

# Welcome to the February 19, 2024, WDM Development & Planning Council Subcommittee

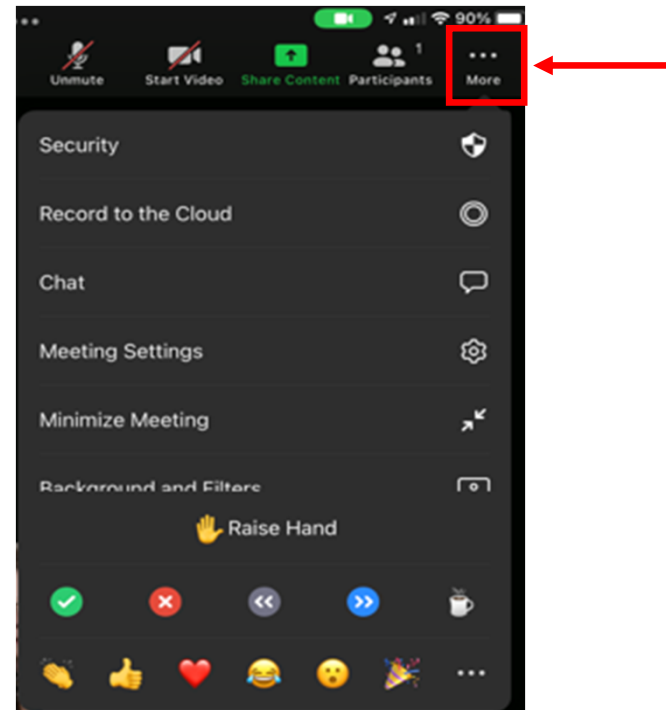
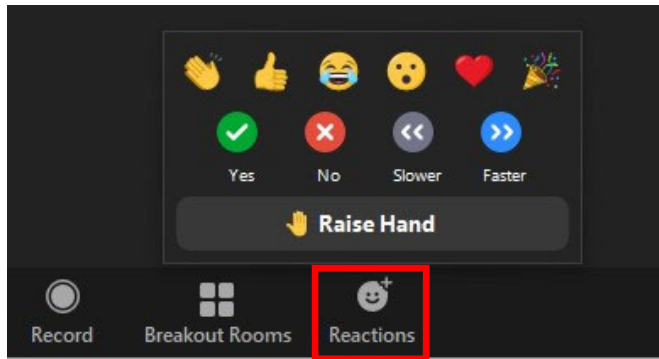
## Here are a few housekeeping items before we get started:

- You will be muted by default when joining the meeting.
- If you would like to comment, please raise your hand to indicate you wish to speak. The Subcommittee Chair will then call on you and you will be unmuted.
- **If you are participating by phone, dial \*9 to raise or lower your hand, dial \*6 to unmute or mute**
- **If you are participating by computer or tablet:**



### Raise Hand:

Depending on your device, Raise Hand can be found in the Reactions or the More (...) button on the Zoom toolbar:



## Item #1 – Digital Display Boards

### **To participate on this item:**

- The Subcommittee Chair will first have staff present explain the project.
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Item #1: *Digital Display Boards*



## **Purpose:**

- Looking to enhance the user and spectator experience when visiting our sports complexes and recreational facilities
- LED display screens allow you to engage the audience and showcase important content
  - Event/tournament information
  - Weather updates
  - Concession offerings and pricing
  - Court/field reservation information
  - Advertising

## **LED signs typically used for:**

- *Time and Temperature: Allowed*
  - max 12 square feet of sign area
  - static display with changes no more frequently than every 8 seconds
- *Hotel & Fuel Pricing: Not Allowed*
  - electronic, static display of price information
  - change remotely controlled
  - *City does allow electronically changeable price signage, but not LED illuminated*
- *Electronic Reader Boards: Not Allowed*
  - electronic message displays of static graphics
  - image change accomplished by means of fade, dissolve or scrolling the message
  - change by remote computer
- *Scoreboards (without video): Allowed*
  - accessory to sporting event to display game information
  - desired to be oriented internal to the site as much as possible

*LED types cont.*

- *Video Display Boards: Not Allowed except as part of stadium or recreational facility*
  - programmable, electronic graphic display
  - capacity for display of changeable text, illustrations or animation
  - computer software or other technology to automate

*Valley Football Stadium Video Board*

- intended to provide information and replays related to specific event occurring within the stadium
- intended for viewing by those in the recreational facility -- NOT geared towards viewing by the general public
- NOT intended to advertise the interests of any person or firm

