

**CITY OF WEST DES MOINES
STAFF REPORT COMMUNICATION**

Meeting Date: March 11, 2024

ITEM: Raccoon River Greenway Boat Access, 104 S. 1st Street – Approve Site Plan to allow construction of access to Raccoon River – City of West Des Moines – SP-006244-2023

Resolution: Approval of Site Plan

Background: The City of West Des Moines Parks and Recreation Department requests approval of a Site Plan for the approximately 19-acre property located at 104 S. 1st Street. The applicant proposes construction of paved boat launch access to the Raccoon River along with an associated parking lot. The site plan also includes future trails on the site that will connect to other trails in the area.

Staff Review & Comment:

- **Financial Impact:** Construction of the proposed site improvements will be administered by the City of West Des Moines Parks and Recreation Department and funded through a combination of funds budgeted through the City's Capital Improvement Program, awarded grant funding, and a cost-share agreement with Polk County Conservation Board.
- **History:** The City of West Des Moines acquired the 19-acre parcel via donation from AFT, LLC in 2020. This area had originally been identified as a greenway resource in the City's quality of life initiative referred to as the Five Waters Project. Proposed improvements identified through a master planning effort completed in 2023 include an ICON water trails access point, paved and nature trails, and land preservation/restoration. Prior to the City acquiring the land, there is evidence that the site had at one point been used as an access point for a former sand and gravel pit located to the west of the property. Currently the site is vacant and generally consists of bottomland forest.
- **Key Development Aspects:**
 1. **Floodplain Development:** The proposed boat access will be located within the floodway and floodplain of the Raccoon River. Approvals from Iowa Department of Natural Resources Floodplain, Iowa Department of Natural Resources Sovereign Lands, U.S. Army Corps of Engineers Section 404, and the West Des Moines Floodplain Administrator are required for this work to occur. A condition of approval is recommended requiring these approvals prior to the start of construction.
 2. **Site Access:** S. 1st Street is an access-controlled State highway. The proposed driveway is shown at the same location as the existing full access north of the Raccoon River Bridge. Access locations are subject to permitting and approval by the Iowa Department of Transportation.
- **Traffic Impact Study Findings:** The proposed site is expected to generate less traffic compared to what was previously assumed in long-range traffic models for the area. Therefore, there is no additional loading on the planned roadway network and previous recommendations for major roadways in the area remain adequate.

S. 1st Street (also known as State Highway 28 and 63rd Street in Des Moines) is a 4-lane major arterial street with a raised median adjacent to the site. Traffic volumes on S. 1st Street are expected to rise over time as vacant areas continue to fill in and as the area south of the Raccoon River develops. Traffic growth is compounded since the 1st Street corridor acts as a funnel for

drivers traveling from one side of the river to the other, as the nearest alternatives to cross the river are Interstate 35 (about 4 miles west) and Fleur Drive (about 3 miles east).

Levels of service (LOS) for traffic exiting the driveway is forecasted to be at LOS F with the existing traffic levels on S. 1st Street, and delay will continue to worsen as background traffic volumes increase. There may be times during peak periods when the northbound traffic queue stopped at Lincoln Street may back up through the driveway, creating additional delay. Drivers may be forced to wait longer than desired for an acceptable gap or use an alternate route, such as turning right and making a U-turn. The intersection is not expected to meet signalization warrants based on the forecasted traffic volumes. If crashes become an issue in the future, modifying the intersection to restrict left-turns (such as a right-in/right-out or a 3/4 intersection with right-in/right-out/left-in) may be considered to improve safety.

- **Developer Responsibilities:** In conjunction with site development, the developer will be responsible for construction and/or installation of all required public and private infrastructure improvements necessary to support development. The following items are known improvements:
 - **Turn Lanes:** In order to accommodate the proposed access, the existing pavement markings on S. 1st Street will need to be modified to provide dedicated left-turn lanes on S. 1st Street. Markings will need to be approved by the Iowa Department of Transportation. A condition of approval is recommended requiring approval by IDOT prior to the start of construction.
- **Vesting of Entitlement:** Per City Code, entitlement (approval to construct or implement) shall remain in effect so long as substantial site work has progressed beyond grading and completion of structural foundations and twenty-five percent (25%) of the total building area has occurred above grade within twenty-four (24) months of the effective date of the approval, unless a greater time period is authorized at time of the original entitlement, or by approval of an extension of the original entitlement. It is the responsibility of the developer to be aware of this deadline and request an extension of the approval prior to the expiration date.

