

**CITY OF WEST DES MOINES  
STAFF REPORT COMMUNICATION**

**Meeting Date:** February 26, 2024

**ITEM:** Delavan Warehouse, 2101 Delavan Drive – Approve a Preliminary Plat to create fourteen condominium lots for Industrial development and Approve Site Plan to allow construction of a multi-tenant warehouse – Next Phase Development 2101 Delavan Drive, LLC – PP-006344-2024/SP-006243-2023

**Resolution: Approval of Preliminary Plat and Site Plan**

**Background:** The applicant, and property owner, Next Phase Development 2101 Delavan Drive, LLC, requests approval of a Preliminary Plat for the approximately 1.7-acre property located at 2101 Delavan Drive. The applicant proposes to subdivide the property into fourteen (14) lots for industrial condominium bays, one (1) outlot for fire sprinkler room, and one (1) outlot for common areas. Additionally, the applicant request approval of a Site Plan to allow the construction of 1-story, approximately 27,000 square foot warehouse building and associated site improvements.

**Staff Review & Comment:**

- **Financial Impact:** No City funding of the project. Staff time for processing of development application and inspections during construction.
- **History:** The property is undeveloped. On May 18, 1988, the City Council approved the BEH II PUD with underlying zoning of Light Industrial for this property. On November 30, 2015, the PUD was amended to modify regulations to allow 16 attached townhome units to the west of this property.
- **Key Development Aspects:**
  1. **Architecture:** Per the PUD, the building designs shall be compatible and not conflict with the residential context of the neighborhood. To the north of the proposal is an apartment complex, to the west is attached townhomes, and to the southwest is a single-family neighborhood. The applicant has worked with staff to create a building design that fits within the architectural context of the neighborhood.
- **Traffic Impact Study Findings:** The Traffic Impact Study was completed on November 10, 2023. The proposed development is expected to generate less traffic than originally planned for the site. An internal connection is planned to the neighboring property to the west. This road will allow for emergency access to South 26<sup>th</sup> Street.
- **Plat Validity:** Per City Code, the associated Final Plat must be presented to the City Council for approval within 12 months of the approval of this Preliminary Plat if surety is being posted for Public Improvements; or, within 18 months if Public Improvements are being constructed prior to Final Plat consideration. It is the responsibility of the developer to be aware of these deadlines and request an extension of the Preliminary Plat approval prior to the Preliminary Plat expiration date.
- **Vesting of Entitlement:** Per City Code, entitlement (approval to construct or implement) shall remain in effect so long as substantial site work has progressed beyond grading and completion of structural foundations and twenty-five percent (25%) of the total building area has occurred above grade within twenty-four (24) months of the effective date of the approval, unless a greater time period is authorized at time of the original entitlement, or by approval of an extension of the original

entitlement. It is the responsibility of the developer to be aware of this deadline and request an extension of the approval prior to the expiration date.

**Outstanding Issues:** There are no outstanding issues.

Planning and Zoning Commission Action:

Date: February 26, 2024

Vote:

Recommendation:

**Recommendation:** Approve the Preliminary Plat and Site Plan request, subject to the applicant meeting all City Code requirements, and the following conditions of approval:

1. Applicant acknowledging and agreeing that the Storm Water Pollution Prevention Plan (SWPPP) will be updated to address remaining comments to staff's satisfaction prior to proceeding to City Council.
2. The applicant acknowledging that no industrial condominium bay lot will be sold until the associated final plat for this site is approved by the City Council and recorded with the Polk County Recorder.

**Lead Staff Member: Kate Devine**

**Approval Meeting Dates:**

Planning and Zoning Commission	February 26, 2024
City Council	

**Staff Report Reviews:**

Planning & Zoning Commission	<input checked="" type="checkbox"/> Development Coordinator (or) <input checked="" type="checkbox"/> Director	<input checked="" type="checkbox"/> Legal Department
City Council	<input type="checkbox"/> Director <input type="checkbox"/> Appropriations/Finance	<input type="checkbox"/> Legal Department <input type="checkbox"/> Agenda Acceptance

**Publications (if applicable)**

Published In:	Des Moines Register Community Section
Date(s) Published	n/a
Date(s) of Mailed Notices	n/a

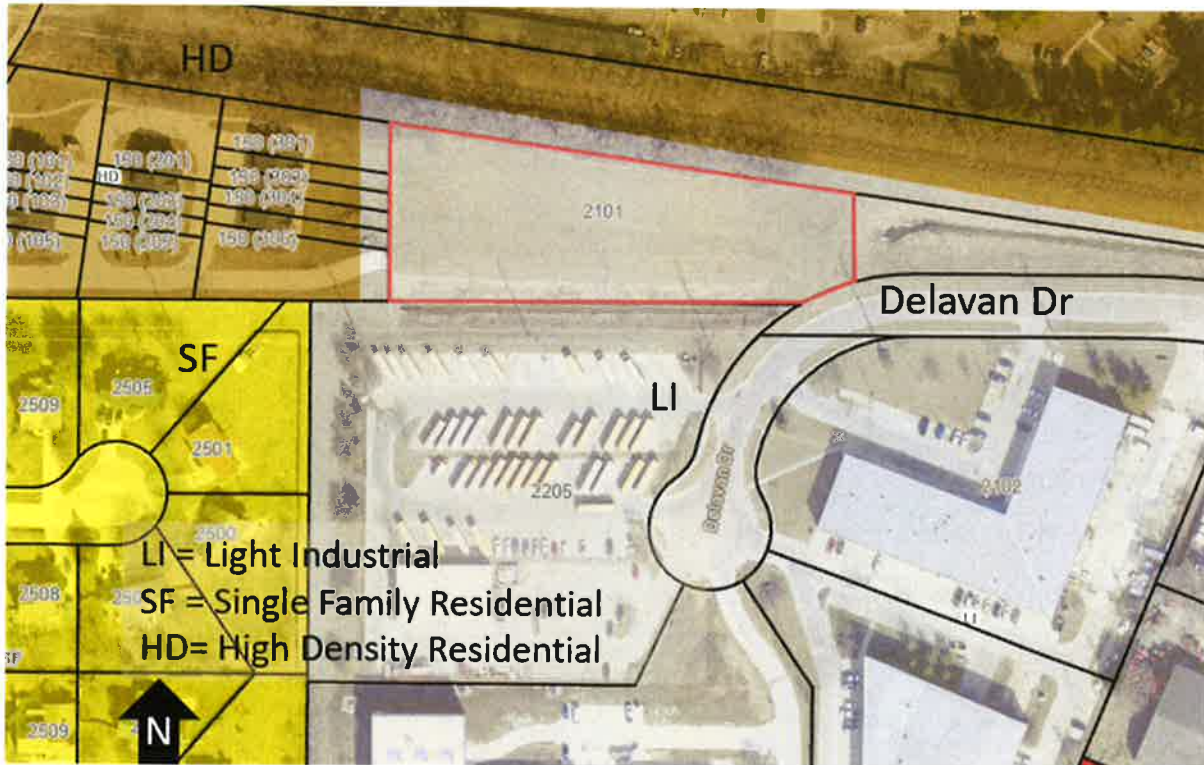
**Council Subcommittee Review (if applicable)**

Subcommittee	Development & Planning			
Date Reviewed	11/20/23			
Recommendation	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	Split <input type="checkbox"/>	No Discussion <input type="checkbox"/>

### Location Map



### Vicinity Map – Land Uses





# SITE PLAN / PRELIMINARY PLAT DELANAN WAREHOUSE

2101 DELAVAN DRIVE, WDM  
CITY CASE # SP-006243-2023 PP-06344-2024

**OWNER / APPLICANT**  
NEXT PHASE DEVELOPMENT LLC  
REID TAMISIEA  
1690 ALL STATE COURT #120  
WDM, IA 50265  
PH: 515-721-9115 REID@NEXTPHASEDEV.COM

**ZONING**  
EXISTING: BEH II PUD  
PROPOSED: BEH II PUD

**SETBACKS**  
FRONT - 45'  
SIDE - 35'  
REAR - 20'  
PARKING SETBACK - 10' FROM R.O.W.

**BUILDING HEIGHT**  
MAX BUILDING HEIGHT 24'  
20.5 FEET PROPOSED

**BUILDING USE**  
WAREHOUSE / STORAGE UNITS

**LEGAL DESCRIPTION**

LOT 2 DELAVAN PLAT 3, AN OFFICIAL PLAT, CITY OF WEST DES MOINES, POLK COUNTY, IOWA.

SAID TRACT OF LAND CONTAINS 1.727 ACRES MORE OR LESS.

SAID TRACT OF LAND SUBJECT ALL EASEMENTS OF RECORD.

**SITE AREAS**

BUILDINGS	27,472 S.F.	36.5%
PAVING	20,330 S.F.	27.1%
OPEN SPACE	27,367 S.F.	36.4%
TOTAL	75,169 S.F.	100%

TOTAL IMPERVIOUS AREA (BUILDINGS, PAVING, & WALKS) 47,802 S.F. 63.6%  
REQUIRED OPEN SPACE = 15,034 S.F. (216,011 \* 20%)  
ESTIMATED DISTURBED AREA = 74,000 S.F.

**BENCHMARK**

WDM BENCHMARK #126  
SOUTHWEST CORNER OF GRAND AVENUE AND E.P. TRUE PARKWAY, 10 FEET WEST OF BACK OF WALK AND 77 FEET SOUTH OF TRAFFIC SIGNAL POLE AT THE SOUTHWEST CORNER OF E.P. TRUE PARKWAY AND GRAND AVE.