*City code language for Video Boards: Every effort should be made in the design and placement of the scoreboard to limit and screen the view of any video display component of the scoreboard from the general public. If the scoreboard cannot be screened to adequately limit its view to patrons of the stadium or recreational facility, and a continuously unobstructed view to the general public of more than five (5) seconds exists, the following performance standards shall apply:*

- (A) Full use of all capabilities of the scoreboard shall be allowed only when an event is in progress within the stadium or recreational facility*
- (B) Full use of all capabilities of the scoreboard during the day of an event shall be limited to pregame warmups, game duration and postgame postings.*
- (C) Use of the scoreboard during athletic practices and activities with limited spectator involvement shall be limited to score and timing functions and shall not utilize any video display that may be a part of the scoreboard's capabilities.*

**Staff Concerns:**

- Precedent – if sponsors are allowed to “advertise” -- other businesses want for advertising purposes
- If ‘advertising’ it would be off-premise signage which is not allowed per city code
- Any visibility from roadways could be a distraction to drivers
- Use outside of events/activities occurring
- Light intensity
- Morphing into video boards or frequently changing messages

**Proposed Parameters to Allow Digital Reader Boards for Recreational Facilities:**

- Information board is located interior to the recreational facility with no visibility/readability of the message board from adjacent roadways, public or private or from adjacent properties not part of the recreational facility
- Copy is static or change occurs at no less than 45-second intervals
- Message displays restricted to only when activities or events are occurring or intended to occur in the recreational facility (e.g., event cancellation due to weather displayed up to the full time that the event was to occur) &/or, during recreational facility’s open hours (e.g., Valley View Park Pickleball reservation information)
- City ‘Sponsor Agreement’ is executed
- Sponsor identification abides by agreement:
  - *“CITY and SPONSOR shall mutually agree upon the Sponsorship Recognition Material.*
  - *“Sponsor will not have the right to display a message in Sponsorship Recognition Material that contains a comparative or qualitative description of SPONSOR’S goods or services, price information about SPONSOR’S good or services, or any other message that is a call to action related to the SPONSOR’s goods or services.”*
- No video display boards
- Includes adjustable light intensity controls

## Item #2 – Trash Enclosures

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## Discussion Item #2: *Standards for Trash Enclosures*

### **Current Regulations**

- Screening Of Trash Receptacles ... dumpsters shall be opaquely screened on all sides by the use of a permanent enclosure, with gates for disposal truck access.
- Enclosure shall be constructed to visibly screen the receptacle from public view and views from the adjoining properties.

### **Why?**

- Mitigate view of negative site element (dumpster & trash)
- Contain trash that overflows the dumpster
- Deter unauthorized dumping and vermin.





**City Code:**

- Enclosure shall be constructed of materials and colors compatible with the dominant architectural materials of buildings on site
- Shall be integral to a building on site whenever possible.
- Designed to minimize the views into the enclosure.
- Enclosure should be landscaped to mitigate the visual impact of the enclosure on surrounding properties and public thoroughfares.

**Typical PUD requirements:**

- Proper selection of exterior building material is directly related to the durability of the building against weathering and damage from natural forces.
- Materials should be durable, economically maintained and of a quality that will maintain their appearance over a prolonged time.

*Landscaping to soften the appearance of the enclosure and to screen from view.*



*Materials and colors compatible with the primary buildings on the site*

## Durability

- Characteristically, dumpster and trash enclosures are in parking areas and subject to impacts from garbage trucks, dumpsters, snowplows and vehicles.
- Other trash/materials is piled up against the enclosure
- During the winter they often have snow piled up on the outside making pedestrian and truck access difficult -- or snow isn't removed from the inside of the enclosure restricting the placement back into the enclosure.

The use of non-durable materials, undersized structural frame, residential type hardware and insufficient attachment or support at the paving will result in premature deterioration and future nuisance issues.

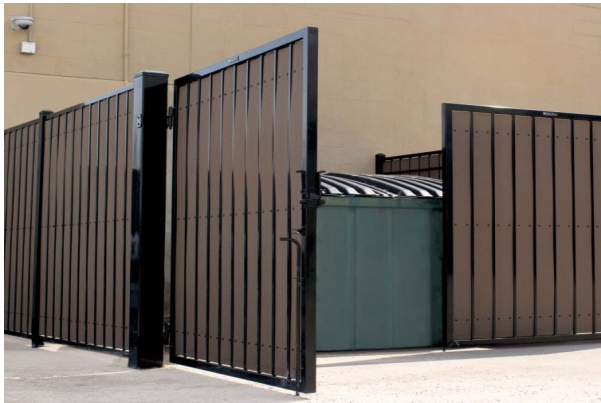
Enclosures located near the property line or against primary structures will require fire resistive materials.