Outstanding Issues: There are no outstanding issues.

Planning and Zoning Commission Action:

Date: March 11, 2024

Vote:

Recommendation:

Recommendation: Approve the Site Plan request, subject to the applicant meeting all City Code requirements, and the following conditions of approval:

1. Prior to initiating construction, the applicant obtaining Iowa Department of Natural Resources Floodplain, Iowa Department of Natural Resources Sovereign Lands, U.S. Army Corps of Engineers Section 404, and West Des Moines Floodplain Development approvals and permits.
2. Prior to initiating construction, the applicant obtaining an Iowa Department of Transportation access permit and approval of lane marking modifications.
3. Prior to initiating construction, a complete stormwater pollution prevention plan meeting the requirements of Iowa DNR General Permit No.2 shall be provided to Engineering Services.

Lead Staff Member: Brian Portz

Approval Meeting Dates:

Planning and Zoning Commission	March 11, 2024
City Council	

Staff Report Reviews:

Planning & Zoning Commission	<input checked="" type="checkbox"/> Development Coordinator (or) <input checked="" type="checkbox"/> Director	<input checked="" type="checkbox"/> Legal Department
City Council	<input type="checkbox"/> Director <input type="checkbox"/> Appropriations/Finance	<input type="checkbox"/> Legal Department <input type="checkbox"/> Agenda Acceptance

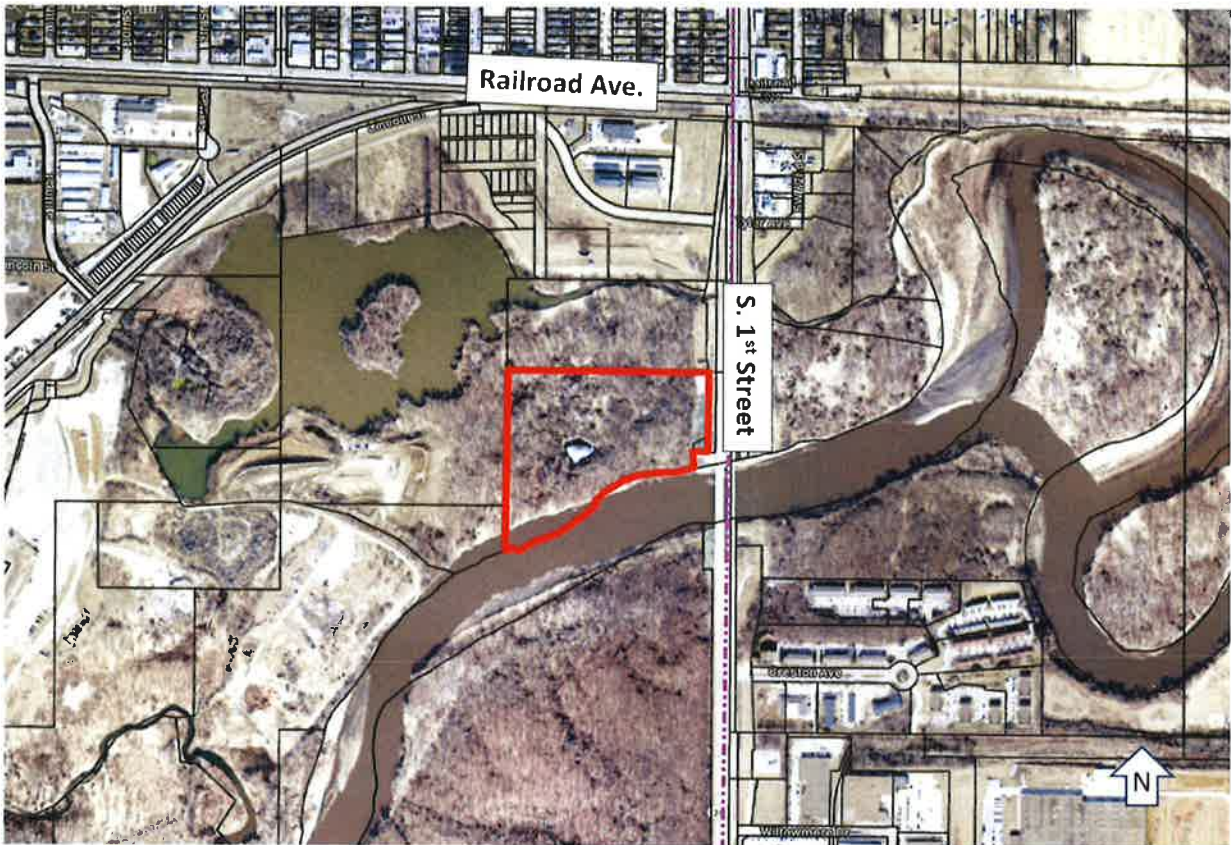
Publications (if applicable)

