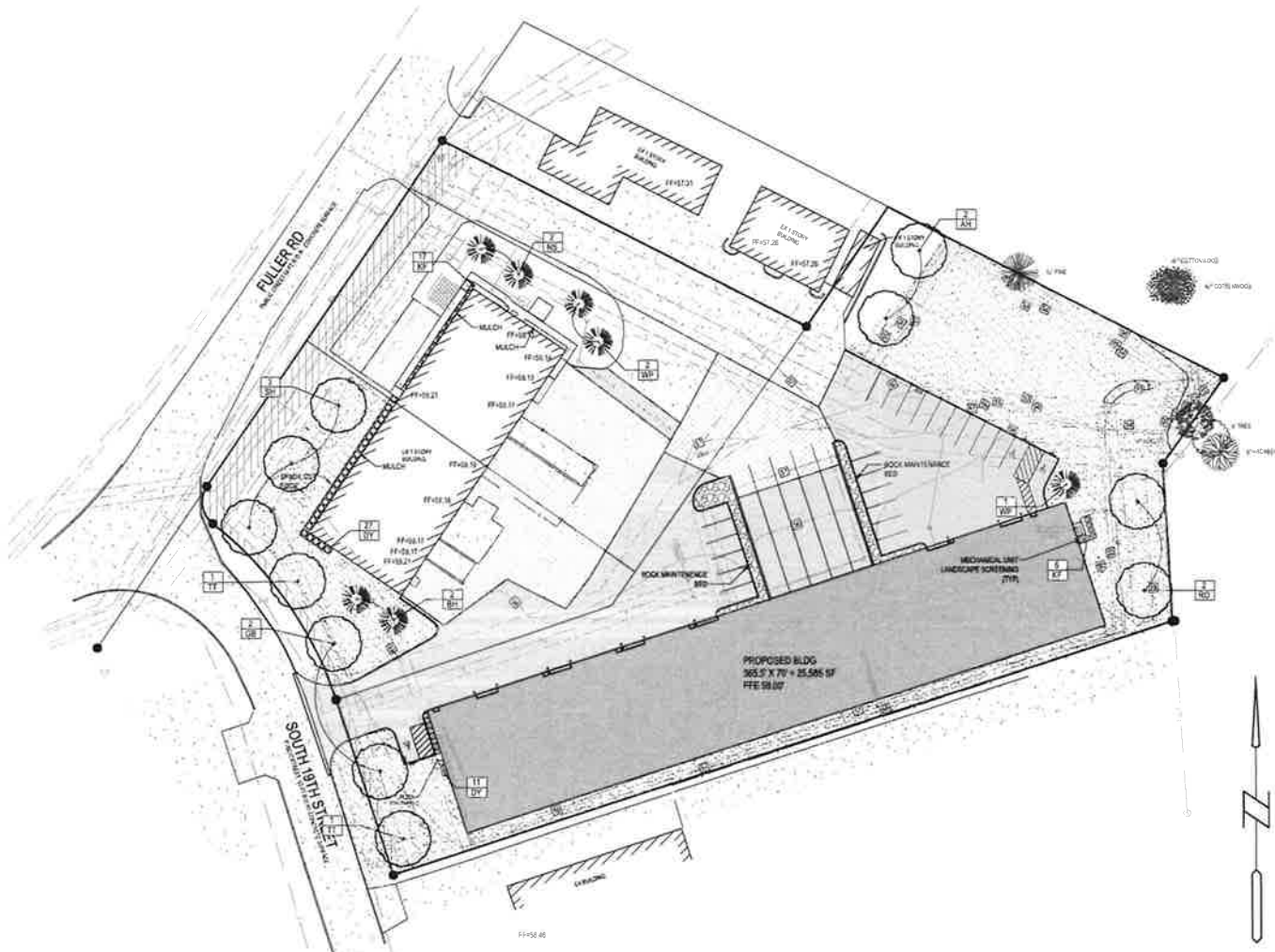
DECIDUOUS TREE PLANTING (TYP.)
SCALE: NOT TO SCALE



EVERGREEN TREE PLANTING (SOUTH B&B)
SCALE: NOT TO SCALE

LEGEND

- SEED: MIX TO BE 'SUPER TURF' IF BY LIMITED SEEDS (ON APPROVED EQUAL) SEED AT A RATE OF 400 LBS PER ACRE. SEEDING DATE, SITE PREPARATION, SEEDING INSTALLATION, WATER REQUIREMENTS, FERTILIZING, AND MOWING PER LIMITED SEEDS TECH BULLETIN FOR SEED TYPE. OVERSEEDING IF REQUIRED TO BE INSTALLED AT 200 LBS PER ACRE.
- HYDRO MULCH: HYDRO MULCH ALL SEEDED AREAS. WOOD CELLULOSE HYDRAULIC MULCH WITH TACKIFIER SHALL BE APPLIED AT A RATE OF 2,000 LBS PER ACRE.



GRAPHIC SCALE

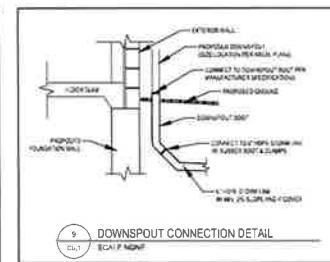
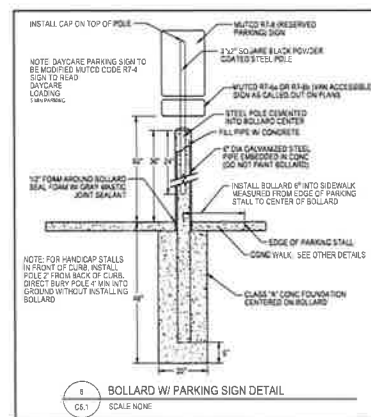
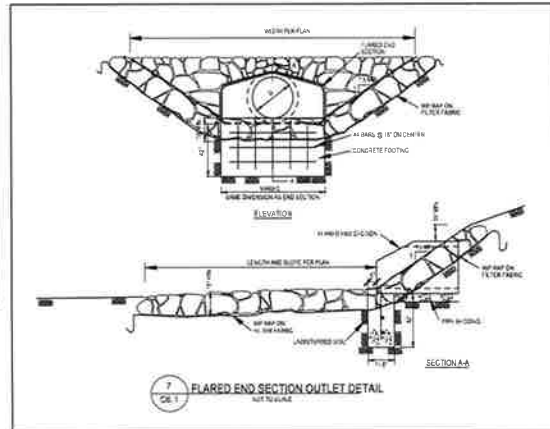
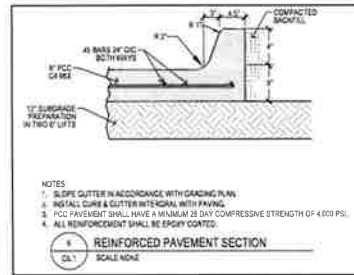
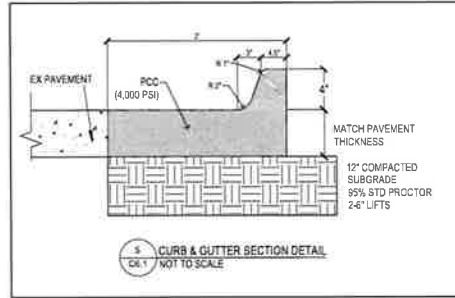
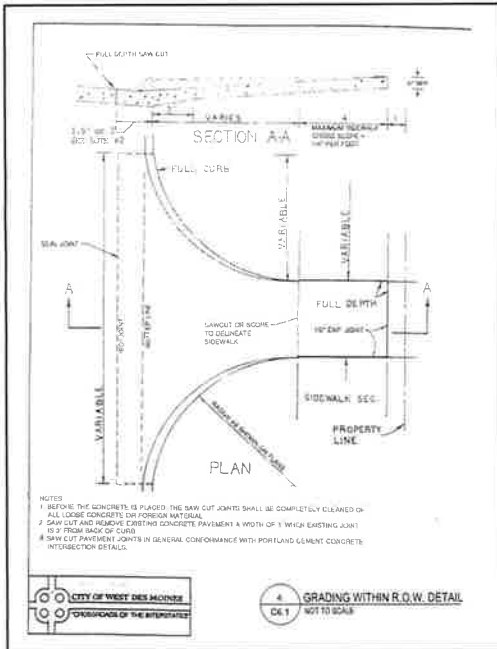
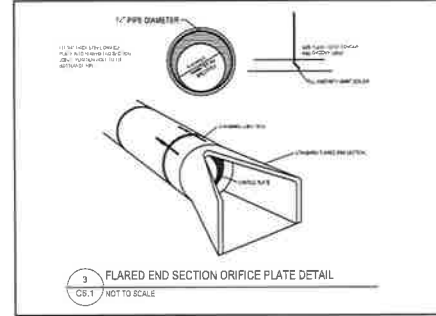
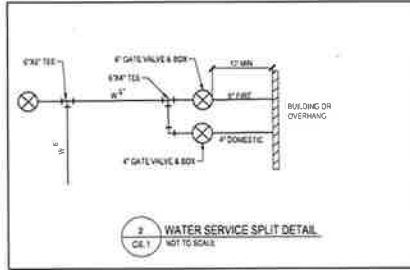
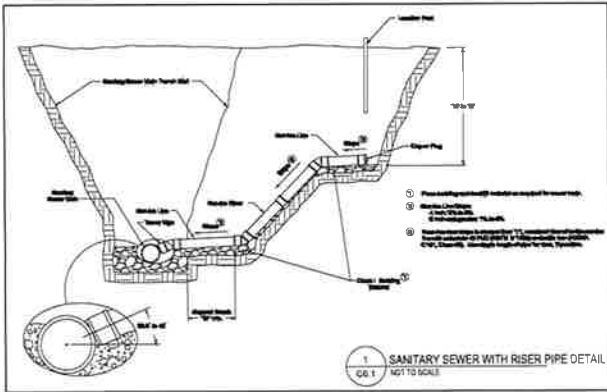
PLANTING SCHEDULE

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02/15/2024	REVISED PER PERMIT COMMENTS		3
03/01/2024	REVISED PER PERMIT COMMENTS		4
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 Phone: 515-274-4467 Fax: 515-274-4217
 Civil Engineering & Land Surveying Established 1999

1924 FULLER RD
WEST DES MOINES, IOWA
LANDSCAPE PLAN

REFERENCE NUMBER: _____
 DRAWN BY: JB
 CHECKED BY: JEU
 REVISION DATE: 04-16-2024 CIP SUBMITAL
 07-21-2023 CIP SUBMITAL
 08-14-2023 CIP SUBMITAL
 12-04-2023 PERM
 PROJECT NUMBER: **210282**
 SHEET NUMBER: **C5.1**