## Enclosure Materials

### Masonry walls (brick veneer or concrete masonry units)

- ~ Life span 100+ years
- ~ Capable of resisting impact loads
- ~ Class A fire rating
- ~ Compatible in appearance to masonry clad buildings



### Metal or Composite Panels

- ~ Life Span 25 to 30 years
- ~ Capable of resisting impact loads (if mounted on a sturdy frame and of sufficient thickness)
- ~ Materials available with a Class A fire rating
- ~ Compatible in appearance to architectural metal used on buildings
- ~ Can be similar in appearance to other building materials with proper color choice

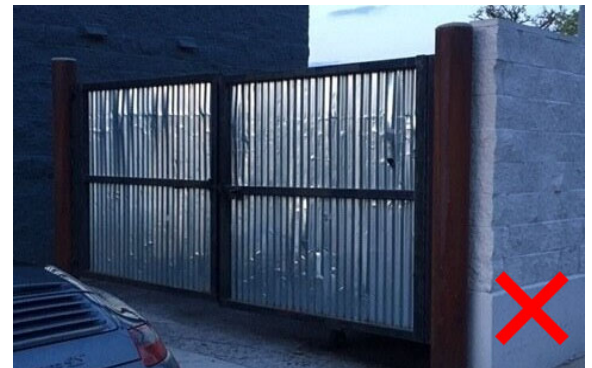
### Cedar or treated wood

- ~ Life Span 10 years (when exposed to the elements it deteriorates quicker)
- ~ Not capable of resisting impact loads even if mounted on a sturdy frame
- ~ Has a Class C (combustible) fire rating
- ~ Compatible in appearance to wood clad buildings
- ~ Can be painted or stained to match, however paint becomes a continuous maintenance issue and stain will fade quickly.



## Gate Construction

- Large gates are very heavy
- To maintain the ability to operate long term they must be attached to a substantial frame with lateral support to prevent sagging and separation from the enclosure.
- Enclosures should be placed on a level surface and with gates designed with sufficient clearance to prevent binding and/or being blocked by snow
  - Gates that do not operate are typically left open or removed
- Gates also take the same abuse that enclosure walls take – they should be clad with durable material that can handle impact loads
- Should be constructed with materials that will maintain appearance



## Retrofit Installations

- Already developed sites that do not have enclosures;
- Site had enclosures that have fallen apart;
- Current business is generating more trash than when site was first developed.

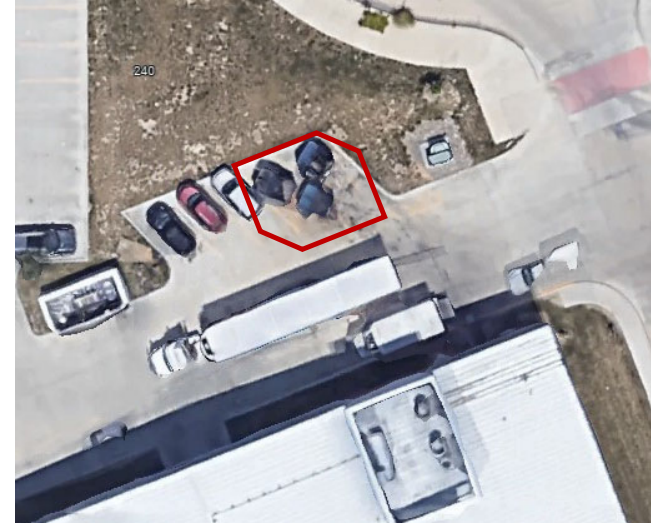
These sites often require a different approach due to site issues such as limited space to place an enclosure or existing overhead or underground utilities