ELEVATION 843.23 (NAVD88 Datum)  
69.22 (WDM Datum)

WDM BENCHMARK #127  
SOUTHWEST CORNER OF E.P. TRUE PARKWAY AND S. 41st STREET, 4.5 FEET SOUTH OF THE EAST-WEST BACK OF WALK AND 4.5 FEET WEST OF THE NORTH-SOUTH BACK OF WALK

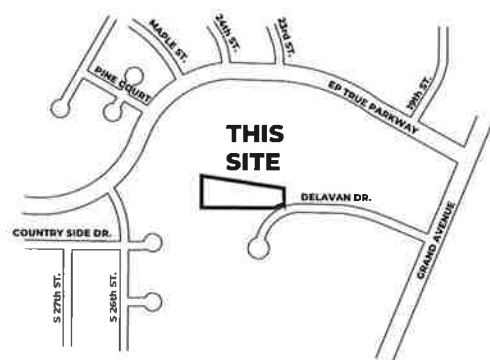
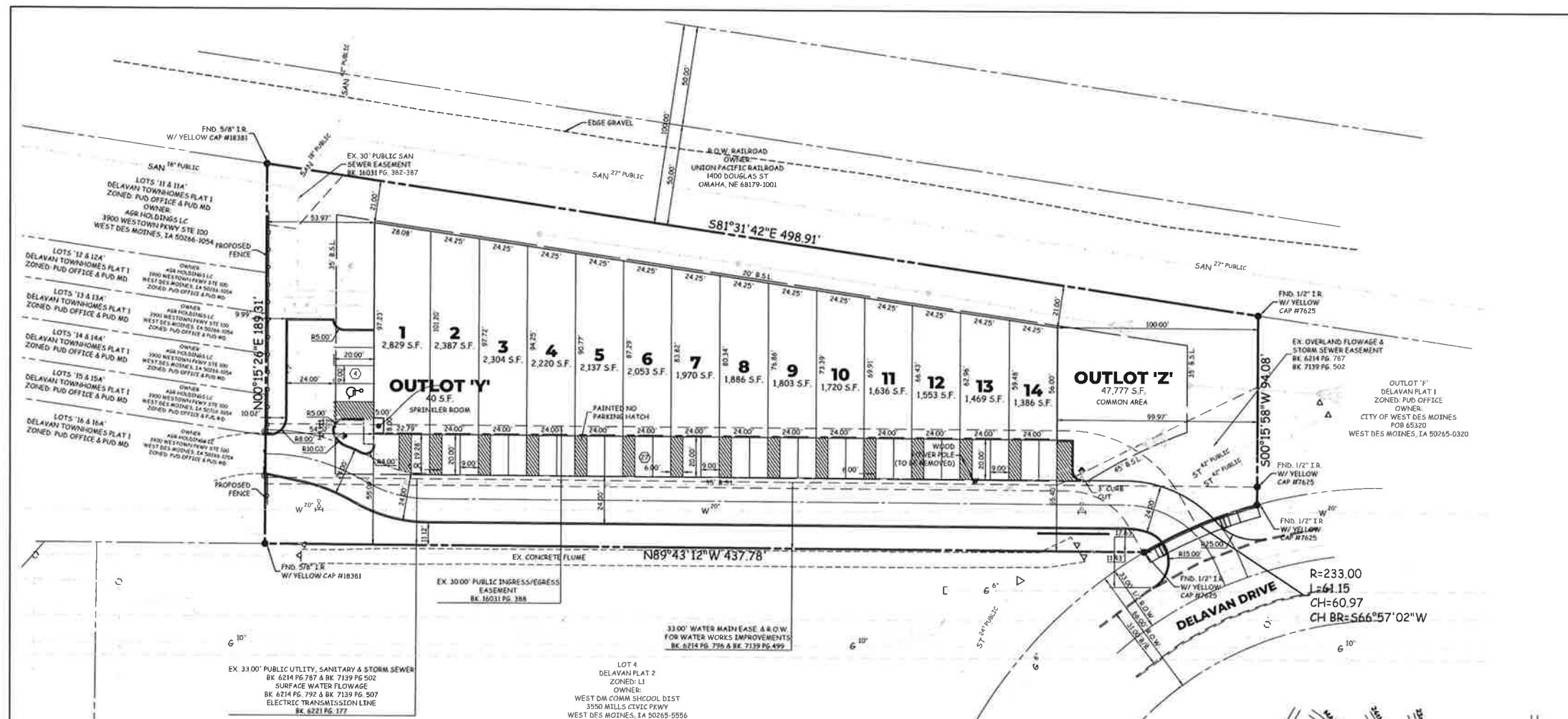
ELEVATION 893.47 (NAVD88 Datum)  
119.46 (WDM Datum)

**FLOOD HAZARD INFORMATION**

MAP #1902310010C DATED: FEBRUARY 16, 2006  
THIS AREA SHOWN ON FLOOD INSURANCE RATE MAP LABELED AS 'ZONE 'X'.'

**PARKING CALCULATIONS**

WAREHOUSING, STORAGE LOTS, AND CONSTRUCTION YARDS  
75 SPACE PER 1,000 G.S.A.  
27,472 S.F. / 1,000 = 28 \* .75 = 21 SPACES  
TOTAL PARKING SPACES REQUIRED = 21 SPACES  
TOTAL PARKING SPACES PROVIDED = 31 SPACES INCLUDING 1 HANDICAP



**VICINITY SKETCH**

NO SCALE

**LEGEND**

- EXISTING/PROPOSED
- PLAT BOUNDARY
  - W 8" WATER MAIN & SIZE
  - SAN 8" SANITARY SEWER & SIZE
  - ST 8" STORM SEWER & SIZE
  - UG 8" UNDERGROUND ELECTRIC CABLE
  - UG 8" UNDERGROUND TELEPHONE CABLE
  - CTV 8" UNDERGROUND CABLE TV
  - G 4" GAS MAIN & SIZE
  - MANHOLE
  - INTAKE
  - HYDRANT
  - POWER POLE/LIGHT POLE
  - UTILITY BOX/TELEPHONE RISER
  - EXISTING CONTOURS
  - PROPOSED CONTOURS
  - SILT FENCE OR APPROVED FILTRATION SOCK
  - TREES