10/2023 14:21 W. LAND PROJECTS 2023 TECHNOLOGICAL.DWG

CITY OF WEST DES MOINES
 DEPARTMENT OF THE INFRASTRUCTURE

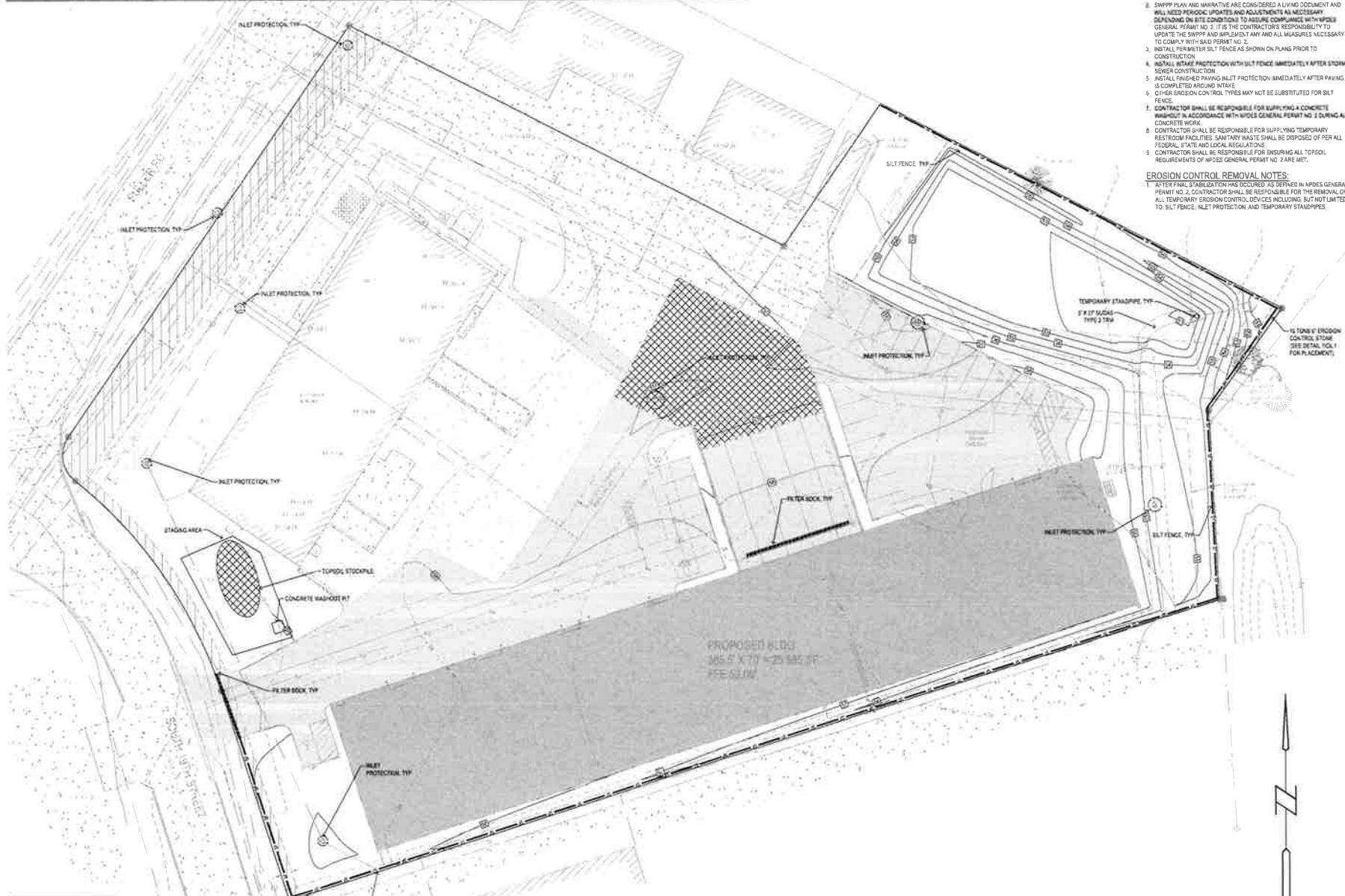
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 PHONE 515.281.4607 FAX 515.281.4622
 CIVIL ENGINEERING & LAND SURVEYING ESTABLISHED 1959

1924 FULLER RD
WEST DES MOINES, IOWA
DETAILS SHEET

DESIGNED BY: JGD
 CHECKED BY: JEL
 REVISION DATE: 10-26-2023 CIVIL SUBMITTAL
 10-27-2023 CIVIL SUBMITTAL
 11-04-2023 SIGNED

PROJECT NUMBER: 210282
 SHEET NUMBER: C6.1

STORM WATER POLLUTION PREVENTION PLAN



EROSION CONTROL NOTES:

- SEE SUPPLEMENTAL DETAIL STORM WATER POLLUTION PLAN NARRATIVE FOR ALL EROSION CONTROL MEASURES. ADDITIONAL DETAILS AND NOTE, ADDITIONAL NOTES AND MEASURES IN NARRATIVE SHALL BE CONSIDERED INCIDENTAL AND SHALL BE INCLUDED IN THE ORIGINAL BID.
- SWPPP PLAN AND NARRATIVE ARE CONSIDERED A LIVING DOCUMENT AND WILL NEED PERIODIC UPDATES AND ADJUSTMENTS AS NECESSARY DEPENDING ON SITE CONDITIONS TO ASSURE COMPLIANCE WITH APODES GENERAL PERMIT NO. 2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO UPDATE THE SWPPP AND IMPLEMENT ANY AND ALL MEASURES NECESSARY TO COMPLY WITH SAID PERMIT NO. 2.
- INSTALL PERIMETER SILT FENCE AS SHOWN ON PLANS PRIOR TO CONSTRUCTION.
- INSTALL PERIMETER PROTECTION WITH SILT FENCE IMMEDIATELY AFTER STORM SEWER CONSTRUCTION.
- INSTALL FINISHED PAVING INLET PROTECTION IMMEDIATELY AFTER PAVING IS COMPLETED AND LAND INTAKE.
- OTHER EROSION CONTROL TYPES MAY NOT BE SUBSTITUTED FOR SILT FENCE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLYING A CONCRETE WASHOUT IN ACCORDANCE WITH APODES GENERAL PERMIT NO. 2 DURING ALL CONCRETE WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLYING TEMPORARY RESTROOM FACILITIES. SANITARY WASTE SHALL BE DISPOSED OF PER ALL FEDERAL, STATE AND LOCAL REGULATIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ALL TPOEOL REQUIREMENTS OF APODES GENERAL PERMIT NO. 2 ARE MET.

EROSION CONTROL REMOVAL NOTES:

- AFTER FINAL STABILIZATION HAS OCCURRED AS DEFINED IN APODES GENERAL PERMIT NO. 2, CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL TEMPORARY EROSION CONTROL DEVICES INCLUDING, BUT NOT LIMITED TO, SILT FENCE, INLET PROTECTION AND TEMPORARY STAKEPOLES.

UTILITY NOTE:
THE LOCATION OF THE UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING PUBLIC RECORDS AND ARE APPROXIMATE LOCATIONS. THE EXACT LOCATIONS OF ALL UTILITIES MUST BE ASCERTAINED IN THE FIELD. IT SHALL BE THE DUTY OF THE CONTRACTOR TO DETERMINE WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT.



Bishop Engineering
"Planning Your Successful Investment"
3501 101st Street
Des Moines, Iowa 50323-3635
Phone: (515) 262-4627 Fax: (515) 274-0217
Civil Engineering & Land Surveying Established 1999

1924 FULLER RD
WEST DES MOINES, IOWA

PROJECT NUMBER
210282

DATE NUMBER
15-04-2023 CITY SUMMITAL
17-11-2023 CITY SUMMITAL
19-11-2023 CITY SUMMITAL
13-04-2023 REPORT

PROJECT NUMBER
C7.1

SWPPP

A RESOLUTION OF THE PLANNING AND ZONING COMMISSION

NO. PZC-23-068

WHEREAS, pursuant to the provisions of Title 9, Zoning of the West Des Moines Municipal Code, the applicant and property owner, Mark Eggers with DEGH, LLC, request approval of the Major Modification to Site Plan for the approximately 3-acre property located at 1924 Fuller Road aka 510 S 19th Street as depicted on the location map included in the staff report. The applicant requests approval to construct a warehouse, and associated site improvements; and

WHEREAS, the Major Modification to Site Plan request complies with the findings stated in the applicable provisions of Title 9, the Comprehensive Plan and City Code.

NOW THEREFORE, the Planning and Zoning Commission of the City of West Des Moines recommends the City Council approve the 1924 Fuller Road aka 510 S 19th Street Warehouse Major Modification to Site Plan (MaM-006084-2023), subject to compliance with all the conditions of approval as stated in the staff report, including conditions added at the meeting, and attached hereto as Exhibit "A", if applicable.

PASSED AND ADOPTED on December 27, 2023.



Tina Shaw, Vice Chair
Planning and Zoning Commission

I HEREBY CERTIFY that the foregoing resolution was duly adopted by the Planning and Zoning Commission of the City of West Des Moines, Iowa, at a regular meeting on December 27, 2023, by the following vote:

AYES: Costa, Crowley, Davis, Hatfield, McCoy, Shaw

NAYS:

ABSTENTIONS:

ABSENT: Conlin

ATTEST:


Recording Secretary

Prepared by: Emani Brinkman, City of West Des Moines Development Services Dept., PO Box 65320, West Des Moines, Iowa
50265-0320 515-222-3620

When Recorded, Return to: City Clerk, City of West Des Moines, PO Box 65320, West Des Moines, IA 50265-0320

RESOLUTION

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF WEST DES MOINES, APPROVING A MAJOR MODIFICATION TO SITE PLAN TO ALLOW CONSTRUCTION OF A WAREHOUSE BUILDING

WHEREAS, pursuant to the provisions of Title 9, Zoning, of the West Des Moines Municipal Code, the applicant and property owner, Mark Eggers with DEGH, LLC, requests approval of the 1924 Fuller Road Warehouse aka 510 S. 19th Street Major Modification to Site Plan for that property located at 510 S. 19th Street and legally described in attached Exhibit "B" for the purpose of constructing a 25,585 square foot warehouse and associated site improvements; and

WHEREAS, studies and investigations were made, and staff reports, and recommendations were submitted which is made a part of this record and herein incorporated by reference; and

WHEREAS, the Major Modification to Site Plan complies with findings stated in the applicable provisions of Title 9, Chapter 1, Subsection 8, the Comprehensive Plan and City Code; and

WHEREAS, on December 27, 2023, the Planning and Zoning Commission recommended to the City Council, by a 6-0 vote, for approval of the Major Modification to Site Plan; and

WHEREAS, on this day the City Council held a duly noticed meeting to consider the application for the Major Modification to Site Plan; and.

WHEREAS, the City Council is accepting Irrevocable Offers of Dedication for Fuller Road and S. 19th Street right-of-way and a Storm Water Management Facility Maintenance Covenant And Permanent Easement Agreement; and

WHEREAS, the City Council approves the address assignment of 510 S 19th Street for the new warehouse building.

NOW, THEREFORE, The City Council does approve the 1924 Fuller Road aka 510 S. 19th Street Warehouse Major Modification to Site Plan (MaM-006084-2023), subject to compliance with all of the conditions of approval, including any conditions added at the meeting, attached hereto as Exhibit "A". Violation of any such conditions shall be grounds for revocation of the permit, as well as any other remedy which is available to the City.

PASSED AND ADOPTED on January 2, 2024.

Greg Hudson, Presiding Officer

ATTEST:

Ryan Jacobson, City Clerk

I HEREBY CERTIFY that the foregoing resolution was duly adopted by the City Council of the City of West Des Moines, Iowa, at a regular meeting held on January 2, 2024, by the following vote.

Exhibit A: Conditions of Approval

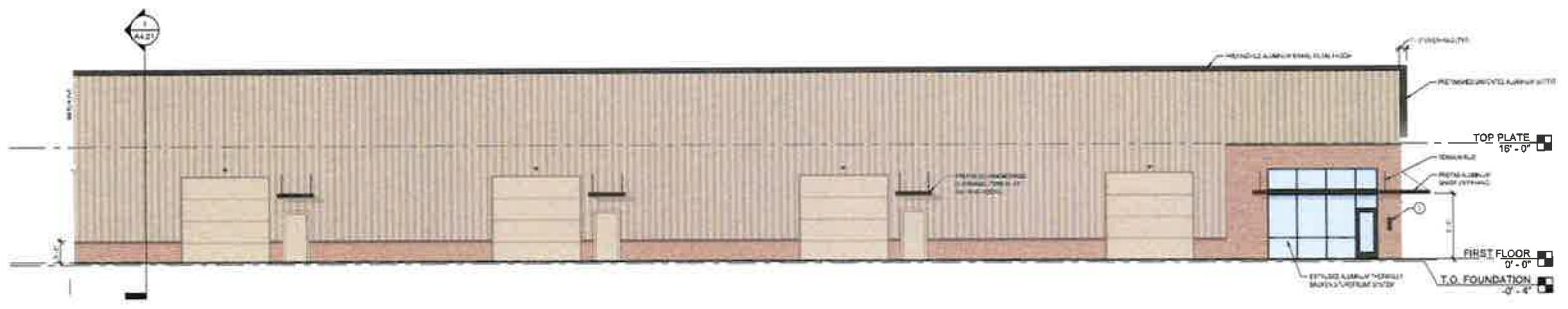
1. None.