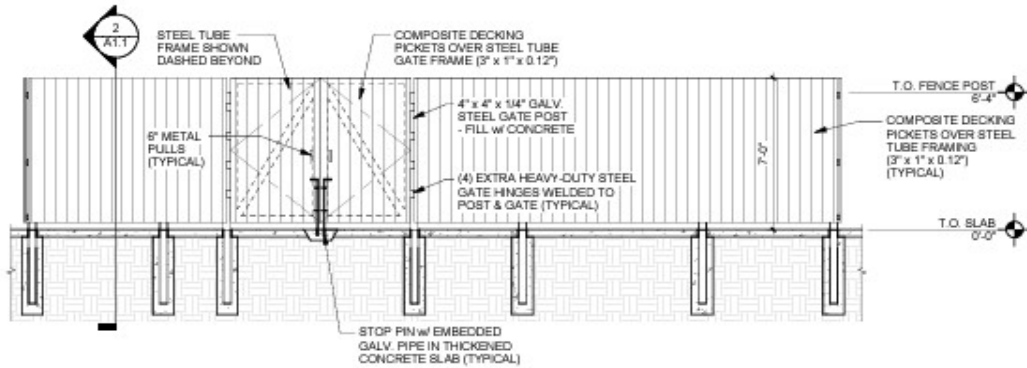
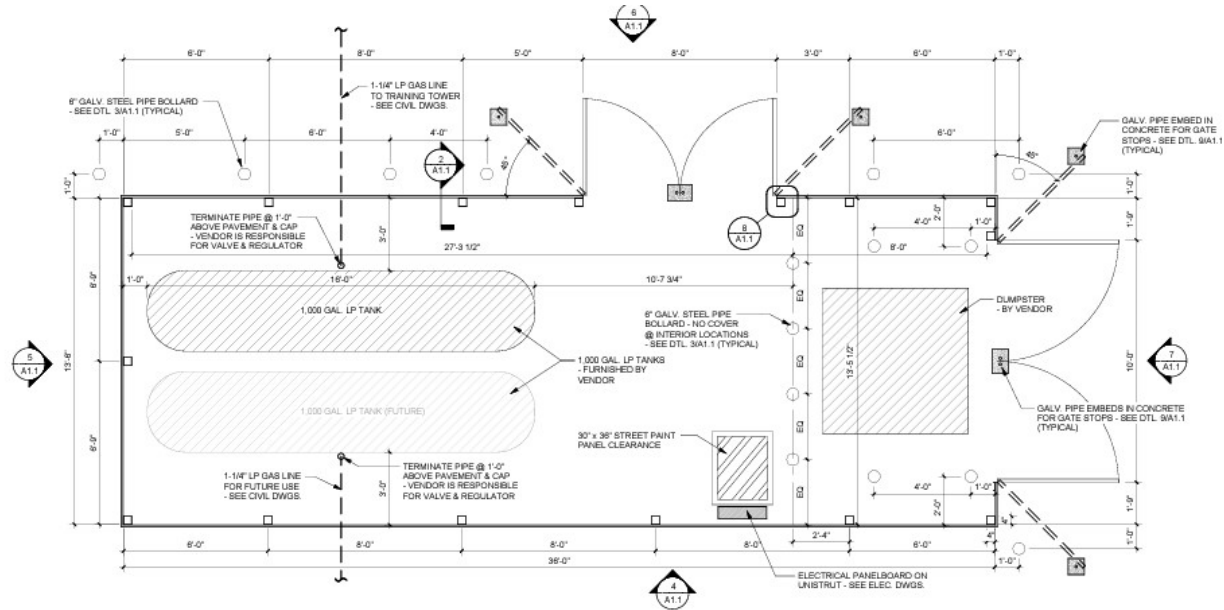
Retrofit enclosures can cost more than a comparable enclosure for a new construction site

- It's much more cost effective when the enclosure is part of a larger construction project - it is difficult to find a contractor for such a small project

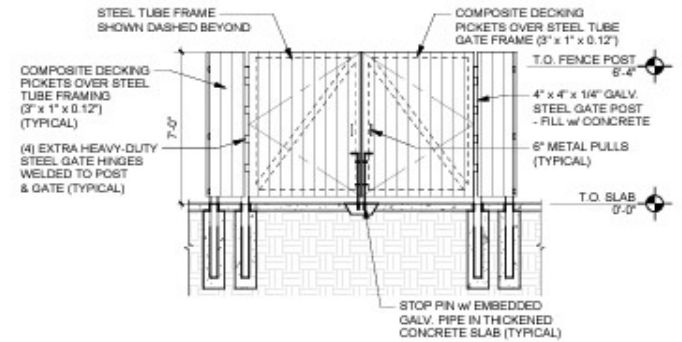
The following allowances can be applied to retrofit situations:

- Post and pier construction for the walls in lieu of masonry
  - Eliminates the cost of a continuous footing required for masonry
  - Easier to locate around underground utilities
  - Opens up options for contractors
- Flexibility in cladding materials
  - Durable materials and structure still required





**6 ENCLOSURE NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**7 ENLCOSURE EAST ELEVATION**  
SCALE: 1/4" = 1'-0"

## Upcoming Projects

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Item a: Eagle Brook Rezoning

Currently unzoned  
Establish R-1 Single Family Residential