**SHEET INDEX**

SHEET #	SHEET TITLE
1	DIMENSION PLAN
2	GRADING PLAN
3	UTILITY PLAN
4	LANDSCAPE PLAN

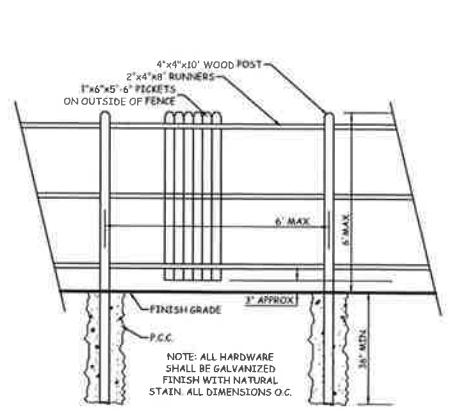


**NOTES (GENERAL)**

- ONE WEEK PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL NOTIFY:
  - WDM ENGINEERING DEPARTMENT, 222-3475
  - NEXT PHASE DEVELOPMENT
  - COOPER CRAWFORD & ASSOCIATES, L.L.C.
- ALL DIMENSIONS ARE TO BACK OF CURB, OUTSIDE OF BUILDING WALL, AND TO PROPERTY LINES.
- THE LOCATIONS AND DIMENSIONS SHOWN ON THE PLANS FOR EXISTING FACILITIES ARE IN ACCORDANCE WITH AVAILABLE INFORMATION WITHOUT UNCOVERING AND MEASURING. THE ENGINEER DOES NOT GUARANTEE THE ACCURACY OF THIS INFORMATION OR THAT ALL EXISTING UNDERGROUND FACILITIES ARE SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT ALL PUBLIC AND/OR PRIVATE UTILITIES SERVING THE AREA TO DETERMINE THE PRESENT EXTENT AND EXACT LOCATION OF THEIR FACILITIES BEFORE BEGINNING WORK.
- THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES OR STRUCTURES AT THE SITE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNERS OF UTILITIES OR STRUCTURES CONCERNED BEFORE STARTING WORK. THE CONTRACTOR SHALL NOTIFY THE PROPER UTILITY IMMEDIATELY UPON BREAKING OR DAMAGE TO ANY UTILITY LINE OR APPURTENANCE, OR THE INTERRUPTION OF THEIR SERVICE. HE SHALL NOTIFY THE PROPER UTILITY INVOLVED. IF EXISTING UTILITY LINES ARE ENCOUNTERED THAT CONFLICT IN LOCATION WITH NEW CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT MAY BE RESOLVED.
- ALL DEBRIS SPILLED ON CITY R.O.W. AND ADJOINING PROPERTY SHALL BE REMOVED BY CONTRACTOR WITHIN 24 HOURS.
- VERIFY COORDINATES AND BUILDING CORNERS WITH ARCHITECTURAL DRAWINGS PRIOR TO CONSTRUCTION.
- ALL SITE WORK SHALL BE IN ACCORDANCE WITH WEST DES MOINES STANDARDS.
- PAVING SHALL BE A MINIMUM OF 6-INCH P.C.C. IN PUBLIC RIGHT-OF-WAY AND PRIVATE DRIVE PAVING. SIDEWALKS SHALL BE 4-INCH P.C.C. CURBS SHALL BE 6-INCH CURB.
- ALL LIGHTING MUST BE DOWNCAST IN NATURE.
- ANY TRANSFORMERS, JUNCTION BOXES, OR OTHER SUCH UTILITY USES OVER 3 FEET IN HEIGHT CANNOT BE LOCATED WITHIN THE REQUIRED SETBACK. OTHER SUCH USES NOT ABOVE 3 FEET IN HEIGHT MUST BE SCREENED BY LANDSCAPING MATERIALS. ALL MECHANICAL EQUIPMENT, GAS, WATER, AND UTILITY METERS SHALL BE APPROPRIATELY SCREENED.
- ALL WORK WITHIN PUBLIC R.O.W., EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH WEST DES MOINES STANDARD CONSTRUCTION SPECIFICATIONS FOR SUBDIVISIONS, DSM METRO DESIGN STANDARDS AND WDM ADDENDUMS.
- ALL CONSTRUCTION WITHIN PUBLIC R.O.W. / EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH THE WEST DES MOINES STANDARD CONSTRUCTION SPECIFICATIONS FOR SUBDIVISIONS.
- AN EROSION CONTROL CONTRACTOR SHALL BE HIRED PRIOR TO CONSTRUCTION BEGINNING, THE NAME OF WHICH SHALL BE FURNISHED TO THE CITY BEFORE GRADING STARTS.
- THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE DETENTION POND AND UNDERGROUND UTILITIES ON THE SITE.
- ALL PUBLIC SIDEWALKS ADJACENT TO THIS SITE SHALL BE CONSTRUCTED WITH THE PROJECT.
- ON-SITE INSPECTION SHALL BE REQUESTED WITH THE BUILDING DIVISION AT (515) 222-3630, PRIOR TO PLACEMENT OF ANY CONCRETE RAMPS.
- A REPORT CERTIFIED BY A THIRD-PARTY RECOGNIZED TESTING AGENCY, ACCEPTABLE TO THE CITY, SHALL BE SUBMITTED TO DOCUMENT THE THICKNESS AND STRENGTH OF THE PAVEMENT, THE SUB-GRADE COMPACTION, COMPLIANCE WITH THE METRO DESIGN STANDARDS FOR STREETS, AND THE STANDARDS LISTED IN THE WEST DES MOINES "OFF STREET PARKING ORDINANCE" FOR PRIVATE STREETS, PARKING LOTS, AND DRIVEWAYS AS WELL AS THE GEOTECHNICAL REPORT.
- STREET LIGHTS SHALL BE INSTALLED ON ALL PUBLIC STREETS ADJACENT TO THIS SITE BY MID AMERICAN ENERGY AND PAID FOR BY THE APPLICANT/OWNER.
- AT LEAST ONE WEEK PRIOR TO ANY CONSTRUCTION WITHIN THE PUBLIC R.O.W. / EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, THE CONTRACTOR SHALL CONTACT WDM ENGINEERING SERVICES, 222-3475.
- TO OBTAIN APPLICABLE CITY PERMITS THAT MAY BE NECESSARY.
- ALL DIMENSIONS ARE TO BACK OF CURB, OUTSIDE OF BUILDING WALL, AND TO PROPERTY LINES.
- NO CURB GRINDING ON COMMERCIAL DRIVEWAYS IS ALLOWED.
- A PRIVATE INGRESS / EGRESS AND CROSS ACCESS EASEMENT SHALL COVER PLACED ON THIS SITE OVER ALL OF THE DRIVES.
- TRASH WILL BE HANDLED BY INDIVIDUAL UNIT OWNERS. NO EXTERIOR DUMPSTERS ALLOWED ON SITE AND ALL TRASH COLLECTION WILL BE REQUIRED INDOORS UNTIL COLLECTION DAY.
- BOLLARDS SHALL BE PAINTED TO MATCH BUILDING WALL COLOR BEHIND THEM.
- IF ADDITIONAL PAVEMENT REMOVAL IS REQUIRED OTHER THAN A STANDARD BOX OUT, FULL PANEL REMOVAL WILL BE REQUIRED. NO HALF PANEL REMOVAL WILL BE ALLOWED.
- COORDINATE STAGING AND TRAFFIC CONTROL WITH WDM EMERGENCY SERVICES.
- LANE CLOSURE NOTICES MUST BE SUBMITTED TO WDM PUBLIC SERVICES FOR APPROVAL A MINIMUM OF 48 HOURS IN ADVANCE OF CLOSURE.
- OUTLOT 'Z', OUTLOT 'Y', AND ALL PRIVATE UTILITIES SHALL BE MAINTAINED BY AN H.O.A.

**STANDARD NOTES**

- ALL WATER WORK, PUBLIC OR PRIVATE, SHALL BE DONE IN ACCORDANCE WITH WEST DES MOINES WATER WORKS STANDARD SPECIFICATIONS.
- CONTRACTOR SHALL NOTIFY WEST DES MOINES WATER WORKS AT LEAST ONE WEEK PRIOR TO BUILDING CONSTRUCTION.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK OF ALL SUBCONTRACTOR(S) INVOLVED IN THE PROJECT.
- CONTACT BUILDING INSPECTION (515-222-3630) A MINIMUM OF 24 HOURS IN ADVANCE FOR PRIVATE UTILITY INSTALLATION INSPECTIONS.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE WEST DES MOINES WATER WORKS AND THE CITY'S CROSS CONNECTION CONTROL/CONTAINMENT PROVISION.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPERTY INSTALLATION OF AN APPROVED BACKFLOW PREVENTION ASSEMBLY(ES) FOR CONTAINMENT IN ALL NEW CONSTRUCTION. BACKFLOW PREVENTION TO BE INSTALLED PER CITY ORDINANCE 1297.54-1399. CONTRACTOR SHALL NOTIFY WEST DES MOINES WATER WORKS, (515-222-3465) A MINIMUM OF 24 HOURS AFTER INSTALLATION AND TESTING OF ALL BACKFLOW DEVICES TO SCHEDULE FINAL INSPECTION.
- DESIGNATED BUFFERS SHALL BE LABELED AS A "NO-BUILD AREA"
- ALL LIGHTS ARE TO BE DOWNCAST CUTOFF VARIETY. WALL PACKS ARE PROHIBITED. THE MAXIMUM ILLUMINATION ALLOWED AT THE PROPERTY LINE IS 1 FOOT-CANDLE.
- ALL SIGNING, STRIPING AND OTHER TRAFFIC CONTROL DEVICES ON THE DRIVEWAY APPROACHES TO THE PUBLIC STREETS SHOULD CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) FEDERAL HIGHWAY ADMINISTRATION 2009 EDITION.



**WOOD FENCE DETAIL**

NO SCALE

KEVEN J. CRAWFORD  
13156  
IOWA

I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

KEVEN J. CRAWFORD, P.E. IOWA LICENSE NO. 13156  
MY LICENSE RENEWAL DATE IS DECEMBER 31, 2024.

PAGES OR SHEETS COVERED BY THIS SEAL:  
(SHEETS 1-3)

**COOPER CRAWFORD & Associates**  
Civil Engineers & Land Surveyors

475 S. 50th STREET, SUITE 800, WEST DES MOINES, IOWA 50265  
PHONE: (515) 224-1344 FAX: (515) 224-1345

SCALE: 1"=30'

**CC 2772**

AS-BUILT: [X-X-XXXX]