Exhibit B: Legal Description

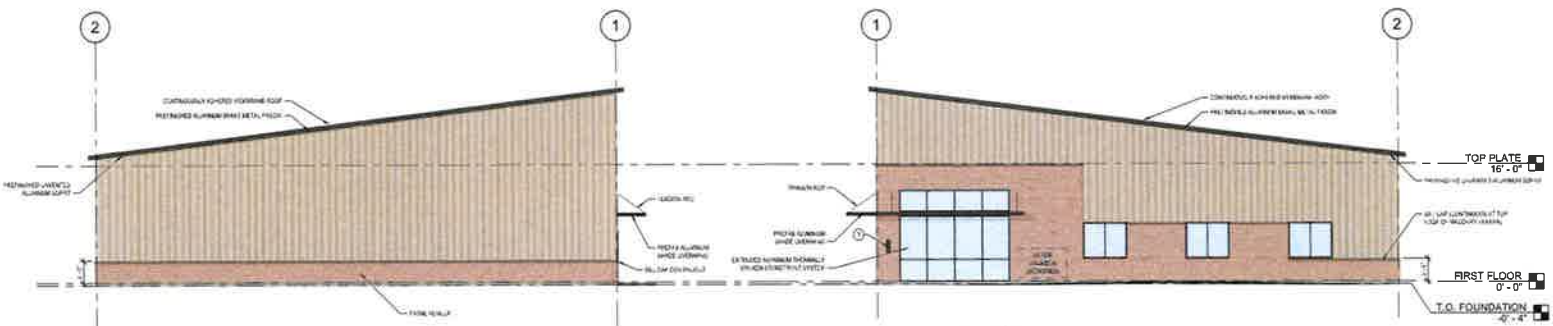
LOTS ELEVEN (11), TWELVE (12), THIRTEEN (13), AND FOURTEEN (14), (EXCEPT THE NORTHERLY 78.8 FEET OF LOT 14 AS MEASURED ON THE NORTHWEST LOT LINE AND THE SOUTH EAST LOT LINE) IN WEST GRAND INDUSTRIAL ACRES PLAT ONE, AN OFFICIAL PLAT, NOW INCLUDED IN AND FORMING PART OF THE CITY OF WEST DES MOINES, POLK COUNTY, IOWA



4 NORTH BACK EXTERIOR ELEVATION
1/8" = 1'-0"



2 NORTH FRONT EXTERIOR ELEVATION
1/8" = 1'-0"



3 EAST EXTERIOR ELEVATION
1/8" = 1'-0"

1 WEST EXTERIOR ELEVATION
1/8" = 1'-0"

LIGHTING



OVERHEAD DOOR



EXTERIOR MATERIALS

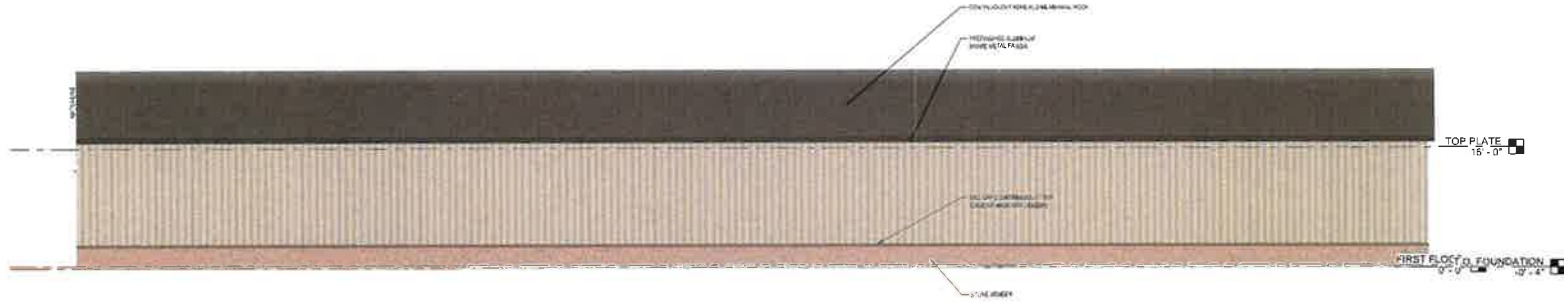


GENERAL NOTES - EXTERIOR ELEVATION

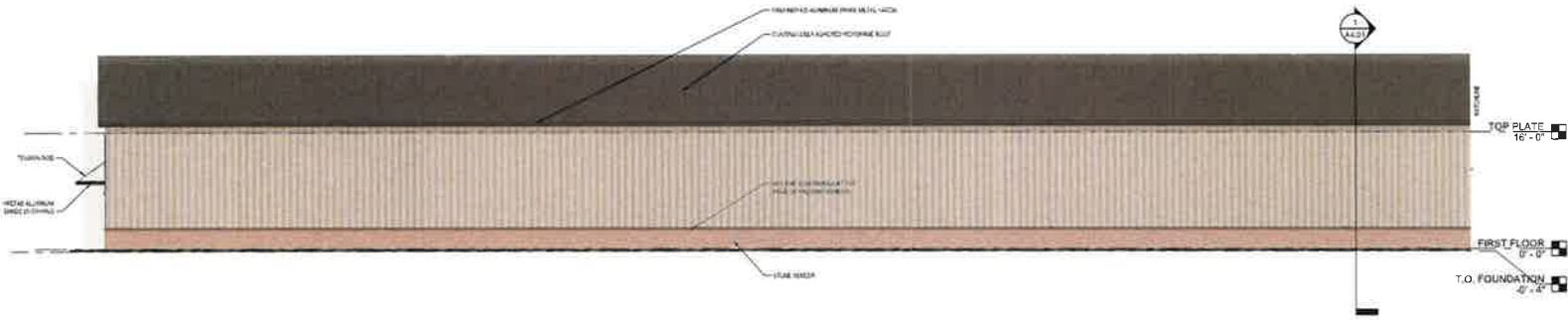
- GENERAL
- A. EXTERIOR ELEVATION DIMENSIONS ARE SHOWN REPRESENTATIONS REFERRED TO SHOW VERTICAL RELATIONSHIP BETWEEN FINISHES AND EXTERIOR ELEMENTS/FEATURES. REFER TO ANY FINISHING CONTRACTORS.
- B. REFER TO THE FINISHING CONTRACTORS FOR THE FINISHING MATERIALS AND METHODS FOR EXTERIOR FINISHING.
- MATERIALS
- C. REFER TO MATERIAL LEADS FOR EXTERIOR FINISH TYPES.
- FLASHING AND SEALANTS
- D. REFER TO THE FINISHING CONTRACTORS FOR THE FINISHING MATERIALS AND METHODS FOR EXTERIOR FINISHING.
- E. PROVIDE SEALANTS IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS. SEALANTS SHALL BE COLOR MATCHED TO THE ADJACENT MATERIAL OR FINISHED FOR FINISHED MATERIAL ONLY.



REVISIONS	DATE	BY



1 | SOUTH BACK EXTERIOR ELEVATION
1/8" = 1'-0"



2 | SOUTH FRONT EXTERIOR ELEVATION
1/8" = 1'-0"

LIGHTING



OVERHEAD DOOR



EXTERIOR MATERIALS



GENERAL NOTES - EXTERIOR ELEVATION

- 1. EXTERIOR ELEVATION DRAWINGS ARE GRAPHIC REPRESENTATIONS AND NOT TO BE USED FOR CONSTRUCTION. SEE ARCHITECTURAL SPECIFICATIONS FOR MATERIALS, FINISHES, AND CONSTRUCTION DETAILS.
- 2. ALL MATERIALS SHALL BE APPROVED BY THE ARCHITECT PRIOR TO CONSTRUCTION.
- 3. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- 4. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- 5. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS.

SEQUEL ARCHITECTURE
3108 Imperial Ave. Des Moines, IA 50312
info@sequelarchitecture.com
515.710.3484



MD EGGERS WAREHOUSE
1924 FULLER RD.
WEST DES MOINES, IA 50265
DESIGN CONCEPT - NOT FOR CONSTRUCTION

NO.	DATE	REVISIONS

EXTERIOR ELEVATIONS
A2.02

CITY OF WEST DES MOINES
CITY COUNCIL MEETING COMMUNICATION

ITEM: 2024 West Des Moines Water Works Budget

DATE: January 2, 2024

FINANCIAL IMPACT: There is no direct financial impact.

BACKGROUND: This request is for the City Council to receive and file West Des Moines Water Works' Operating and Capital Budget for 2024.


The budget for calendar year 2024 was approved by The Water Works Board of Trustees during its December 20, 2023, meeting, after a public hearing was held.

OUTSTANDING ISSUES (if any):

RECOMMENDATION: The City Council receive and file the 2024 Water Works Budget and Capital Improvements Program.

Lead Staff Member: Christina Murphy, General Manager, WDMWW

STAFF REVIEWS

Department Director	Christina Murphy, General Manager, WDMWW
Appropriations/Finance	
Legal	
Agenda Acceptance	

PUBLICATION(S) (if applicable)

Published In	Des Moines Register
Dates(s) Published	December 11, 2023

SUBCOMMITTEE REVIEW (if applicable)