Published In:	Des Moines Register Community Section
Date(s) Published	n/a
Date(s) of Mailed Notices	n/a

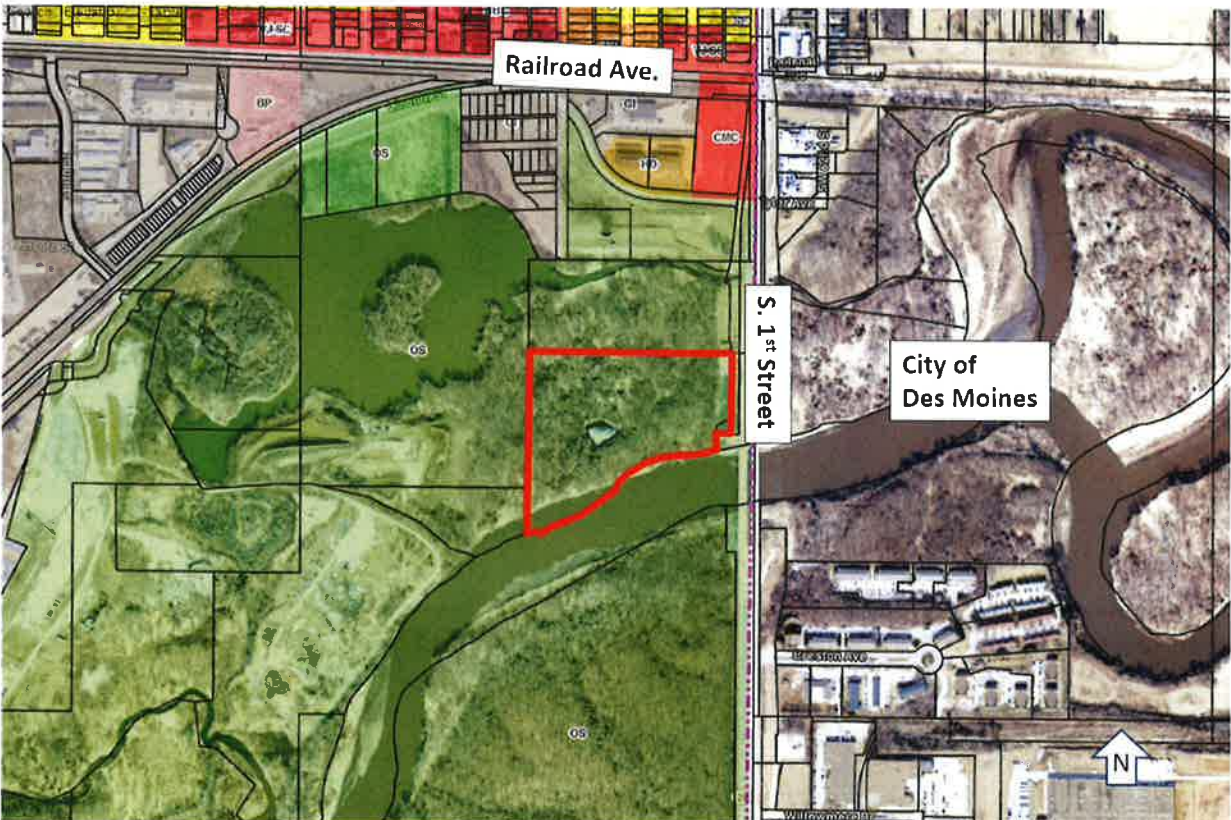
Council Subcommittee Review (if applicable)

Subcommittee	Development & Planning			
Date Reviewed	11/20/23			
Recommendation	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Split <input type="checkbox"/>	No Discussion <input checked="" type="checkbox"/>