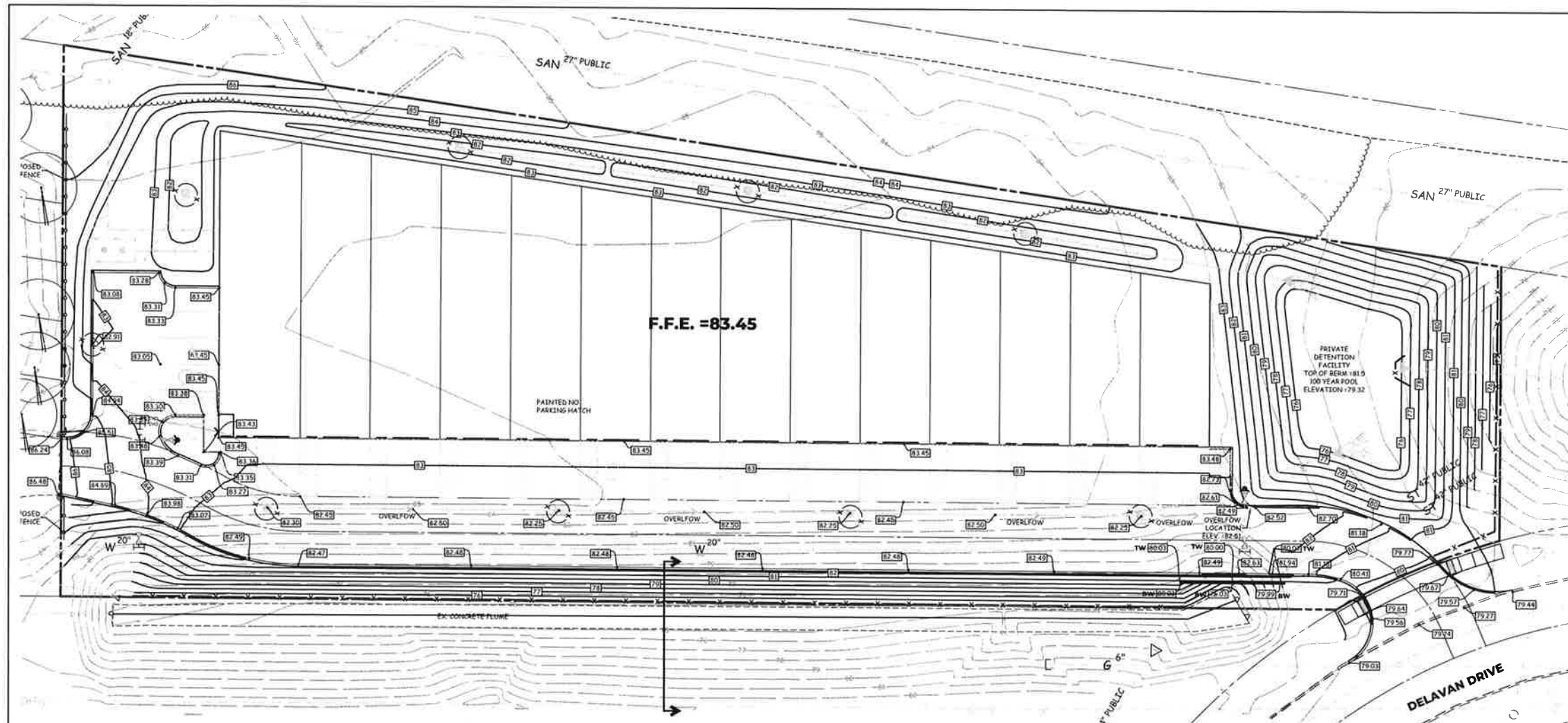
**DIMENSION PLAN  
DELANAN WAREHOUSE**

**SHEET 1 OF 4**

# SITE PLAN / PRELIMINARY PLAT DELANAN WAREHOUSE

2101 DELAVAN DRIVE, WDM  
NOTES (GRADING)

- ALL DIMENSIONS ARE TO BACK OF CURB, OUTSIDE OF BUILDING WALL, AND TO PROPERTY LINES.
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- THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES OR STRUCTURES AT THE SITE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNERS OF UTILITIES OR STRUCTURES CONCERNED BEFORE STARTING WORK. THE CONTRACTOR SHALL NOTIFY THE PROPER UTILITY IMMEDIATELY UPON BREAKING OR DAMAGE TO ANY UTILITY LINE OR APPURTENANCE, OR THE INTERRUPTION OF THEIR SERVICE. HE SHALL NOTIFY THE PROPER UTILITY INVOLVED. IF EXISTING UTILITY LINES ARE ENCOUNTERED THAT CONFLICT IN LOCATION WITH NEW CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT MAY BE RESOLVED.
- STRIP TOPSOIL FROM ALL AREAS WHICH ARE TO BE FILLED OR CUT.
- STOCKPILE SUFFICIENT TOP RESPREAD A MINIMUM OF 4-INCHES ON UNPAVED AREAS.
- ALL AREAS TO RECEIVE FILL TO BE BENCHED.
- PREPARE BOTTOM OF BENCH FOR FILL BY DISCS TO A DEPTH OF 6-INCHES.
- ALL SITE GRADING FILL SHALL BE COMPACTED TO A DENSITY THAT IS NOT LESS THAN 95% STANDARD PROCTOR AND MEET ALL GEOTECHNICAL RECOMMENDATIONS.
- MAINTAIN ALL CUT AND FILL AREAS FOR SURFACE DRAINAGE AT ALL TIMES. FINAL GRADES WITHIN PAVED AREAS SHALL BE WITHIN 0.1' OF PLAN GRADE, ALL OTHER AREAS TO BE WITHIN 0.2' OF PLAN GRADE.
- A MINIMUM OF ONE FOOT OF COMPACTED COHESIVE SUBGRADE SHALL BE PROVIDED BENEATH ALL PAVEMENTS.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF WEST DES MOINES STANDARD SPECIFICATIONS.
- EXISTING TREES WILL BE SAVED TO THE EXTENT POSSIBLE TO ACCOMMODATE GRADING, UTILITY AND STREET CONSTRUCTION.
- ALL WORK WITHIN PUBLIC R.O.W., CONNECTION TO PUBLIC IMPROVEMENTS, AND ALL WORK ASSOCIATED WITH PUBLIC IMPROVEMENTS SHALL COMPLY WITH WEST DES MOINES STANDARD SPECIFICATIONS INCLUDING ALL APPLICABLE PERMITS.
- THE GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT NO LESS THAN 1:12 FOR A DISTANCE OF 6'.
- THE DELAVAN WAREHOUSE OWNER'S ASSOCIATION SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL PRIVATE STORM SEWERS AND COMMON AREAS, INCLUDING THE DETENTION POND.
- ALL SIDEWALK SLOPES GREATER THAN 1 UNIT VERTICAL IN 20 UNITS HORIZONTAL SHALL BE ACCOMPANIED BY A HANDRAIL.
- CROSS SLOPE ON ALL SIDEWALKS NOT TO EXCEED 2.00%.
- ALL SPOTS ARE TO TOP OF SLAB UNLESS OTHERWISE NOTED.

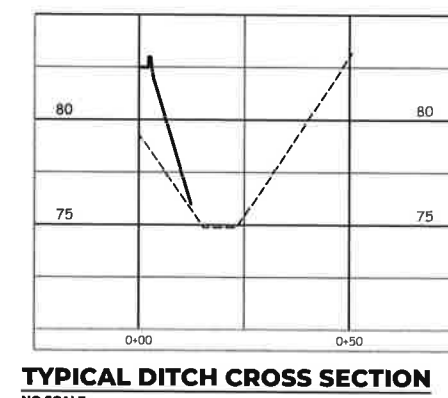
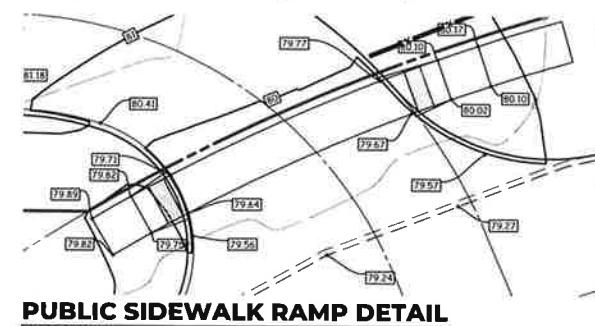
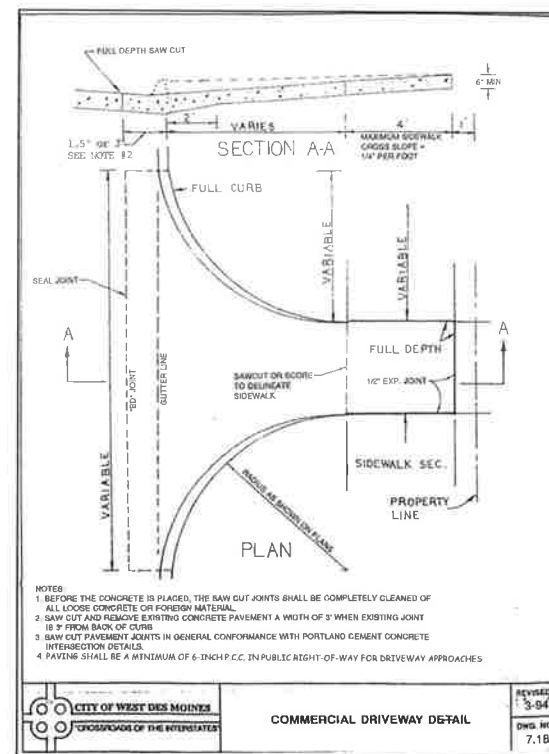
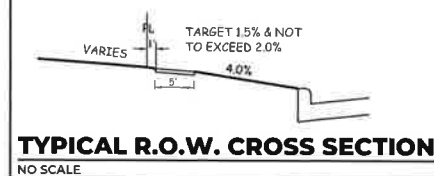