Committee	Finance and Audit		
Date Reviewed			
Recommendation	Yes	No	Split

BUDGET FOR CALENDAR YEAR 2024

West Des Moines Water Works

West Des Moines, Iowa

Approved December 20, 2023
The Board of Trustees
West Des Moines Water Works

By 
Christina Murphy
General Manager and Secretary

REVENUE							
Account	Source of Revenue	Actual Revenue 2021	Actual Revenue 2022	Actual Rev Jan- Aug 2023	Accrual Basis Budget 2023	Anticipated Revenue 2023	Accrual Basis Budget 2024
14000-011	Metered Water Sales	\$ 15,428,816	\$ 15,440,522	\$ 11,026,544	\$ 15,590,639	\$ 15,791,544	\$ 16,042,961
14050-011	Basic Service Charge	\$ 1,544,988	\$ 1,578,234	\$ 1,071,334	\$ 1,679,452		\$ 1,757,921
14100-011	Bulk Water Sales	\$ 135,138	\$ 126,324	\$ 28,403	\$ 55,625	\$ 42,605	\$ 79,940
14150-011	Material Sales to Others	\$ 251,910	\$ 176,517	\$ 48,393	\$ 162,045	\$ 72,589	\$ 158,302
14200-011	Water Supply Connection Fees	\$ 776,025	\$ 846,520	\$ 356,400	\$ 652,560	\$ 534,600	\$ 688,151
14230-011	Connection Fees - South Area Water Connection Fee District	\$ 414,294	\$ 146,686	\$ 297,297	\$ 301,000	\$ 301,000	\$ 469,000
14231-011	SW Area Water Connection Fee District	\$ 1,018,466	\$ 867,761	\$ 127,057	\$ 274,000	\$ 274,000	\$ 504,000
14234-011	Raccoon River Area Water Connection Fee District	\$ 143,782	\$ 31,483	\$ 0	\$ 175,000	\$ -	\$ 162,000
14300-011	Construction Observation Fees	\$ 69,465	\$ 55,001	\$ 19,687	\$ 55,775	\$ 29,530	\$ 54,705
14400-011	Labor	\$ 98,869	\$ 73,723	\$ 30,160	\$ 69,085	\$ 45,240	\$ 68,688
14550-011	Laboratory Testing Fees	\$ 6,670	\$ 7,855	\$ 2,445	\$ 5,457	\$ 3,668	\$ 6,150
14600-011	Miscellaneous	\$ 85,317	\$ 34,469	\$ 24,878	\$ 39,680	\$ 37,318	\$ 43,705
14900-011	Sanitary Sewer Service Collection Fees	\$ 58,350	\$ 59,580	\$ 39,709	\$ 59,804	\$ 59,654	\$ 60,250
14910-011	Stormwater Management Collection Fees	\$ 79,819	\$ 81,616	\$ 54,886	\$ 81,820	\$ 82,329	\$ 83,152
14950-011	Solid Waste Service Collection Fees	\$ 52,013	\$ 52,731	\$ 35,417	\$ 53,172	\$ 53,125	\$ 53,656
15000-011	Late Payment Charges	\$ 39,075	\$ 44,488	\$ 25,683	\$ 37,110	\$ 38,540	\$ 38,944
15100-011	Non-Payment Penalties	\$ 41,218	\$ 52,311	\$ 37,028	\$ 44,380	\$ 55,541	\$ 53,410
15110-011	Shared Water Tower - Unearned Revenue Recognized	\$ 40,468	\$ 40,468	\$ 26,979	\$ 40,500	\$ 40,468	\$ 40,500
Non-Operating Revenue							
14700-011	Rental Income	\$ 213,598	\$ 204,943	\$ 155,408	\$ 230,944	\$ 233,113	\$ 232,109
14800-011	Interest on Investments	\$ 60,040	\$ 256,409	\$ 471,860	\$ 180,000	\$ 707,790	\$ 500,000
15400-011	Gain on Sale of Fixed Assets	\$ 13,500	\$ 7,100	\$ -	\$ 15,000	\$ 14,050	\$ 15,000
15500-011	Developer Contributed Water Mains	\$ 596,220	\$ 1,595,572	\$ 0	\$ 100,000	\$ 100,000	\$ 100,000
15520-011	Contributed Funds-Adams St-South Elevated Water Tower	\$ 0	\$ 6,554,496	\$ 0	\$ 3,725,000	\$ 3,725,000	\$ -
TOTAL REVENUE		\$ 21,511,692	\$ 28,334,824	\$ 13,879,637	\$ 23,631,048	\$ 22,241,703	\$ 21,212,545

OPERATING EXPENSES							
Departments		Operating Expenses			Accrual Basis	Anticipated	Accrual Basis
Account	Object of Expense	Actual Expense 2021	Actual Expense 2022	Actual Exp Jan-Aug 2023	Budget 2023	Expense 2023	Budget 2024
Payroll and Employee Benefits							
16000	Salaries, Wages and Trustees' Compensation	\$ 3,103,683	\$ 3,278,643	\$ 2,271,798	\$ 3,464,207	\$ 3,407,697	\$ 3,830,258
16100	Overtime	\$ 115,555	\$ 123,327	\$ 90,047	\$ 117,110	\$ 135,070	\$ 122,966
16150	Employee Fitness Incentive Program	\$ 5,770	\$ 5,790	\$ 2,948	\$ 14,400	\$ 4,423	\$ 7,200
16200	Water Works' Share - FICA	\$ 233,315	\$ 248,700	\$ 175,088	\$ 275,072	\$ 262,632	\$ 302,972
16300	Water Works' Share - IPERS	\$ 296,367	\$ 316,820	\$ 218,693	\$ 338,076	\$ 328,040	\$ 373,864
16320	Accrued Sick Leave Expense	\$ 3,614	\$ 74,072	\$ 0	\$ 41,500	\$ 0	\$ 70,490
16330	Other Postemployment Benefits Expense	\$ 14,458	\$ 44,208	\$ 0	\$ 8,000	\$ 8,000	\$ 8,000
16340	GASB 68 Pension Expense- excess over IPERS employer contributions	\$ (475,396)	\$ (319,489)	\$ 0	\$ 60,000	\$ 60,000	\$ 60,000
16350	Water Works' Share - Deferred Compensation	\$ 26,700	\$ 26,100	\$ 22,425	\$ 36,400	\$ 33,925	\$ 40,300
16400	Group Health and Life Insurance	\$ 452,475	\$ 500,930	\$ 371,143	\$ 595,955	\$ 556,715	\$ 656,266
16500	Allowances	\$ 15,302	\$ 18,465	\$ 7,242	\$ 25,550	\$ 13,397	\$ 26,550
16510	Mileage	\$ 608	\$ 600	\$ 263	\$ 2,100	\$ 395	\$ 2,040
16560	Employee Recognition Program	\$ 3,837	\$ 6,242	\$ 9,322	\$ 11,000	\$ 13,984	\$ 12,000
Commodities and Services							
16600	Economic Development Contribution	\$ 51,250	\$ 52,531	\$ 0	\$ 53,845	\$ 53,845	\$ 55,191
16800	Advertising and Legal Publications	\$ 18,914	\$ 32,544	\$ 10,531	\$ 29,000	\$ 15,797	\$ 29,000
16900	Collection Expense	\$ 103	\$ 1,936	\$ 145	\$ 2,200	\$ 218	\$ 2,200
17000	IDNR and Water Quality Testing	\$ 6,657	\$ 15,751	\$ 6,954	\$ 28,500	\$ 10,431	\$ 28,500
17040	Consulting Fees - Safety	\$ 23,350	\$ 32,800	\$ 20,500	\$ 31,000	\$ 30,750	\$ 16,000
17050	Consulting Fees - Admin & Legal	\$ 143,335	\$ 106,759	\$ 58,379	\$ 390,000	\$ 395,465	\$ 411,950
17052-091	CIWW Costs	\$ 0	\$ 0	\$ 0	\$ 305,000	\$ -	\$ 350,000
17070	Data Processing - Maintenance and Consulting Fees	\$ 128,696	\$ 132,789	\$ 88,997	\$ 212,000	\$ 188,000	\$ 218,450
17080	Easement Recording Fees	\$ 0	\$ 1,122	\$ 310	\$ 1,500	\$ 465	\$ 1,500
17100	Dues and Memberships	\$ 3,134	\$ 10,121	\$ 7,052	\$ 12,000	\$ 10,578	\$ 12,000
17120	IDNR Operation Permit	\$ 7,241	\$ 4,315	\$ 2,756	\$ 7,800	\$ 7,800	\$ 7,800
17200	Property and Other Insurance	\$ 97,929	\$ 97,605	\$ 74,949	\$ 146,991	\$ 118,510	\$ 161,400
17300	Postage and Shipping	\$ 80,265	\$ 112,003	\$ 76,148	\$ 118,100	\$ 114,221	\$ 118,100
17400	Printing	\$ 43,004	\$ 13,284	\$ 21,236	\$ 14,000	\$ 31,854	\$ 33,447
17500	Maintenance - Buildings and Structures	\$ 135,972	\$ 237,681	\$ 112,412	\$ 320,000	\$ 168,618	\$ 275,000
17600	Maintenance -Equipment	\$ 160,209	\$ 117,620	\$ 90,737	\$ 210,900	\$ 131,556	\$ 210,900
17601	Maintenance-Equipment (Dist Budget -Mitch)	\$ 0	\$ 0	\$ 9,118	\$ 39,000	\$ 13,677	\$ 39,000
17610	Maintenance-Generators	\$ 30,071	\$ 26,789	\$ 32,490	\$ 46,000	\$ 48,735	\$ 46,000
17620	Maintenance-Vehicles	\$ 42,668	\$ 63,454	\$ 36,338	\$ 50,000	\$ 47,200	\$ 56,880
17630	Locator Supplies	\$ 4,835	\$ 6,327	\$ 2,188	\$ 7,500	\$ 3,282	\$ 7,500
17640	Maintenance-Hydrant Meters	\$ 0	\$ 0	\$ 2,838	\$ 20,000	\$ 4,257	\$ 20,000
17700	Maintenance - Water Distribution System	\$ 170,618	\$ 145,724	\$ 239,661	\$ 251,000	\$ 359,492	\$ 215,000
17710	Maintenance-Meter Valve Replacements	\$ 7,233	\$ 3,208	\$ 3,708	\$ 10,000	\$ 5,562	\$ 10,000
17720	Tapping Supplies	\$ 158,720	\$ 176,578	\$ 37,490	\$ 250,000	\$ 58,235	\$ 150,000
17800	Communication	\$ 21,861	\$ 21,918	\$ 10,191	\$ 26,000	\$ 15,287	\$ 27,500
17900	Continuing Education and Travel	\$ 11,064	\$ 14,979	\$ 11,070	\$ 25,300	\$ 22,800	\$ 28,300
18000	Electricity	\$ 594,117	\$ 656,802	\$ 426,273	\$ 643,363	\$ 639,409	\$ 690,562
18100	Natural Gas	\$ 8,806	\$ 13,333	\$ 6,261	\$ 17,558	\$ 9,392	\$ 19,313
18300	Bad Debts	\$ 2,451	\$ 7,589	\$ 4,450	\$ 4,845	\$ 6,675	\$ 6,675
18800	Depreciation	\$ 3,485,221	\$ 3,783,265	\$ 2,464,296	\$ 3,806,450	\$ 3,703,822	\$ 4,015,123
19500	Maintenance - Grounds	\$ 57,426	\$ 11,413	\$ 7,920	\$ 72,500	\$ 11,880	\$ 47,500
19600-10; 19630; 19650-70	Purchased Water- purchased capacity rate (\$3.54/1000), based on 2020 and 2021 usage	\$ 2,652,733	\$ 2,849,109	\$ 2,225,165	\$ 3,198,846	\$ 3,337,747	\$ 3,370,087
19640	Purchased Water- Grand & Glen Oaks	\$ 10,312	\$ 12,700	\$ 1,599	\$ 3,174	\$ 2,398	\$ 3,364
19660	Purchased Water-Joint Station O&M	\$ 5,580	\$ 8,175	\$ 22	\$ 8,300	\$ 8,300	\$ 8,300
19690-021	Purchased Water-Louis P Moon Pumping Station O&M	\$ 16,511	\$ 29,555	\$ 1,438	\$ 15,243	\$ 15,243	\$ 15,243
19700	Minor Equipment	\$ 18,059	\$ 11,156	\$ 10,488	\$ 24,700	\$ 16,232	\$ 26,950
19800	Miscellaneous	\$ 4,451	\$ 2,562	\$ 10	\$ 5,000	\$ 1,515	\$ 5,000
19850	Iowa One Call System	\$ 17,999	\$ 17,987	\$ 13,132	\$ 22,000	\$ 19,698	\$ 20,000
19900	Vehicles and Equipment - Fuel	\$ 43,774	\$ 54,537	\$ 32,436	\$ 58,500	\$ 48,654	\$ 58,500
19950	Lock Box Charges	\$ 56,409	\$ 54,653	\$ 35,213	\$ 72,000	\$ 52,819	\$ 55,460
20100	Office Supplies	\$ 12,442	\$ 8,585	\$ 4,998	\$ 15,000	\$ 7,498	\$ 15,000