Location Map



Vicinity Map – Land Uses



CITY OF WEST DES MOINES

PLANS INCLUDED ARE FOR ILLUSTRATIVE PURPOSES ONLY - APPROVED PLANS ON FILE WITH THE CITY

RACCOON RIVER GREENWAY BOAT ACCESS

WEST DES MOINES, IOWA

CONSTRUCTION PLANS

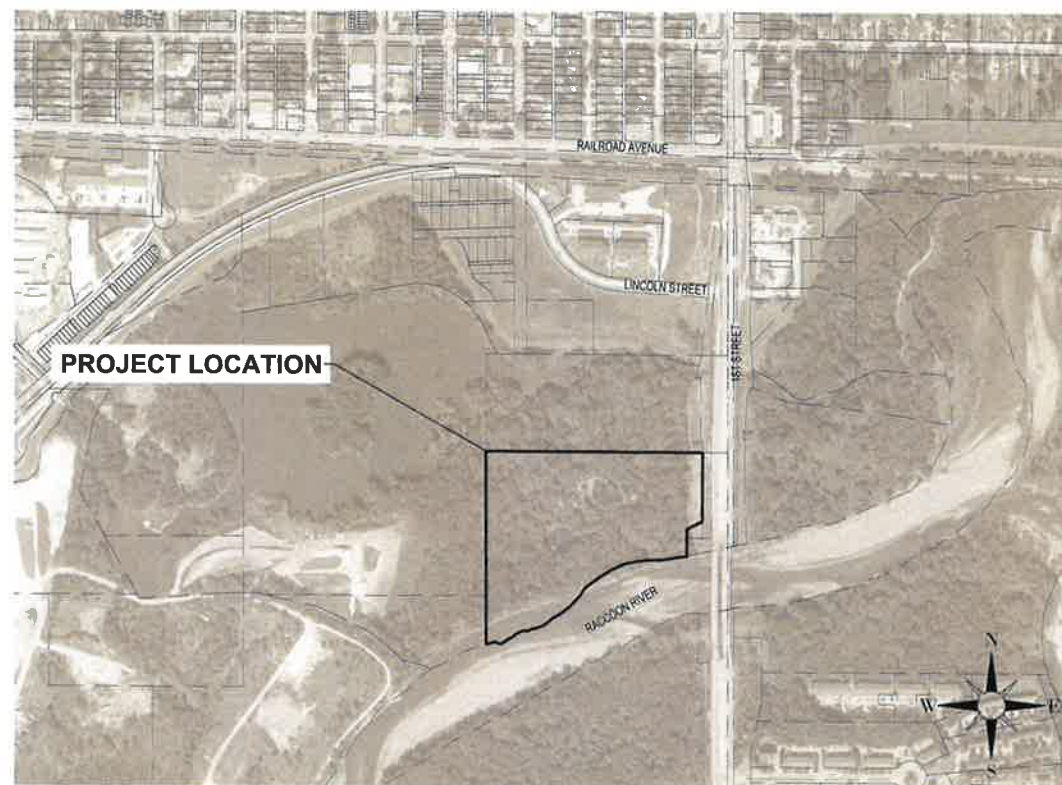
ISG PROJECT # 21-26274



PRELIMINARY NOT FOR CONSTRUCTION

LEGEND

EXISTING	
	RIGHT OF WAY LINE
	PROPERTY / LOTLINE
	WATER EDGE
	FENCE LINE
	CULVERT
	OVERHEAD ELECTRIC
	UNDERGROUND ELECTRIC
	OVERHEAD UTILITY
	CONTOUR (MAJOR)
	CONTOUR (MINOR)
	DECIDUOUS TREE
	TREE LINE
	POWER POLE
	UTILITY PEDESTAL / CABINET
PROPOSED	
	LOT LINE
	RIGHT OF WAY
	CULVERT
	STORM SEWER
	UNDERGROUND ELECTRIC
	CONTOUR
	LIGHT FIXTURE