## NOTES (EROSION & POLLUTION CONTROL)

- THE SUBCONTRACTOR RESPONSIBLE FOR EROSION AND POLLUTION CONTROL SHALL CARRY OUT THE MEASURES DETAILED ON THIS SITE PLAN.
- CONTROLS MUST BE IN GOOD OPERATING CONDITION UNTIL THE CONSTRUCTION ACTIVITY IS COMPLETE AND FINAL STABILIZATION HAS BEEN REACHED.
- THE SUBCONTRACTOR SHALL INSPECT THE SITE AT MINIMUM ONCE EVERY 7 DAYS AND WITHIN 24 HOURS OF THE END OF A 1 INCH OR GREATER RAINFALL. ALL DISTURBED AREAS OF THE SITE, AREAS OF MATERIAL STORAGE, LOCATIONS WHERE VEHICLES ENTER/EXIT THE SITE, ALL OF THE EROSION AND SEDIMENT CONTROLS THAT ARE IDENTIFIED AS PART OF THIS PLAN AND ACCESSIBLE DISCHARGE LOCATIONS MUST BE INSPECTED.
- THE SUBCONTRACTOR IS TO TAKE NECESSARY ACTIONS TO CORRECT DEFICIENCIES FOUND DURING INSPECTIONS AS SOON AS PRACTICAL BUT IN NO CASE LATER THAN 7 DAYS AFTER THE INSPECTION IN WHICH THE DEFICIENCY WAS FOUND.
- THE SUBCONTRACTOR SHALL KEEP LOG AND PREPARE WEEKLY REPORTS DETAILING THE INSPECTIONS AND MEASURES TAKEN TO CORRECT ANY AND ALL DEFICIENCIES FOUND IN THE EROSION AND POLLUTION CONTROL MEASURES. THE REPORTS SHALL CONFORM TO THE STANDARDS SET BY THE IOWA DEPARTMENT OF NATURAL RESOURCES. COPIES OF THESE REPORTS SHALL BE FORWARDED TO THE DEVELOPER AND TO COOPER CRAWFORD & ASSOCIATES, L.L.C.
- AFTER INITIAL GRADING PRIOR TO UTILITY CONSTRUCTION - ALL DISTURBED AREAS OUTSIDE OF THE PROPOSED R.O.W.'S ARE TO HAVE TEMPORARY SEEDING AND MULCHING (SEE SEEDING DETAIL FOR TIMETABLE). CONTRACTOR AND SUBS ARE TO TRY TO MINIMIZE DISTURBANCE TO THESE SEEDING AREAS THROUGH THE USE OF SPECIFIC ACCESS ROUTES WITHIN THE SITE.
- DURING CONSTRUCTION, IF IT BECOMES EVIDENT THAT A DISTURBED AREA WILL NOT BE DISTURBED FOR 21 DAYS, IT SHALL BE SEEDING BY DAY 7.
- PERMANENT SEEDING TO BE DONE IMMEDIATELY AFTER FINAL GRADING.
- ANY FAILED AREAS OF SEEDING/MULCHING SHALL BE REAPPLIED.
- ANY SOIL OR SPILL WASHED, TRACKED OR DROPPED ONTO ADJOINING RIGHT-OF-WAYS AND PROPERTY WILL BE CLEANED UP BY THE OWNER/CONTRACTOR WITHIN 24 HOURS.
- FILTER SOCKS ARE TO BE INSPECTED ONCE A WEEK AND AFTER EACH RAINSTORM, LOOK FOR UNDERCUTTING AND FAILURES IN FABRIC. REPLACE/REPAIR AS NECESSARY.
- ADDITIONAL FILTER SOCKS (TO THAT SHOWN ON THIS PLAN) MAY BE REQUIRED IN AREAS WHERE EROSION IS EVIDENT.
- FILTER SOCKS ARE TO BE CLEANED UP WHEN THEY HAVE LOST 50% OF THEIR CAPACITY.
- ALL INTAKES SHALL HAVE FILTER SOCKS PRIOR TO PAVING AND INLET FILTERS AFTER PAVING. THESE FILTERS REMAIN IN PLACE UNTIL THE SITE HAS A PERMANENT PERENNIAL GROUND COVER.
- ALL INTAKES SHALL BE COVERED DURING CONSTRUCTION TO PREVENT SEDIMENTATION DEPOSITS WITHIN THE STORM SEWER.
- IN THE EVENT THAT SEEDING/MULCHING DOES NOT OCCUR PRIOR TO WINTER, ALL DISTURBED AREAS WILL BE MULCHED.
- NO BORROW/SPOILS SITES ARE ANTICIPATED.

## LEGEND

- EXISTING/PROPOSED
- PLAT BOUNDARY
  - W 8" WATER MAIN & SIZE
  - SAN 8" SANITARY SEWER & SIZE
  - ST 8" STORM SEWER & SIZE
  - UGE UNDERGROUND ELECTRIC CABLE
  - UGT UNDERGROUND TELEPHONE CABLE
  - CTV UNDERGROUND CABLE TV
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  - EXISTING CONTOURS
  - PROPOSED CONTOURS
  - SILT FENCE OR APPROVED FILTRATION SOCK
  - TREES





### COOPER CRAWFORD & Associates

Civil Engineers & Land Surveyors

475 S. 50th STREET, SUITE 800, WEST DES MOINES, IOWA 50265  
PHONE: (515) 224-1344 FAX: (515) 224-1345

DATE: 10-23-2023  
REVISIONS: 12-5-2023  
1-5-2024  
1-16-2024  
2-8-2024

JOB NUMBER  
**CC 2772**

AS-BUILT: (X-X-XXXX)

**GRADING PLAN  
DELANAN WAREHOUSE**

**SHEET  
2 OF 4**

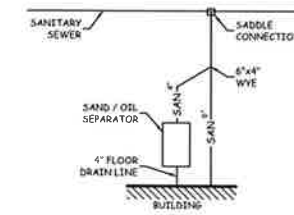


# SITE PLAN / PRELIMINARY PLAT DELAVAN WAREHOUSE

2101 DELAVAN DRIVE, WDM

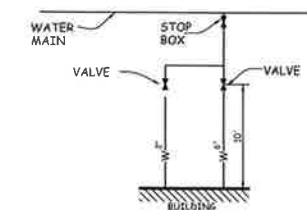
## NOTES (UTILITY)

- ALL ELECTRICAL, TELEPHONE AND CABLE TELEVISION TRANSMISSION SYSTEMS SHALL BE PLACED UNDERGROUND. ANY TELEPHONE, ELECTRICAL, OR OTHER UTILITY BOXES SHALL BE PROHIBITED FROM BEING LOCATED IN THE FRONT YARD AREA AND VISIBLE FROM THE PUBLIC RIGHT-OF-WAY. THE LOCATIONS AND DIMENSIONS SHOWN ON THE PLANS FOR EXISTING FACILITIES ARE IN ACCORDANCE WITH AVAILABLE INFORMATION WITHOUT UNCOVERING AND MEASURING. THE ENGINEER DOES NOT GUARANTEE THE ACCURACY OF THIS INFORMATION OR THAT ALL EXISTING UNDERGROUND FACILITIES ARE SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT ALL PUBLIC AND/OR PRIVATE UTILITIES SERVING THE AREA TO DETERMINE THE PRESENT EXTENT AND EXACT LOCATION OF THEIR FACILITIES BEFORE BEGINNING WORK.
- THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES OR STRUCTURES AT THE SITE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNERS OF UTILITIES OR STRUCTURES CONCERNED BEFORE STARTING WORK. THE CONTRACTOR SHALL NOTIFY THE PROPER UTILITY IMMEDIATELY UPON BREAKING OR DAMAGE TO ANY UTILITY LINE OR APPURTENANCE, OR THE INTERRUPTION OF THEIR SERVICE. HE SHALL NOTIFY THE PROPER UTILITY INVOLVED. IF EXISTING UTILITY LINES ARE ENCOUNTERED THAT CONFLICT IN LOCATION WITH NEW CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT MAY BE RESOLVED.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF WEST DES MOINES STANDARD SPECIFICATIONS.
- THE SITE UTILITY CONTRACTOR SHALL COORDINATE THE BUILDING SERVICE CONNECTIONS WITH THE BUILDING MECHANICAL CONTRACTOR WORK WITHIN PUBLIC R.O.W., CONNECTION TO PUBLIC IMPROVEMENTS, AND ALL WORK ASSOCIATED WITH PUBLIC IMPROVEMENTS SHALL COMPLY WITH WEST DES MOINES STANDARD SPECIFICATIONS INCLUDING ALL APPLICABLE PERMITS. THE CONTRACTOR SHALL CONTACT CLINT CARPENTER AT WDM PUBLIC WORKS (222-3480) PRIOR TO CONSTRUCTION.
- ALL EXISTING UTILITIES ON THE PLAN ARE PUBLIC UNLESS OTHERWISE NOTED.
- ALL WORK MUST BE DONE IN ACCORDANCE WITH WEST DES MOINES WATER WORKS STANDARD SPECIFICATIONS.
- ALL SIDEWALKS ARE LESS THAN 1 UNIT VERTICAL TO 20 UNITS HORIZONTAL.
- CONTACT WEST DES MOINES WATER WORKS AT LEAST ONE WEEK PRIOR TO CONSTRUCTION.
- ALL CONNECTIONS TO EXISTING PUBLIC STRUCTURES SHALL BE CORE DRILLED.
- PROPERTY OWNER SHALL MAINTAIN PRIVATE STORM SEWER AND DETENTION BASINS.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE WEST DES MOINES WATER WORKS AND THE CITY'S CROSS CONNECTION CONTROL/CONTAINMENT PROVISION.
- ADDITIONAL HYDRANTS AND FIRE SUPPRESSION MEASURES MAY BE ADDED AT THE DISCRETION OF THE CITY'S FIRE MARSHAL.
- THE CITY OF WEST DES MOINES SHALL PROVIDE WATER, SEWAGE, AND STORM SEWER SERVICE.
- WATERMAIN WILL HAVE TO BE PRESSURE TESTED AND DISINFECTED BEFORE USE.