Water Treatment Chemicals and Laboratory Supplies							
20150	Lime Residuals Removal (Lagoons)	\$ 0	\$ 0	\$ 0	\$ 0	\$ 0	\$ 0
20160	Lime Residuals Hauling (Press)	\$ 161,427	\$ 171,019	\$ 125,006	\$ 198,000	\$ 187,509	\$ 180,000
20200	Lime	\$ 322,729	\$ 360,162	\$ 323,394	\$ 541,247	\$ 485,091	\$ 523,898
20300	Soda Ash	\$ 44,881	\$ 45,833	\$ 46,772	\$ 67,439	\$ 70,159	\$ 73,687
20400	Ferric Chloride	\$ 13,351	\$ 7,951	\$ 10,536	\$ 26,440	\$ 15,804	\$ 16,120
20500	Carbon Dioxide	\$ 45,873	\$ 65,362	\$ 80,459	\$ 100,000	\$ 120,888	\$ 120,888
20550	Salt	\$ 26,370	\$ 16,354	\$ 14,220	\$ 16,000	\$ 21,331	\$ 24,530
20600	Other Chemicals	\$ 17,029	\$ 24,378	\$ 19,836	\$ 26,195	\$ 29,757	\$ 34,221
20750	Sodium Hypo-Chlorite	\$ 75,934	\$ 135,177	\$ 139,380	\$ 230,506	\$ 209,070	\$ 209,070
20700	Other Supplies	\$ 3,881	\$ 4,803	\$ 3,319	\$ 6,560	\$ 4,978	\$ 6,560
20701	Kitchen Supplies	\$ 558	\$ 1,003	\$ 921	\$ 1,000	\$ 1,381	\$ 1,500
20800	Laboratory Supplies	\$ 29,453	\$ 34,342	\$ 20,316	\$ 35,000	\$ 30,473	\$ 35,000
Operating		\$ 12,873,946	\$ 14,139,955	\$ 10,143,030	\$ 16,812,870	\$ 15,736,435	\$ 17,626,855
Debt Service - Interest							
22081	2016 SRF Loan	46,445	47,772	27,927	41,580	41,891	39,078
	Sub Totals - Interest	\$ 148,113	\$ 47,772	\$ 27,927	\$ 41,580	\$ 41,891	\$ 39,078
Totals - Operating Expenses Plus Interest on Debt							
	Operating Expenses	\$ 12,873,946	\$ 14,139,955	\$ 10,143,030	\$ 16,812,870	\$ 15,736,435	\$ 17,626,855
	Interest	\$ 148,113	\$ 47,772	\$ 27,927	\$ 41,580	\$ 41,891	\$ 39,078
Expenses Plus		\$ 13,022,059	\$ 14,187,726	\$ 10,170,957	\$ 16,854,450	\$ 15,778,326	\$ 17,665,933
Net of Interest on		\$ 8,489,633	\$ 14,147,097	\$ 3,708,680	\$ 6,776,598	\$ 8,463,377	\$ 3,546,812

Water Treatment Plant Operation and Maintenance		Operating Expenses			Accrual Basis Budget 2023	Anticipated Expense 2023	Accrual Basis Budget 2024
Account	Object of Expense	Actual Expense 2021	Actual Expense 2022	Actual Exp Jan-Aug 2023			
Payroll and Employee Benefits							
16000-021	Salaries and Wages	\$ 802,447	\$ 957,699	\$ 670,267	\$ 1,007,215	\$ 1,005,401	\$ 1,077,757
16100-021	Overtime	\$ 51,049	\$ 55,087	\$ 29,346	\$ 82,500	\$ 44,019	\$ 65,625
16200-021	Water Works' Share - FICA	\$ 67,717	\$ 73,089	\$ 51,729	\$ 81,833	\$ 77,594	\$ 87,469
16300-021	Water Works' Share - IPERS	\$ 86,956	\$ 93,468	\$ 64,751	\$ 100,981	\$ 97,126	\$ 107,935
16320-021	Accrued Sick Leave Expense	\$ 4,976	\$ 33,521	\$ 0	\$ 0	\$ -	\$ 30,090
16350-021	Water Works' Share - Deferred Compensation	\$ 5,200	\$ 5,200	\$ 4,250	\$ 6,500	\$ 6,500	\$ 6,500
16400-021	Group Health and Life Insurance	\$ 128,162	\$ 140,742	\$ 98,360	\$ 151,940	\$ 147,541	\$ 167,134
16500-021	Allowances	\$ 3,439	\$ 4,717	\$ 1,517	\$ 5,000	\$ 2,275	\$ 5,000
Commodities and Services							
17000-021	Consulting Fees - IDNR and Water Quality Testing	\$ 6,657	\$ 15,751	\$ 6,954	\$ 28,500	\$ 10,431	\$ 20,500
17040-021	Consulting Fees - Safety	\$ 11,125	\$ 13,950	\$ 19,750	\$ 25,750	\$ 29,625	\$ 10,750
17070-021	Data Processing - Maintenance and Consulting Fees	\$ 7,793	\$ 10,160	\$ 6,837	\$ 17,000	\$ 16,000	\$ 16,650
17120-021	IDNR Operation Permit	\$ 7,241	\$ 4,315	\$ 2,756	\$ 7,800	\$ 4,135	\$ 7,800
17200-021	Property and Other Insurance	\$ 48,540	\$ 48,927	\$ 37,170	\$ 61,197	\$ 59,800	\$ 83,200
17500-021	Maintenance - Buildings and Structures	\$ 111,942	\$ 169,404	\$ 74,273	\$ 250,000	\$ 111,410	\$ 200,000
17600-021	Maintenance - Equipment	\$ 99,111	\$ 78,848	\$ 73,676	\$ 160,000	\$ 110,514	\$ 160,000
17610-021	Maintenance - Generators	\$ 16,184	\$ 9,584	\$ 5,171	\$ 24,000	\$ 7,756	\$ 24,000
17620-021	Maintenance - Vehicles	\$ 2,188	\$ 5,693	\$ 3,558	\$ 7,000	\$ 5,337	\$ 7,000
17800-021	Communication	\$ 6,589	\$ 5,943	\$ 2,987	\$ 6,500	\$ 4,481	\$ 8,500
17900-021	Continuing Education and Travel	\$ 3,185	\$ 3,484	\$ 2,561	\$ 4,000	\$ 4,000	\$ 4,000
18000-021	Electricity	\$ 396,584	\$ 508,550	\$ 332,580	\$ 411,600	\$ 498,870	\$ 538,779
18100-021	Natural Gas	\$ 8,307	\$ 11,579	\$ 4,989	\$ 13,573	\$ 7,483	\$ 14,930
18800-021	Depreciation	\$ 1,008,668	\$ 1,117,952	\$ 844,210	\$ 1,275,192	\$ 1,266,315	\$ 1,338,952
19500-021	Maintenance - Grounds	\$ 7,985	\$ 3,055	\$ 2,440	\$ 52,000	\$ 3,661	\$ 15,000
19600-021	Purchased Water - (Elm Street, 88th & University, 92 & University, 88th Street, Alluvion, Osmium)	\$ 2,652,733	\$ 2,849,109	\$ 2,225,165	\$ 3,198,846	\$ 3,337,747	\$ 3,370,087
19640-021	Purchased Water - Grand & Glen Oaks	\$ 10,312	\$ 12,700	\$ 1,599	\$ 3,174	\$ 2,398	\$ 3,364
19660-021	Purchased Water - Joint Station O&M	\$ 5,880	\$ 8,175	\$ 22	\$ 8,300	\$ 8,300	\$ 8,300
19690-021	Purchased Water - Louis P Moon Pumping Station O&M	\$ 16,511	\$ 29,555	\$ 1,438	\$ 15,243	\$ 15,243	\$ 15,243
19700-021	Minor Equipment	\$ 2,851	\$ 4,341	\$ 900	\$ 3,200	\$ 1,350	\$ 3,200
19800-021	Miscellaneous	\$ (318)	\$ 31	\$ 10	\$ 1,000	\$ 15	\$ 1,000
19900-021	Vehicles and Equipment - Fuel	\$ 3,074	\$ 7,537	\$ 3,425	\$ 7,600	\$ 5,137	\$ 7,600
Water Treatment Chemicals and Laboratory Supplies							
20150-021	Lime Residuals Removal (Lagoons)	\$ 0	\$ 0	\$ 0	\$ 0	\$ -	\$ 0
20180-021	Lime Residuals Hauling (Press)	\$ 161,427	\$ 171,019	\$ 125,006	\$ 198,000	\$ 107,509	\$ 180,000
20200-021	Lime	\$ 322,729	\$ 360,162	\$ 323,394	\$ 541,247	\$ 485,091	\$ 523,898
20300-021	Soda Ash	\$ 44,881	\$ 45,833	\$ 46,772	\$ 67,439	\$ 70,159	\$ 73,667
20400-021	Ferric Chloride	\$ 13,351	\$ 7,951	\$ 10,538	\$ 26,440	\$ 15,804	\$ 16,120
20500-021	Carbon Dioxide	\$ 45,873	\$ 65,362	\$ 80,459	\$ 100,000	\$ 120,688	\$ 120,688
20550-021	Salt	\$ 26,370	\$ 16,354	\$ 14,220	\$ 16,000	\$ 21,331	\$ 24,530
20575-021	Sodium Hypo-Chlorite	\$ 75,934	\$ 135,177	\$ 139,380	\$ 230,506	\$ 209,070	\$ 209,070
20600-021	Other Chemicals	\$ 17,029	\$ 24,378	\$ 19,838	\$ 26,195	\$ 29,757	\$ 34,221
20700-021	Other - Supplies	\$ 1,093	\$ 1,110	\$ 815	\$ 1,000	\$ 1,223	\$ 1,000
20800-021	Laboratory Supplies	\$ 29,453	\$ 34,342	\$ 20,316	\$ 35,000	\$ 30,473	\$ 35,000
Treatment		\$ 6,401,027	\$ 7,143,853	\$ 5,353,426	\$ 8,239,270	\$ 8,061,565	\$ 8,630,560