\*\*SIZES PER MECHANICAL CONTRACTOR

## SANITARY SERVICE DETAIL NO SCALE

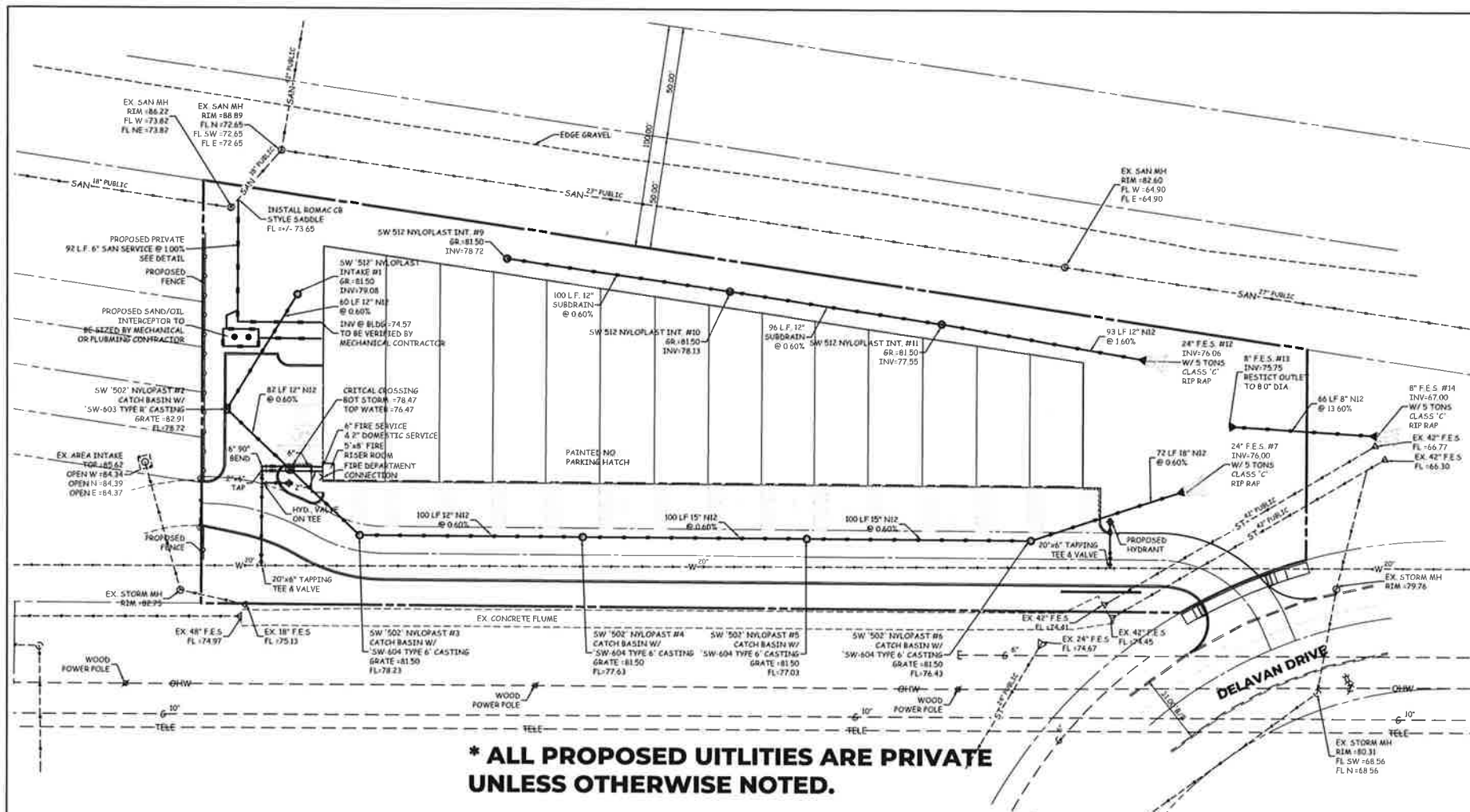


\*\*SIZES PER MECHANICAL CONTRACTOR

## WATER SERVICE DETAIL NO SCALE

## PRIVATE WATER QUANTITIES

- 2 EA. HYDRANT VALVE
- 2 EA. 20"x6" TAPPING TEE & VALVE
- 1 EA. 2"x6" TEE
- 1 EA. 6" BEND
- 1 EA. 6" VALVE
- 1 EA. 2" VALVE
- 27 L.F. 2" WATERMAIN
- 106 L.F. 6" WATERMAIN



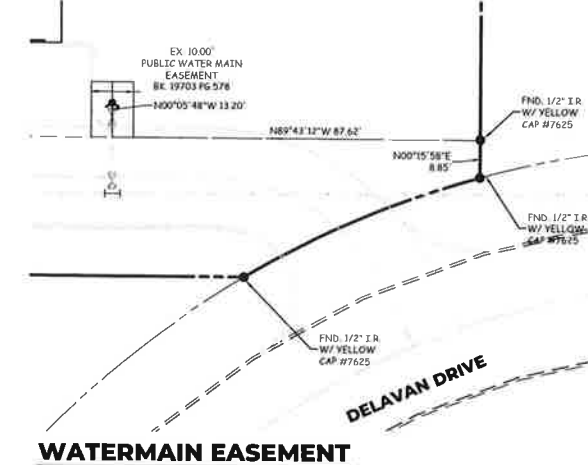
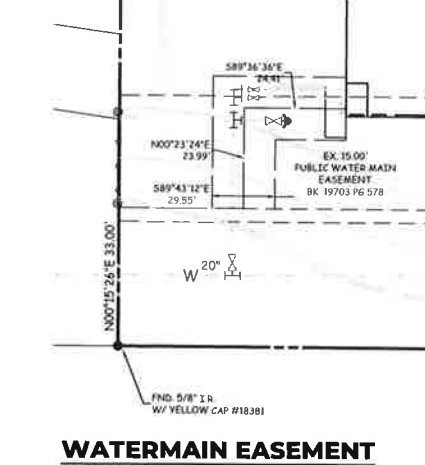
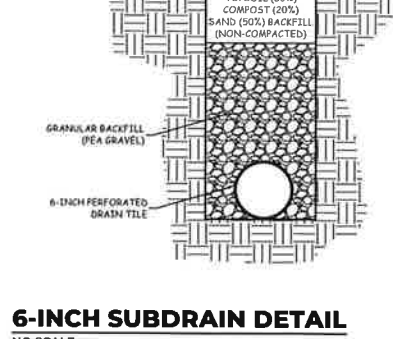
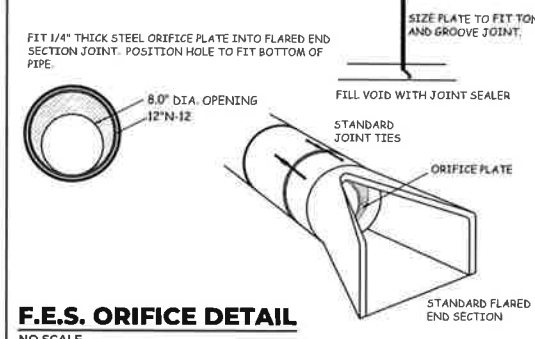
**\* ALL PROPOSED UTILITIES ARE PRIVATE UNLESS OTHERWISE NOTED.**

## NOTES (WDMWW STANDARD NOTES)

- ALL WATER WORK, PUBLIC OR PRIVATE, SHALL BE DONE IN ACCORDANCE WITH WEST DES MOINES WATER WORKS STANDARD SPECIFICATIONS, AVAILABLE AT WEST DES MOINES WATER WORKS STANDARD SPECIFICATIONS.
- ANY WATER USE FROM A HYDRANT, PUBLIC OR PRIVATE, REQUIRES THE USE OF A WEST DES MOINES WATER WORKS HYDRANT METER. CALL 515-222-3465 TO RESERVE A METER.
- CONTRACTOR SHALL NOTIFY WEST DES MOINES WATER WORKS (515-222-3465) AT LEAST ONE WEEK PRIOR TO BUILDING CONSTRUCTION.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE WEST DES MOINES WATER WORKS AND THE CITY'S CROSS CONNECTION CONTROL/CONTAINMENT PROVISIONS.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER INSTALLATION OF AN APPROVED BACKFLOW PREVENTION ASSEMBLY(IES) FOR CONTAINMENT IN ALL NEW CONSTRUCTION. BACKFLOW PREVENTION TO BE INSTALLED PER CITY ORDINANCE 1297, 54-1998. CONTRACTOR SHALL NOTIFY THEIR PROJECT'S WEST DES MOINES WATER WORKS ENGINEERING TECHNICIAN (515-222-3465) A MINIMUM OF 24 HOURS AFTER INSTALLATION AND TESTING OF ALL BACKFLOW DEVICES TO SCHEDULE FINAL INSPECTION.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING STATIC WATER PRESSURE AND, WHERE REQUIRED BY THE CITY OF WEST DES MOINES PLUMBING CODE, SHALL INSTALL A PRESSURE REDUCING VALVE(S) WITH EXPANSION TANK(S). WHERE REQUIRED, PRESSURE REDUCING VALVE(S) AND TANK(S) SHALL BE INSTALLED DOWNSTREAM OF THE WATER METER(S) AND BACKFLOW PREVENTION ASSEMBLY(IES) SERVING THE SITE.

## LEGEND

- EXISTING/PROPOSED
- PLAT BOUNDARY
  - W 8" WATER MAIN & SIZE
  - SAN 8" SANITARY SEWER & SIZE
  - ST 8" STORM SEWER & SIZE
  - UGE UNDERGROUND ELECTRIC CABLE
  - UGT UNDERGROUND TELEPHONE CABLE
  - CTV UNDERGROUND CABLE TV
  - G 4" GAS MAIN & SIZE
  - o MANHOLE
  - o INTAKE
  - o HYDRANT
  - o PWP POWER POLE/LIGHT POLE
  - o UTYB UTILITY BOX/TELEPHONE RISER
  - EXISTING CONTOURS
  - PROPOSED CONTOURS
  - SILT FENCE OR APPROVED FILTRATION SOCK
  - o TREES



**COOPER CRAWFORD & Associates**  
Civil Engineers & Land Surveyors

475 S. 50th STREET, SUITE 800, WEST DES MOINES, IOWA 50265  
PHONE: (515) 224-1344 FAX: (515) 224-1345

DATE: 10-23-2023  
REVISIONS: 12-5-2023  
1-5-2024  
1-16-2024  
2-8-2024

SCALE: 1"=30'

AS-BUILT: [X-X-XXXX]

**CC 2772**

UTILITY PLAN  
DELAVAN WAREHOUSE

SHEET 3 OF 4



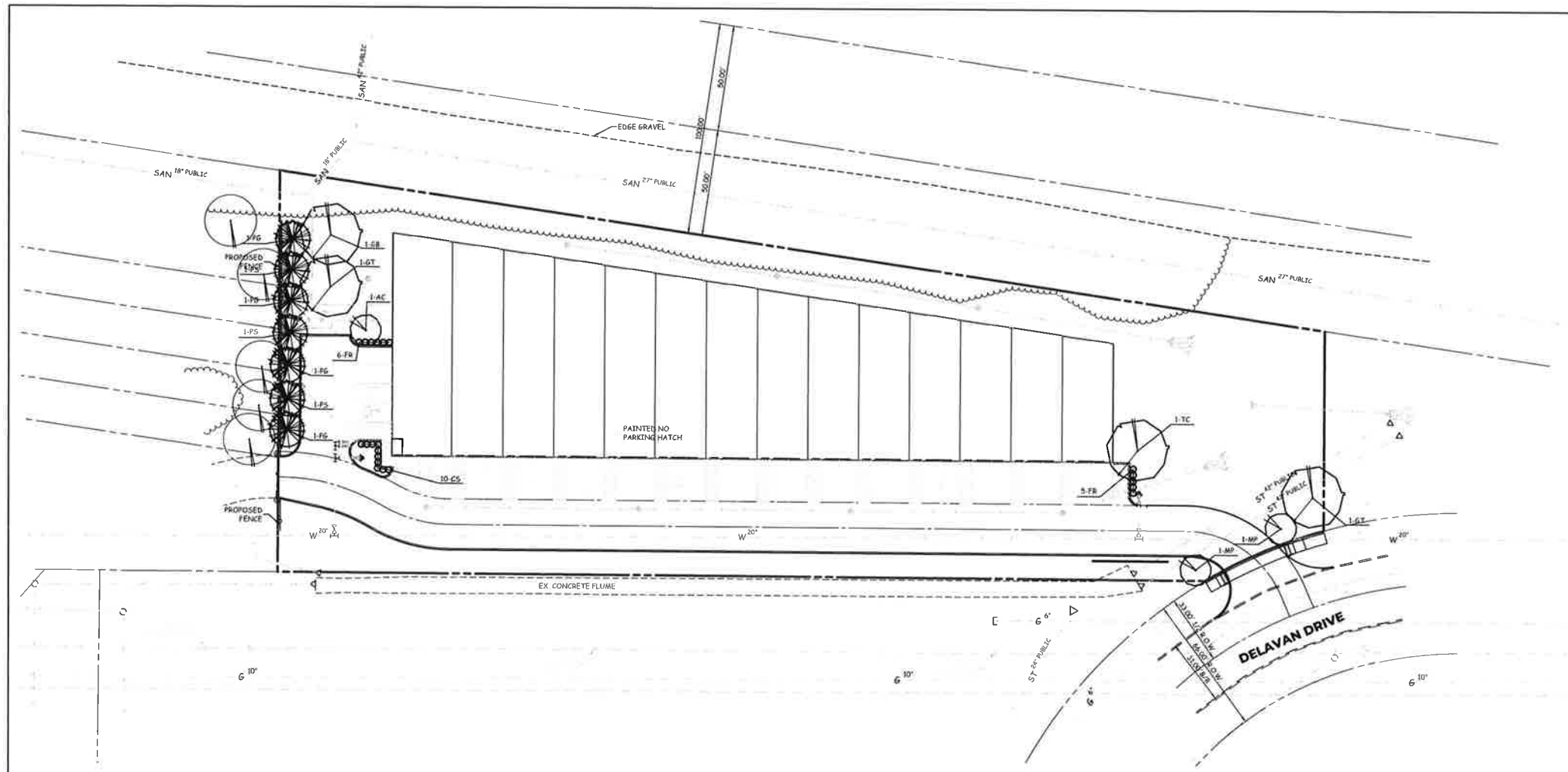


# SITE PLAN / PRELIMINARY PLAT DELAVAN WAREHOUSE

2101 DELAVAN DRIVE, WDM

## NOTES (LANDSCAPE)

- ALL SITEWORK, SODDING AND LANDSCAPING SHALL BE IN ACCORDANCE WITH THE CITY OF WEST DES MOINES STANDARD SPECIFICATIONS.
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- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF WEST DES MOINES STANDARD SPECIFICATIONS.
- ALL PLANT MATERIAL SHALL AT LEAST MEET MINIMUM REQUIREMENTS SHOWN IN THE "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z60.1-1990).
- THE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR A PERIOD OF ONE YEAR FROM THE DATE OF INSTALLATION.
- THE CONTRACTOR SHALL REMOVE THE TREE STAKES ONE YEAR AFTER INSTALLATION.
- NO PLANT MATERIAL SHALL BE SUBSTITUTED WITHOUT AUTHORIZATION OF THE LANDSCAPE ARCHITECT.
- ALL TREES, SHRUBS, BEDS AND GROUND COVERS SHALL BE MULCHED WITH AT LEAST 3-INCHES SHREDDED BARK MULCH.
- ONE WEEK PRIOR TO INSTALLATION, THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT.
- THE CONTRACTOR SHALL STAKE LOCATION OF PLANTS FOR LANDSCAPE ARCHITECT'S APPROVAL BEFORE DIGGING HOLES.
- ALL DECIDUOUS TREES SHALL BE PLANTED AT LEAST 5 FEET FROM R.O.W. AND CONIFEROUS TREES AT LEAST 10 FEET FROM R.O.W.
- ALL LANDSCAPING SHALL BE INSTALLED WITH THIS CONTRACT.
- THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL BUFFER PARK AND OPEN SPACE LANDSCAPING.
- ALL AREAS SHALL BE TURF OR PLANTINGS UNLESS OTHERWISE INDICATED.
- ALL BUFFER AND OPEN SPACE LANDSCAPING SHALL BE INSTALLED PRIOR TO FINAL OCCUPANCY.



## PLANTING SCHEDULE

COUNT	KEY	Botanical name/COMMON NAME	SIZE	CONDITION	REMARKS
1	TC	<i>Tilia cordata</i> LITTLELEAF LINDEN	2 1/2" cal.	TS / B&B	SEE PLAN
2	GT	<i>Gleditsia triacanthos</i> SKYLINE HONEYLOCUST	2 1/2" cal.	TS / B&B	SEE PLAN
1	GB	<i>Ginkgo biloba</i> GINGKO	2 1/2" cal.	TS / B&B	MALE ONLY
4	PG	<i>Picea glauca</i> BLACK HILLS SPRUCE	6'-7" ht	TS / B&B	SEE PLAN
3	PS	<i>Pinus strobus</i> WHITE PINE	6'-7" ht	TS / B&B	SEE PLAN
1	AC	<i>Amelanchier canadensis</i> (clump) SERVICEBERRY	6'-8" ht	TS / B&B	SEE PLAN
2	MP	<i>Malus species</i> 'Prairiefire' PRAIRIEFIRE CRABAPPLE	6'-8" ht	TS / B&B	SEE PLAN
11	FR	<i>Calamagrostis acutiflora</i> FEATHER REED GRASS	#1 cont.	CONT.	SEE PLAN
10	CS	<i>Cornus alba</i> RED-TWIG DOGWOOD	#1 cont.	CONT.	SEE PLAN

## OPEN SPACE LANDSCAPE REQUIREMENTS

BASED ON 20% REQUIRED OPEN SPACE = 75,169 \* 20% = 15,034 S.F.  
(2 TREES AND 3 SHRUBS PER 3,000 S.F. OPEN SPACE 15,034 / 3000 = 5)

REQUIRED: 10 TREES  
15 SHRUBS

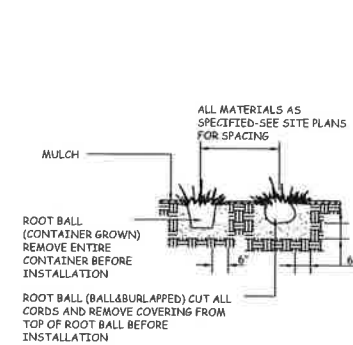
PROPOSED: 1 OVERSTORY  
7 EVERGREENS  
3 UNDERSTORY  
15 SHRUBS

## OFF STREET PARKING LANDSCAPE REQUIREMENTS

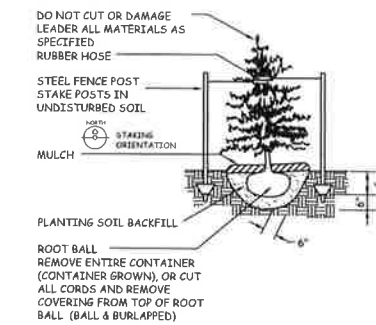
1 OVERSTORY OR ORNAMENTAL / ISLAND OR POD = 3 ISLANDS OR PODS  
2 SHRUBS FOR EVERY 12 STALLS - 32 STALLS / 12 = 2.6 SHRUBS