Engineering		Operating Expenses					Accrual Basis	Anticipated	Accrual Basis
Account	Object of Expense	Actual Expense 2021	Actual Expense 2022	Actual Exp Jan- Aug 2023	Jan- Aug 2023	Budget 2023	Expense 2023	Budget 2024	
Payroll and Employee Benefits									
16000-041	Salaries and Wages	\$ 481,147	\$ 505,746	\$ 326,201		\$ 533,887	\$ 489,301	\$ 593,865	
16100-041	Overtime	\$ 25,484	\$ 27,500	\$ 20,659		\$ 24,269	\$ 30,989	\$ 25,483	
16200-041	Water Works' Share - FICA	\$ 36,203	\$ 38,896	\$ 25,294		\$ 42,699	\$ 37,941	\$ 47,380	
16300-041	Water Works' Share - IPERS	\$ 46,727	\$ 50,045	\$ 31,959		\$ 52,690	\$ 47,938	\$ 58,466	
16320-041	Accrued Sick Leave Expense	\$ (1,530)	\$ 0	\$ 0		\$ 0	\$ -	\$ 8,400	
16350-041	Water Works' Share - Deferred Compensation	\$ 3,250	\$ 3,250	\$ 2,875		\$ 6,500	\$ 4,475	\$ 6,500	
16400-041	Group Health and Life Insurance	\$ 73,029	\$ 70,709	\$ 52,640		\$ 79,040	\$ 78,960	\$ 86,944	
16500-041	Allowances	\$ 2,994	\$ 2,549	\$ 1,532		\$ 4,000	\$ 2,298	\$ 4,000	
16510-041	Mileage	\$ 173	\$ 0	\$ 64		\$ 500	\$ 96	\$ 500	
Commodities and Services									
17040-041	Consulting Fees - Safety	\$ 550	\$ 450	\$ 250		\$ 3,750	\$ 375	\$ 3,750	
17050-041	Consulting Fees - Engineering	\$ 21,100	\$ 14,059	\$ 15,044		\$ 110,000	\$ 110,000	\$ 125,000	
17070-041	Data Processing - Maintenance and Consulting Fees	\$ 25,738	\$ 21,624	\$ 13,032		\$ 27,000	\$ 26,000	\$ 31,300	
17080-041	Easement Recording Fees	\$ 0	\$ 1,122	\$ 310		\$ 1,500	\$ 465	\$ 1,500	
17200-041	Property and Other Insurance	\$ 9,563	\$ 9,429	\$ 7,371		\$ 11,010	\$ 11,288	\$ 13,300	
17600-041	Maintenance - Equipment	\$ 881	\$ 2,527	\$ 176		\$ 2,500	\$ 263	\$ 2,500	
17630-041	Locator Supplies	\$ 4,835	\$ 6,327	\$ 2,188		\$ 7,500	\$ 3,282	\$ 7,500	
17620-041	Maintenance-Vehicles	\$ 4,555	\$ 7,481	\$ 3,142		\$ 6,100	\$ 4,713	\$ 6,100	
17800-041	Communication	\$ 3,134	\$ 3,606	\$ 908		\$ 4,100	\$ 1,361	\$ 4,100	
17900-041	Continuing Education and Travel	\$ 2,359	\$ 2,627	\$ 2,529		\$ 4,000	\$ 4,000	\$ 7,000	
18800-041	Depreciation	\$ 20,822	\$ 24,564	\$ 16,533		\$ 25,746	\$ 24,800	\$ 27,036	
19700-041	Minor Equipment	\$ 7,438	\$ 1,596	\$ 860		\$ 4,000	\$ 1,290	\$ 4,000	
19800-041	Miscellaneous	\$ 305	\$ 600	\$ 0		\$ 1,000	\$ -	\$ 1,000	
19850-051	Iowa One Call System	\$ 17,999	\$ 17,059	\$ 13,132		\$ 22,000	\$ 19,698	\$ 20,000	
19900-041	Vehicles and Equipment - Fuel	\$ 7,900	\$ 9,542	\$ 5,681		\$ 10,500	\$ 8,522	\$ 10,500	
20700-041	Other Supplies	\$ 592	\$ 594	\$ 419		\$ 1,000	\$ 628	\$ 1,000	
Engineering Department Totals		795,249	821,902	542,799		985,294	908,684	1,097,124	

Water Distribution		Operating Expenses					
Account	Object of Expense	Actual Expense 2021	Actual Expense 2022	Actual Exp Jan-Aug 2023	Accrual Basis Budget 2023	Anticipated Expense 2023	Accrual Basis Budget 2024
Payroll and Employee Benefits							
16000-051	Salaries and Wages	\$ 751,874	\$ 802,114	\$ 564,145	\$ 835,790	\$ 846,217	\$ 888,801
16100-051	Overtime	\$ 28,621	\$ 30,540	\$ 28,058	\$ 18,122	\$ 43,586	\$ 19,028
16200-051	Water Works' Share - FICA	\$ 55,782	\$ 60,348	\$ 43,633	\$ 65,324	\$ 65,450	\$ 69,449
16300-051	Water Works' Share - IPERS	\$ 70,361	\$ 77,772	\$ 54,228	\$ 80,609	\$ 81,342	\$ 85,699
16320-051	Accrued Sick Leave Expense	\$ 0	\$ 38,349	\$ 0	\$ 0	\$ -	\$ 0
16350-051	Water Works' Share - Deferred Compensation	\$ 5,200	\$ 5,200	\$ 4,250	\$ 6,500	\$ 6,375	\$ 6,500
16400-051	Group Health and Life Insurance	\$ 145,336	\$ 183,084	\$ 137,450	\$ 212,375	\$ 206,176	\$ 233,613
16500-051	Allowances	\$ 5,411	\$ 7,190	\$ 2,398	\$ 9,750	\$ 3,597	\$ 9,750
Commodities and Services							
17040-051	Consulting Fees - Safety	\$ 11,125	\$ 17,950	\$ 250	\$ 750	\$ 375	\$ 750
17070-051	Data Processing - Maintenance and Consulting Fees	\$ 12,003	\$ 10,048	\$ 6,511	\$ 16,000	\$ 15,000	\$ 12,400
17200-051	Property and Other Insurance	\$ 16,064	\$ 16,220	\$ 12,279	\$ 18,637	\$ 19,242	\$ 23,200
17500-051	Maintenance - Buildings and Structures	\$ 4,622	\$ 46,667	\$ 24,607	\$ 45,000	\$ 36,910	\$ 50,000
17800-051	Maintenance - Equipment	\$ 55,020	\$ 31,259	\$ 6,509	\$ 39,000	\$ 9,764	\$ 39,000
17801-051	Maintenance - Equipment (Dist Budget-Mitch)	\$ 0	\$ 0	\$ 9,118	\$ 39,000	\$ 13,677	\$ 39,000
17610-051	Maintenance - Generalors	\$ 13,886	\$ 17,205	\$ 27,319	\$ 22,000	\$ 40,979	\$ 22,000
17620-051	Maintenance-Vehicles	\$ 31,334	\$ 45,722	\$ 27,801	\$ 33,400	\$ 41,701	\$ 40,080
17640-051	Maintenance-Hydrant Motors	\$ 0	\$ 0	\$ 2,838	\$ 20,000	\$ 4,257	\$ 20,000
17700-051	Maintenance - Water Distribution System	\$ 170,618	\$ 145,724	\$ 239,661	\$ 251,000	\$ 359,482	\$ 215,000
17720-051	Tapping Supplies	\$ 158,720	\$ 176,570	\$ 37,490	\$ 250,000	\$ 56,235	\$ 150,000
17800-051	Communication	\$ 4,576	\$ 4,683	\$ 1,898	\$ 6,500	\$ 2,848	\$ 6,500
17900-051	Continuing Education and Travel	\$ 2,355	\$ 4,719	\$ 1,893	\$ 4,400	\$ 4,400	\$ 4,400
18000-051	Electricity	\$ 190,344	\$ 141,044	\$ 89,261	\$ 224,203	\$ 133,891	\$ 144,602
18100-051	Natural Gas	\$ 498	\$ 835	\$ 651	\$ 850	\$ 977	\$ 935
18800-051	Depreciation	\$ 2,399,963	\$ 2,531,211	\$ 1,515,543	\$ 2,383,509	\$ 2,273,315	\$ 2,502,685
19500-051	Maintenance - Grounds	\$ 42,501	\$ 6,667	\$ 4,510	\$ 15,000	\$ 6,765	\$ 27,000
19700-051	Minor Equipment	\$ 6,631	\$ 4,256	\$ 8,550	\$ 15,000	\$ 12,825	\$ 17,250
19800-051	Miscellaneous	\$ 3,877	\$ 1,543	\$ 0	\$ 500	\$ -	\$ 500
19900-051	Vehicles and Equipment - Fuel	\$ 25,623	\$ 30,409	\$ 19,799	\$ 30,400	\$ 29,699	\$ 30,400
20700-051	Other Supplies	\$ 1,181	\$ 1,849	\$ 1,486	\$ 2,500	\$ 2,229	\$ 2,500
Distribution Department Totals		\$ 4,175,528	\$ 4,439,185	\$ 2,873,137	\$ 4,646,120	\$ 4,317,323	\$ 4,661,042

Accounting & Customer Service		Operating Expenses			Accrual Basis	Anticipated	Accrual Basis
Account	Object of Expense	Actual Expense 2021	Actual Expense 2022	Actual Exp Jan-Aug 2023	Budget 2023	Expense 2023	Budget 2024
Payroll and Employee Benefits							
16000-081	Salaries and Wages	\$ 824,489	\$ 799,286	\$ 554,135	\$ 852,145	\$ 831,202	\$ 891,822
16100-081	Overtime	\$ 10,400	\$ 11,932	\$ 10,593	\$ 11,219	\$ 15,889	\$ 11,780
16200-081	Water Works' Share - FICA	\$ 61,806	\$ 60,855	\$ 42,406	\$ 66,047	\$ 63,609	\$ 69,126
16300-081	Water Works' Share - IPERS	\$ 77,602	\$ 75,917	\$ 53,854	\$ 81,502	\$ 80,781	\$ 85,300
16320-081	Accrued Sick Leave Expense	\$ 168	\$ 2,202	\$ 0		\$ -	\$ 32,000
16350-081	Water Works' Share - Deferred Compensation	\$ 10,400	\$ 9,800	\$ 8,500	\$ 13,000	\$ 12,750	\$ 13,000
16400-081	Group Health and Life Insurance	\$ 86,034	\$ 75,191	\$ 59,130	\$ 96,975	\$ 88,695	\$ 106,673
16500-081	Allowances	\$ 1,851	\$ 2,875	\$ 845	\$ 3,800	\$ 3,800	\$ 3,800
16510-081	Mileage	\$ 278	\$ 309	\$ 199	\$ 600	\$ 299	\$ 540
Commodities and Services							
16900-081	Collection Expense	\$ 103	\$ 1,936	\$ 145	\$ 2,200	\$ 210	\$ 2,200
17040-051	Consulting Fees - Safety	\$ 550	\$ 450	\$ 250	\$ 750	\$ 375	\$ 750
17050-081	Consulting Fees - Accounting	\$ 22,235	\$ 20,700	\$ 19,644	\$ 24,000	\$ 29,465	\$ 48,950
17070-081	Data Processing - Maintenance and Consulting Fees	\$ 73,857	\$ 83,435	\$ 57,386	\$ 137,000	\$ 118,000	\$ 149,700
17200-081	Property and Other Insurance	\$ 15,256	\$ 11,545	\$ 10,799	\$ 41,740	\$ 16,892	\$ 28,400
17300-081	Postage and Shipping	\$ 78,931	\$ 106,307	\$ 73,259	\$ 110,000	\$ 109,888	\$ 110,000
17400-001	Printing	\$ 43,084	\$ 13,284	\$ 21,236	\$ 14,000	\$ 31,854	\$ 33,447
17600-081	Maintenance - Equipment	\$ 4,782	\$ 2,603	\$ 9,366	\$ 4,900	\$ 9,500	\$ 4,900
17620-081	Maintenance-Vehicles	\$ 4,792	\$ 4,559	\$ 1,837	\$ 3,500	\$ 2,756	\$ 3,500
17710-081	Maintenance-Meter Valve Replacements	\$ 7,233	\$ 3,208	\$ 3,708	\$ 10,000	\$ 5,562	\$ 10,000
17800-081	Communication	\$ 5,708	\$ 5,979	\$ 2,732	\$ 6,400	\$ 4,097	\$ 7,900
17900-081	Travel and Continuing Education	\$ 2,057	\$ 893	\$ 1,921	\$ 7,900	\$ 5,000	\$ 7,500
18300-081	Bad Debts	\$ 2,451	\$ 7,589	\$ 4,450	\$ 4,845	\$ 8,875	\$ 6,675
18800-081	Depreciation	\$ 39,912	\$ 41,042	\$ 53,595	\$ 63,000	\$ 80,392	\$ 84,500
19700-081	Minor Equipment	\$ 1,139	\$ 717	\$ 178	\$ 2,000	\$ 267	\$ 2,000
19800-081	Miscellaneous	\$ 104	\$ -	\$ 0	\$ 1,000	\$ -	\$ 1,000
19900-081	Vehicles and Equipment - Fuel	\$ 7,177	\$ 7,050	\$ 3,530	\$ 10,000	\$ 5,298	\$ 10,000
19950-081	Lock Box Charges	\$ 56,409	\$ 54,653	\$ 35,213	\$ 72,000	\$ 52,819	\$ 55,460
20700-081	Other Supplies	\$ 447	\$ 741	\$ 380	\$ 1,060	\$ 570	\$ 1,060
Customer Service and Finance Dept Totals		\$ 1,441,253	\$ 1,404,960	\$ 1,029,291	\$ 1,641,183	\$ 1,576,654	\$ 1,781,982

Administration							Operating Expenses	
Account	Object of Expense	Actual Expense 2021	Actual Expense 2022	Actual Exp Jan-Aug 2023	Accrual Basis Budget 2023	Anticipated Expense 2023	Accrual Basis Budget 2024	
Payroll and Employee Benefits								
16000-091	Salaries and Trustees' Compensation	\$ 163,726	\$ 216,387	\$ 157,050	\$ 235,170	\$ 235,575	\$ 378,013	
16100-081	Overtime	\$ 0	\$ 553	\$ 391	\$ 1,000	\$ 587	\$ 1,050	
16150-091	Employee Fitness Incentive Program	\$ 5,770	\$ 5,790	\$ 2,949	\$ 14,400	\$ 4,423	\$ 7,200	
16200-091	Water Works' Share - FICA	\$ 11,808	\$ 15,513	\$ 12,026	\$ 19,169	\$ 18,038	\$ 29,549	
16300-091	Water Works' Share - IPERS	\$ 14,721	\$ 19,616	\$ 13,901	\$ 22,294	\$ 20,852	\$ 36,463	
16320-091	Accrued Sick Leave Expense	\$ 0	\$ 0	\$ 0	\$ 41,500	\$ -	\$ 0	
16330-091	Other Postemployment Benefits	\$ 14,458	\$ 44,208	\$ 0	\$ 8,000	\$ 8,000	\$ 8,000	
16340-091	GASB 68 Pension Expense- excess over IPERS employer contributions	\$ (475,396)	\$ (319,489)	\$ 0	\$ 60,000	\$ 60,000	\$ 60,000	
16350-091	Water Works' Share - Deferred Compensation	\$ 2,650	\$ 2,650	\$ 2,550	\$ 3,900	\$ 3,825	\$ 7,800	
16400-091	Group Health and Life Insurance	\$ 17,914	\$ 31,204	\$ 23,562	\$ 55,625	\$ 35,343	\$ 61,903	
16500-091	Allowances	\$ 1,807	\$ 1,134	\$ 951	\$ 3,000	\$ 1,427	\$ 4,000	
16510-091	Mileage	\$ 158	\$ 456	\$ 0	\$ 1,000	\$ -	\$ 1,000	
16560-091	Employee Recognition Program	\$ 3,837	\$ 6,242	\$ 9,322	\$ 11,000	\$ 13,984	\$ 12,000	
Commodities and Services								
16600-091	Economic Development Contribution	\$ 51,250	\$ 52,531	\$ 0	\$ 53,845	\$ 53,845	\$ 55,191	
16800-091	Advertising and Legal Publications	\$ 18,914	\$ 32,544	\$ 10,531	\$ 29,000	\$ 15,797	\$ 29,000	
17050-091	Consulting Fees - Admin & Legal	\$ 100,000	\$ 72,000	\$ 23,691	\$ 256,000	\$ 256,000	\$ 238,000	
17052-091	CIWW Costs	\$ 0	\$ 0	\$ 0	\$ 305,000	\$ -	\$ 350,000	
17070-091	Consulting Fees - Data Processing	\$ 9,306	\$ 9,102	\$ 5,231	\$ 15,000	\$ 13,000	\$ 8,400	
17100-091	Dues and Memberships	\$ 3,134	\$ 10,124	\$ 7,052	\$ 12,000	\$ 10,578	\$ 12,000	
17200-091	Property and Other Insurance	\$ 6,506	\$ 11,483	\$ 7,329	\$ 14,407	\$ 11,288	\$ 13,300	
17300-091	Postage and Shipping	\$ 1,334	\$ 5,695	\$ 2,889	\$ 8,100	\$ 4,333	\$ 8,100	
17500-091	Maintenance - Building	\$ 19,408	\$ 21,846	\$ 13,532	\$ 25,000	\$ 20,298	\$ 25,000	
17600-091	Maintenance - Equipment	\$ 415	\$ 2,384	\$ 1,010	\$ 4,500	\$ 1,515	\$ 4,500	
17800-091	Communication	\$ 1,854	\$ 1,707	\$ 1,667	\$ 2,500	\$ 2,500	\$ 2,500	
17900-091	Continuing Education and Travel	\$ 1,108	\$ 3,257	\$ 2,166	\$ 5,400	\$ 5,400	\$ 5,400	
18000-091	Electricity	\$ 7,189	\$ 7,208	\$ 4,432	\$ 7,560	\$ 6,648	\$ 7,180	
18100-091	Natural Gas	\$ 0	\$ 918	\$ 621	\$ 3,135	\$ 932	\$ 3,449	
18800-091	Depreciation	\$ 55,855	\$ 75,263	\$ 34,415	\$ 59,000	\$ 59,000	\$ 81,950	
19700-091	Minor Equipment	\$ 0	\$ 246	\$ 0	\$ 500	\$ 500	\$ 500	
19500-091	Maintenance - Grounds	\$ 6,941	\$ 1,692	\$ 970	\$ 5,500	\$ 1,454	\$ 5,500	
19800-091	Miscellaneous	\$ 484	\$ 388	\$ 0	\$ 1,500	\$ 1,500	\$ 1,500	
20100-091	Office Supplies	\$ 12,442	\$ 8,585	\$ 4,998	\$ 15,000	\$ 7,498	\$ 15,000	
20700-091	Other Supplies	\$ 567	\$ 508	\$ 219	\$ 1,000	\$ 328	\$ 1,000	
20710-091	Kitchen Supplies	\$ 558	\$ 1,003	\$ 921	\$ 1,000	\$ 1,381	\$ 1,500	
Administration Expenses		\$ 58,514	\$ 342,751	\$ 344,378	\$ 1,301,005	\$ 875,850	\$ 1,455,948	
Debt Service - Interest								
22081-091	Interest SRF Loan	\$ 46,445	\$ 47,607	\$ 27,927	\$ 41,580	\$ 41,891	\$ 39,078	
Sub-totals - Interest		\$ 148,113	\$ 47,607	\$ 27,927	\$ 41,580	\$ 41,891	\$ 39,078	
Administration Department Totals								
Operating Expenses		\$ 101,850	\$ 342,751	\$ 344,378	\$ 1,301,005	\$ 875,850	\$ 1,455,948	
Interest		\$ 148,113	\$ 47,772	\$ 27,927	\$ 41,580	\$ 41,891	\$ 39,078	
Administration Department Totals		\$ 249,962	\$ 390,523	\$ 372,305	\$ 1,342,585	\$ 917,741	\$ 1,495,026	
SUMMARY OF OPERATING EXPENSES								
Water Treatment		\$ 6,401,027	\$ 7,143,853	\$ 5,353,426	\$ 8,239,270	\$ 8,061,585	\$ 8,630,560	
Engineering		\$ 795,249	\$ 821,902	\$ 542,799	\$ 985,294	\$ 908,684	\$ 1,097,124	
Water Distribution		\$ 4,175,528	\$ 4,439,165	\$ 2,873,137	\$ 4,646,120	\$ 4,317,323	\$ 4,661,042	
Customer Service and Finance		\$ 1,441,253	\$ 1,404,960	\$ 1,029,291	\$ 1,641,183	\$ 1,576,654	\$ 1,781,982	
Administration		\$ 249,962	\$ 390,523	\$ 372,305	\$ 1,342,585	\$ 917,741	\$ 1,495,026	
Sub-Totals Operating Expense plus Bond Interest		\$ 13,063,019	\$ 14,200,421	\$ 10,170,957	\$ 16,854,450	\$ 15,781,967	\$ 17,665,733	
Totals - Current Year Revenue		\$ 21,511,692	\$ 28,334,824	\$ 13,879,637	\$ 23,631,048	\$ 22,241,703	\$ 21,212,545	
Net Revenue over Operating Expenses		\$ 8,447,774	\$ 14,134,402	\$ 3,708,680	\$ 6,776,598	\$ 6,459,736	\$ 3,546,812	