REQUIRED: 3 TREES  
6 SHRUBS

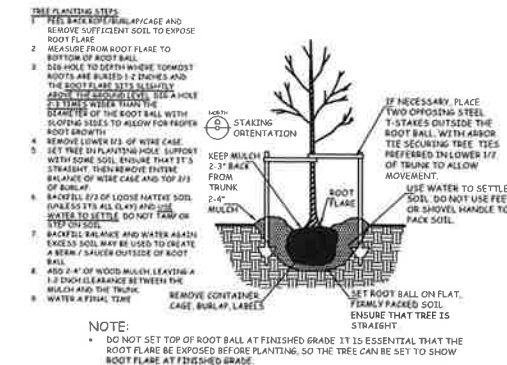
PROPOSED: 3 TREES  
6 SHRUBS



**SHRUB PLANTING DETAIL**  
NO SCALE



**EVERGREEN TREE PLANTING & STAKING DETAIL**  
NO SCALE



**DECIDUOUS TREE PLANTING & STAKING DETAIL**  
NO SCALE

## LEGEND

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  - SAN 8" SANITARY SEWER & SIZE
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  - UG6 UNDERGROUND ELECTRIC CABLE
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  - MANHOLE
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  - HYDRANT
  - POWER POLE/LIGHT POLE
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  - TREES

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LANDSCAPE PLAN  
DELAVAN WAREHOUSE

JOB NUMBER  
**CC 2772**  
SHEET  
4 OF 4

**IOWA ONE CALL**

On Thu, Jan 25, 2024 at 10:37 AM Jeff Rains <jeff@rainsarch.com> wrote:  
 The shadow line is created from the oversized gutter which is a 9" projection. The shadows are shown at noon so the sun is directly overhead. The east and west ends will have a 5" projection, which is also shown but I may not have dimensioned them.

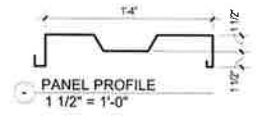
THESE PLANS AND SPECIFICATIONS ARE PROTECTED UNDER FEDERAL COPYRIGHT LAWS & ARCHITECT MAINTAINS OWNERSHIP OF SUCH AND ALL RIGHTS AND PRIVILEGES.

**RAINS ARCHITECTURE**

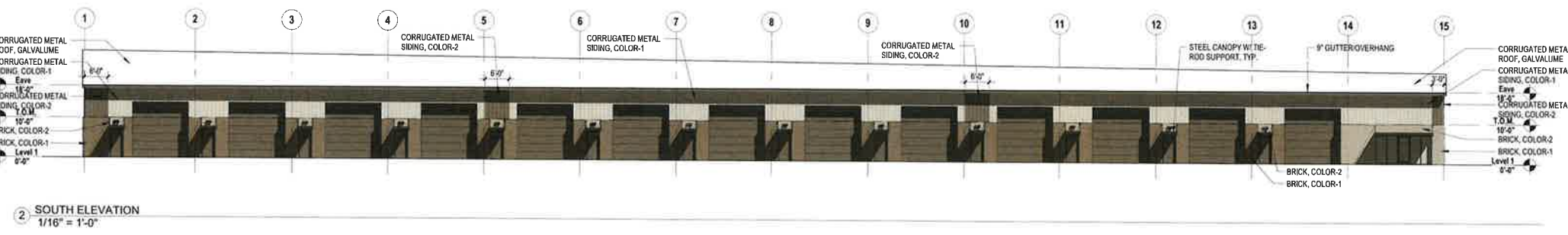
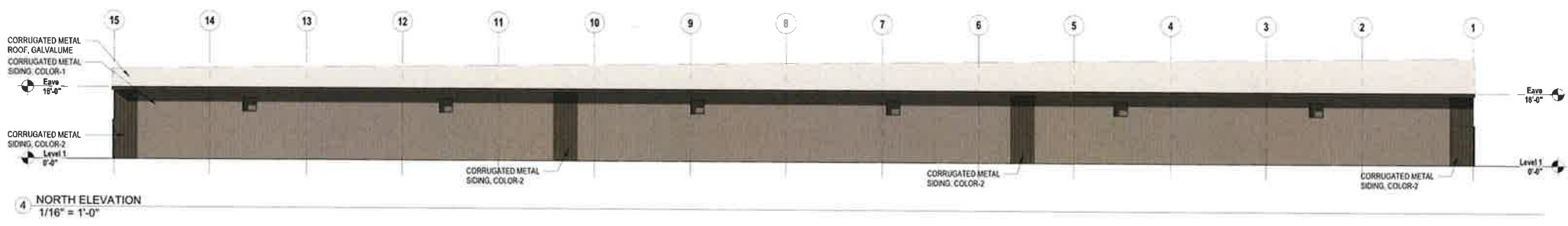
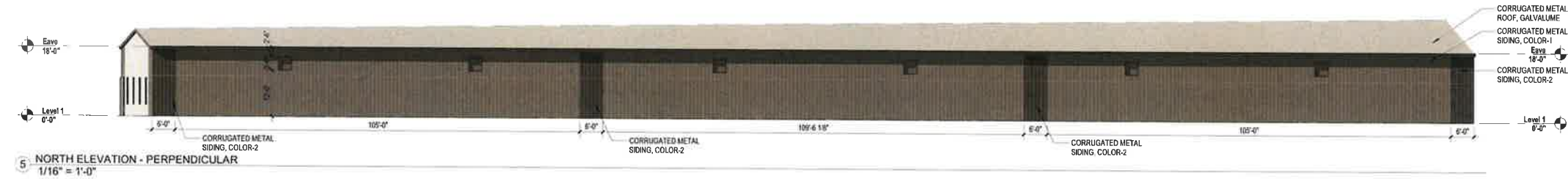
8797 NW 54TH AVE #300, JOHNSTON, IA 50322  
 515-314-8686 jeff@rainsarch.com

**EXTERIOR MATERIAL SELECTIONS**

- METAL SIDING, COLOR-1: METALLIC BUILDING SYSTEMS, 26-GAUGE AVP PANEL, SHADOW RIB PANEL, ASH GRAY
- METAL SIDING, COLOR-2: METALLIC BUILDING SYSTEMS, 26-GAUGE AVP PANEL, SHADOW RIB PANEL, CHARCOAL GRAY
- ROOFING: METALLIC BUILDING SYSTEMS, 26-GAUGE, STANDING SEAM, GALVALUME
- OVERHANGS: 10" SHEET METAL FASCIA / GUTTER, 9" PROJECTION MATCH SIDING COLOR 2
- BRICK, COLOR-1: COUNTY MATERIALS HERITAGE COLLECTION, UTILITY SIZE, COLOR GRAYSTONE
- BRICK, COLOR-2: COUNTY MATERIALS HERITAGE COLLECTION, UTILITY SIZE, COLOR SLATE
- STOREFRONT WINDOWS: ALUMINUM FRAMES, DARK BRONZE ANODIZED, GRAY TINT GLASS
- RECESS 2" FROM FACE OF WALL
- GLAZING 50% MIN TRANSMITTANCE FACTOR, 0.25 MAX REFLECTANCE FACTOR



6 3D View 1



**Delavan Warehouse**  
 2101 Delavan Drive  
 West Des Moines, Iowa

Next Phase Development, LLC

Revisions	

ISSUE DATE: - PROJ. #: 23049  
 EXTERIOR ELEVATIONS

2024-01-22 -- FOR APPROVAL

**A2**



**A RESOLUTION OF THE PLANNING AND ZONING COMMISSION**  
**NO. PZC-24-002**

**WHEREAS**, pursuant to the provisions of Title 9, Zoning of the West Des Moines Municipal Code, the applicant and property owner, Next Phase Development 2101 Delavan Drive, LLC, requests approval of a Preliminary Plat for the purpose of subdividing that approximately 1.7-acre property located at 2101 Delavan Drive as depicted on the location map included in the staff report. The applicant proposes the creation of fourteen (14) condominium bays, one (1) outlot for fire sprinkler room, and one (1) outlot for common areas.

**WHEREAS**, additionally, pursuant to the provisions of Title 9, Zoning of the West Des Moines Municipal Code, the applicant and property owner, Next Phase Development 2101 Delavan Drive, LLC, requests approval of the Site Plan for the approximately 1.7-acre property located at 2101 Delavan Drive for the purpose of constructing a warehouse and associated site improvements; and

**WHEREAS**, the Preliminary Plat complies with Iowa Code Chapters 354 and 414, the Comprehensive Plan and City Code; and

**WHEREAS**, the Site Plan request complies with the findings stated in the applicable provisions of Title 9, the Comprehensive Plan and City Code.

**NOW THEREFORE**, the Planning and Zoning Commission of the City of West Des Moines recommends the City Council approve the Preliminary Plat and Site Plan (PP-006344-2024/SP-006243-2023), subject to compliance with all the conditions of approval as stated in the staff report, including conditions added at the meeting, and attached hereto as Exhibit "A", if applicable.

**PASSED AND ADOPTED** on February 26, 2024.

\_\_\_\_\_  
Andrew Conlin, Chair  
Planning and Zoning Commission

I HEREBY CERTIFY that the foregoing resolution was duly adopted by the Planning and Zoning Commission of the City of West Des Moines, Iowa, at a regular meeting on February 26, 2024, by the following vote:

AYES:

NAYS:

ABSTENTIONS:

ABSENT:

ATTEST:

\_\_\_\_\_  
Recording Secretary