CAPITAL OUTLAY		Actual Expense 2021	Actual Expense 2022	Actual Exp Jan- Aug 2023	Accrual Basis Budget 2023	Accrual Basis Budget 2024
Debt Service - Principal - Funds Required						
	2012 DMWW Refunding Bonds - WDMWW Share - Treatment Plant capacity 2 MGD	\$ 1,314,286	\$ -	\$ 0	\$ 0	\$ 0
	2012 Water Revenue Bonds	\$ 3,000,000	\$ -	\$ 0	\$ 0	\$ 0
	2013 Water Revenue Bonds	\$ 675,000	\$ -	\$ 0	\$ 0	\$ 0
	SRF Loan	\$ 136,000	\$ 139,000	\$ 142,000	\$ 139,000	\$ 144,000
	ASR	\$ 0	\$ 0	\$ 0	\$ 0	\$ 520,500
	Meridian Agreement w/City	\$ 0	\$ 0	\$ 0	\$ 115,000	\$ 0
	Project Ginger Agreement w/City-Estimate	\$ 0	\$ 0	\$ 0	\$ 250,000	\$ 0
	Sub-totals - Debt Service - Principal	\$ 5,125,286	\$ 139,000	\$ 142,000	\$ 504,000	\$ 664,500
Meters New Construction						
00600-100	Inventory - Meters and Appurtenances-New Construction	\$ 150,347	\$ 155,263	\$ 203,558	\$ 175,000	\$ 175,000
Land						
00800-100	Land-New Well Field-Van Meter	\$ 0	\$ 0	\$ 0	\$ 0	\$ 0
00800-100	Land-New Joint West Plant	\$ 0	\$ 0	\$ 0	\$ 0	\$ 0
	Total Land	\$ 0	\$ 0	\$ 0	\$ 0	\$ 0
Building & Equipment						
-14004	PC and laptop replacements scheduled	\$ 17,982	\$ 0	\$ 22,710	\$ 43,000	\$ 20,000
00800-160	Meter Replacement/Upgrade Plan	\$ 462,624	\$ 155,283	\$ 263,385	\$ 350,000	\$ 350,000
-18007/20001	Building Security Improvements-Plant	\$ 28,417	\$ 0	\$ 0	\$ 0	\$ 0
19004/20009	SCADA System Upgrade	\$ 423,220	\$ 0	\$ 0	\$ 211,358	\$ 0
-20094	Painting Aerator (Interior)	\$ 133,895	\$ 8,990	\$ 224,780	\$ 221,010	\$ 0
-20099	SCADA System Upgrade 2023	\$ 0	\$ 265,422	\$ 24,765	\$ 0	\$ 0
-21002	Generator Switchgear	\$ 57,935	\$ 0	\$ 0	\$ 0	\$ 0
-21003/-22021	Plant Contingency	\$ 30,490	\$ 7,338	\$ 0	\$ 0	\$ 0
-21004	Painting-Ground Stillwell Tower - IMG Storage (Interior)	\$ 399,413	\$ 415,848	\$ 4,250	\$ 0	\$ 0
-22013	Building 1 Structural Repairs	\$ 0	\$ 0	\$ 0	\$ 0	\$ 0
-21005/-22015	Misc Improvements/Equipment-Distribution	\$ 19,934	\$ 8,971	\$ 0	\$ 0	\$ 0
-21007/-22020	Plant Equipment/Building Upgrades	\$ 44,793	\$ 121,486	\$ 0	\$ 0	\$ 0
-21008	LP Moon-4th Pump Cost Share	\$ 0	\$ 0	\$ 0	\$ 150,000	\$ 0
-22014	Relocate/new MCC1	\$ 0	\$ 33,733	\$ 7,014	\$ 709,933	\$ 0
-22017	Replace Automatic Transfer Switch	\$ 0	\$ 33,733	\$ 7,014	\$ 253,933	\$ 0
-22010	Generator Control Unit	\$ 0	\$ 33,733	\$ 7,014	\$ 26,933	\$ 0
-22019	GPS Surveying Equipment	\$ 0	\$ 89,150	\$ 0	\$ 0	\$ 35,000
-22023	39th Reservoir Painting	\$ 0	\$ 125,243	\$ 13,147	\$ 34,757	\$ 0
-23011	Building 1 Structural Repairs	\$ 0	\$ 0	\$ 0	\$ 60,000	\$ 0
-23012	Miscellaneous Improvements/Equipment - Dist	\$ 0	\$ 0	\$ 0	\$ 50,000	\$ 50,000
-23013	Miscellaneous Equipment-General Office	\$ 0	\$ 0	\$ 0	\$ 20,000	\$ 50,000
-23014	AC Ward Dumpster Enclosure	\$ 0	\$ 0	\$ 0	\$ 50,000	\$ 0
-23015	New 30 Ton CO2 Tank	\$ 0	\$ 0	\$ 0	\$ 72,500	\$ 0
-23016	Replace HSP No. 3	\$ 0	\$ 0	\$ 16,109	\$ 50,000	\$ 500,000
-23017	SCADA Update - Antennas	\$ 0	\$ 0	\$ 0	\$ 300,000	\$ 0
-23018	Plant Contingency	\$ 0	\$ 0	\$ 14,218	\$ 50,000	\$ 50,000
-23020	Tower Screenings (50th & Stillwell)-Design Only	\$ 0	\$ 0	\$ 8,250	\$ 30,000	\$ 250,000
-23021	Dewatering Air Compressors	\$ 0	\$ 0	\$ 9,895	\$ 100,000	\$ 0
-23023	Plant Equipment/Building Upgrades	\$ 0	\$ 0	\$ 56,596	\$ 235,000	\$ 300,000
00800-120-24001	Water Treatment Site Study and Design	\$ 0	\$ 0	\$ 0	\$ 0	\$ 500,000
00800-120-24002	Meter Read Collector	\$ 0	\$ 0	\$ 0	\$ 0	\$ 55,000
00800-120-24003	SCADA Computer Replacement	\$ 0	\$ 0	\$ 0	\$ 0	\$ 100,000
	Total Building & Equipment	\$ 1,769,029	\$ 1,434,211	\$ 880,706	\$ 3,193,424	\$ 2,435,000
Vehicles						
-16010/-21023/-22022	Vehicle Replacement	\$ 165,690	\$ 50,113	\$ 0	\$ 0	\$ 0
-23019	Vehicle Replacement	\$ 0	\$ 0	\$ 45,384	\$ 55,000	\$ 0
00800-120-24012	Vehicle Replacement	\$ 0	\$ 0	\$ 0	\$ 0	\$ 200,000
Improvements						
-20001	AC Ward Facility Assessment-Long Term CIP Planning	\$ 135,000	\$ 0	\$ 0	\$ 0	\$ 0
-17005/20004	Ashworth Rd 8th-35th Design/Constr	\$ 6,287	\$ 0	\$ 0	\$ 0	\$ 0
-20005	Joint Water Main & Pump Station-South Area	\$ 35,203	\$ 0	\$ 0	\$ 0	\$ 0
-19004/20007	S. 60th from Joint Booster to Veterans	\$ 1,260	\$ 0	\$ 0	\$ 0	\$ 0
-20009	2020 Water Main Replacement	\$ 23,330	\$ 0	\$ 0	\$ 0	\$ 0
-20010	EP True - Phase 1 88th to 2600 feet west	\$ 29,355	\$ 0	\$ 0	\$ 0	\$ 0
-21009	Water Main Replacement - 7th St Clegg to N of Ashworth	\$ 198,156	\$ 16,500	\$ 0	\$ 0	\$ 0
-21010	Water Main Replacement - S 32nd - Fuller to CDS	\$ 134,089	\$ 10,755	\$ 0	\$ 0	\$ 0
-21001	88th St - Primo Lane to Ashworth	\$ 98,603	\$ 25,000	\$ 0	\$ 0	\$ 0
-21011	Ashworth Road 8th to 35th - Design	\$ 1,455,163	\$ 1,439,109	\$ 0	\$ 0	\$ 0
-21012	Ashworth Road 180 Crossing	\$ 361,323	\$ 25,000	\$ 0	\$ 0	\$ 0
-21013	Meridian - Army Post Road	\$ 6,385	\$ 12,870	\$ 0	\$ 0	\$ 0
-21014	Grand Prairie Pkwy Mills to Stagecoach	\$ 355	\$ 0	\$ 0	\$ 0	\$ 0
-21015	Grand Prairie Pkwy Stagecoach to Booneville	\$ 659	\$ 0	\$ 0	\$ 0	\$ 0
-21016	Booneville Rd 100th to Future Grand Prairie Parkway	\$ 323	\$ 0	\$ 0	\$ 0	\$ 0
-21017	Booneville Rd - Grand Prairie Parkway to 115th	\$ 323	\$ 0	\$ 0	\$ 0	\$ 0
-21018	Grand Avenue-1000 West of 88th to GPP	\$ 701	\$ 0	\$ 0	\$ 0	\$ 0
-21019	Grand Avenue-GPP to 115th St	\$ 1,490	\$ 0	\$ 0	\$ 0	\$ 0
-21021	South Area Elevated Water Storage Tower-Adams Tank & All Design	\$ 167,830	\$ 6,752,878	\$ 635,982	\$ 2,620,065	\$ 0
-21022	Sewer on Private Property-South Area Elevated Water Storage Tower	\$ 24,146	\$ 0	\$ 0	\$ 0	\$ 0
-21023	Adams Water Main-South Area Elevated Water Storage Tower	\$ 511	\$ 607,647	\$ 0	\$ 0	\$ 0
-22001	2022 Water Main Replacement	\$ 0	\$ 4,597	\$ 0	\$ 0	\$ 0
-21025	Shallow Well Construction at AC Ward	\$ 0	\$ 2,167	\$ 0	\$ 597,834	\$ 0
-22002	Butterfly Valve Replacement	\$ 0	\$ 70,362	\$ 0	\$ 0	\$ 0
-22003	EP True - Phase 2a Napoli to Wendover Lane	\$ 0	\$ 168,360	\$ 2,519	\$ 76,844	\$ 0
-22004	Meridian/South Branch Business Park - Army Post Road	\$ 0	\$ 6,245	\$ 0	\$ 0	\$ 0
-22005	SE Maffitt Lake Rd - 530 ft West of 22nd Street	\$ 0	\$ 32,208	\$ 0	\$ 0	\$ 0
-22008	Booneville Rd - 100th to 115th	\$ 0	\$ 3,010	\$ 0	\$ 0	\$ 0

-22026	Blue Creek Water Main Replacement	\$	0	\$	100	\$	76,952	\$	74,900	\$	0
-22027	8th St Reconstruction (I235 to Clegg)	\$	0	\$	855	\$	119,757	\$	299,146	\$	0
-23001	Water Main Replacement-Briar Ridge	\$	0	\$	0	\$	365,502	\$	495,404	\$	0
-23002	Water Main Replacement-Pommel Place	\$	0	\$	0	\$	0	\$	275,000	\$	0
-23003	Water Main Replacement-Thornwood	\$	0	\$	0	\$	380	\$	200,000	\$	0
-23004	Center Street Main Replacement	\$	0	\$	0	\$	62,329	\$	60,000	\$	0
-23005	Butterfly Valve Replacement	\$	0	\$	0	\$	0	\$	80,000	\$	0
-23006	Ashworth Phase 3 (23rd to 31st)	\$	0	\$	0	\$	1,237,565	\$	2,456,726	\$	0
-23006	Rural Water Territory Purchase	\$	0	\$	0	\$	0	\$	250,000	\$	900,000
-23007	Grand Ave Booster Station Pipe Modifications	\$	0	\$	0	\$	15,081	\$	75,000	\$	0
-23008	Shallow Well Construction at AC Ward	\$	0	\$	0	\$	39,609	\$	600,000	\$	1,600,000
-23009	Mills Civic Parkway at 88th	\$	0	\$	2,094	\$	108,592	\$	162,500	\$	0
-23010	Aquifer Storage and Recovery Well	\$	0	\$	0	\$	149,723	\$	2,500,000	\$	5,500,000
-23022	Anticipated City Reimbursements-Small Projects	\$	0	\$	0	\$	48,926	\$	75,000	\$	0
-23024	Maffitt Lake Road -22nd to SE 42nd/north sided of Hwy 5(Fee District Main)	\$	0	\$	0	\$	1,404,256	\$	3,152,152	\$	0
-23025	Fox Creek Benefitted Water District	\$	0	\$	0	\$	0	\$	350,000	\$	500,000
-23026	SE 35th Street-Veterans Parkway to South	\$	0	\$	0	\$	7,222	\$	350,000	\$	0
-23027	S 11th Street-Lincoln to 200 Feet South of Railroad	\$	0	\$	0	\$	76,343	\$	325,000	\$	0
00800-170-24004	2024 Water Main Replacement - TBD	\$	0	\$	0	\$	0	\$	0	\$	700,000
00800-170-24005	2024 Butterfly Valve Replacement	\$	0	\$	0	\$	0	\$	80,000	\$	80,000
00800-170-24006	New Distribution Shop	\$	0	\$	0	\$	0	\$	0	\$	1,000,000
00800-170-24007	Mills Civic Parkway-Relocation	\$	0	\$	0	\$	0	\$	0	\$	120,000
00800-170-24008	Grand Experience-Water Main Relocation & Misc Costs	\$	0	\$	0	\$	0	\$	0	\$	450,000
00800-170-24009	Raccoon River Drive Water Main Improvements at S 88th Street	\$	0	\$	0	\$	0	\$	0	\$	170,000
00800-170-24010	88th Street Cleaning	\$	0	\$	0	\$	0	\$	0	\$	60,000
00800-170-24011	Anticipated City Reimbursements	\$	0	\$	0	\$	0	\$	0	\$	75,000
Sub-totals - Improvements		\$	2,678,491	\$	9,179,754	\$	4,350,738	\$	15,076,371	\$	11,155,000
Land											
Totals		\$	0	\$	0	\$	0	\$	0	\$	0
Building and Equipment											
Totals		\$	1,934,719	\$	1,434,211	\$	926,090	\$	3,248,424	\$	2,635,000
Improvements											
Totals		\$	2,678,491	\$	9,179,754	\$	4,350,738	\$	15,076,371	\$	11,155,000
Sub-total -Land, Building Equipment and Improvements		\$	4,613,210	\$	10,613,965	\$	5,276,828	\$	18,324,795	\$	13,790,000
Debt Service - Principal		\$	5,125,286	\$	139,000	\$	142,000	\$	504,000	\$	664,500
TOTALS - CAPITAL OUTLAY		\$	9,738,496	\$	10,752,965	\$	5,418,828	\$	18,828,795	\$	14,454,500
SUMMARY OF ALL OPERATING AND CAPITAL											
Operating Expenses		\$	13,063,919	\$	14,200,421	\$	10,170,957	\$	16,994,450	\$	15,781,957
Debt Service - Principal		\$	5,125,286	\$	139,000	\$	142,000	\$	504,000	\$	664,500
Capital Outlay-Equipment & Improvements		\$	4,613,210	\$	10,613,965	\$	5,276,828	\$	18,324,795	\$	13,790,000
TOTALS - ALL OPERATING AND CAPITAL OUTLAY		\$	22,802,415	\$	24,953,387	\$	15,589,785	\$	35,783,245	\$	30,236,467