LOCATION MAP



SHEET INDEX

- C0-10 TITLE SHEET
- C0-11 ESTIMATED QUANTITIES
- C0-12 ESTIMATE REFERENCE INFORMATION
- C0-20 SITE DETAILS
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- C0-24 SITE DETAILS
- C0-30 SECTIONS
- C0-31 SECTIONS
- C1-10 SWPPP NOTES
- C1-11 SWPPP DETAILS
- C1-20 SWPPP PLAN
- C1-21 SWPPP PLAN
- C2-10 EXISTING SITE AND REMOVALS PLAN
- C2-11 EXISTING SITE AND REMOVALS PLAN
- C2-12 EXISTING SITE AND REMOVALS PLAN
- C3-10 SITE PLAN
- C3-11 SITE PLAN - PLAZA
- C3-20 ACCESS ROAD PLAN AND PROFILE
- C3-21 ACCESS ROAD PLAN AND PROFILE
- C4-10 OVERALL GRADING PLAN
- C4-11 DETAILED GRADING PLAN
- C4-12 DETAILED GRADING PLAN
- C4-13 DETAILED GRADING PLAN
- C5-10 SITE RESTORATION PLAN
- C5-20 PLANTING NOTES & DETAILS
- E2-00 ELECTRICAL SITE PLAN - ACCESS ROAD
- E2-01 ELECTRICAL SITE PLAN - PARKING
- E2-02 ELECTRICAL SITE PLAN - STREET
- E2-10 PHOTOMETRIC PLAN - PARKING
- E2-11 PHOTOMETRIC PLAN - STREET
- E2-20 ELECTRICAL DETAILS
- E2-21 LIGHTING CUT SHEETS

SEAL	I hereby certify that this engineering document was prepared by me or under direct personal supervision and that I am a duly licensed Professional Engineer under the laws of the State of Iowa.
	PRELIMINARY
	(signature) _____ (date) _____
	Printed or typed name ERIC GJERSVIK
	License number 16913
	My license renewal date is December 31, 12/31/2025
	Pages or sheets covered by this seal: C SHEETS

PROJECT GENERAL NOTES

- ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS, WHICH INCLUDE, BUT ARE NOT LIMITED TO, THE OWNER - CONTRACTOR AGREEMENT, THE PROJECT MANUAL (WHICH INCLUDES GENERAL SUPPLEMENTARY CONDITIONS AND SPECIFICATIONS), DRAWINGS OF ALL DISCIPLINES AND ALL ADDENDA, MODIFICATIONS AND CLARIFICATIONS ISSUED BY THE ARCHITECT/ENGINEER.
- CONTRACT DOCUMENTS SHALL BE ISSUED TO ALL SUBCONTRACTORS BY THE GENERAL CONTRACTOR IN COMPLETE SETS IN ORDER TO ACHIEVE THE FULL EXTENT AND COMPLETE COORDINATION OF ALL WORK.
- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES OR CONDITIONS REQUIRING INFORMATION OR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
- FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS. NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES OR CONDITIONS REQUIRING INFORMATION OR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
- DETAILS SHOWN ARE INTENDED TO BE INDICATIVE OF THE PROFILES AND TYPE OF DETAILING REQUIRED THROUGHOUT THE WORK. DETAILS NOT SHOWN ARE SIMILAR IN CHARACTER TO DETAILS SHOWN WHERE SPECIFIC DIMENSIONS, DETAILS OR DESIGN INTENT CANNOT BE DETERMINED, NOTIFY ARCHITECT/ENGINEER BEFORE PROCEEDING WITH THE WORK.
- ALL MANUFACTURED ARTICLES, MATERIALS AND EQUIPMENT SHALL BE APPLIED, INSTALLED, CONNECTED, ERECTED, CLEANED AND CONDITIONED ACCORDING TO MANUFACTURERS' INSTRUCTIONS. IN CASE OF DISCREPANCIES BETWEEN MANUFACTURERS' INSTRUCTIONS AND THE CONTRACT DOCUMENTS, NOTIFY ARCHITECT/ENGINEER BEFORE PROCEEDING WITH THE WORK.
- ALL DISSIMILAR METALS SHALL BE EFFECTIVELY ISOLATED FROM EACH OTHER TO AVOID GALVANIC CORROSION.
- THE LOCATION AND TYPE OF ALL INPLACE UTILITIES SHOWN ON THE PLANS ARE FOR GENERAL INFORMATION ONLY AND ARE ACCURATE AND COMPLETE TO THE BEST OF THE KNOWLEDGE OF I & S GROUP, INC. (ISG). NO WARRANTY OR GUARANTEE IS IMPLIED. THE CONTRACTOR SHALL VERIFY THE SIZES, LOCATIONS AND ELEVATIONS OF ALL INPLACE UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL IMMEDIATELY NOTIFY ENGINEER OF ANY DISCREPANCIES OR VARIATIONS FROM PLAN.
- THE CONTRACTOR IS TO CONTACT "IOWA ONE CALL" FOR UTILITY LOCATIONS, MINIMUM 2 BUSINESS DAYS PRIOR TO ANY EXCAVATION / CONSTRUCTION (1-800-292-8989).
- AT LEAST ONE WEEK PRIOR TO ANY CONSTRUCTION WITHIN PUBLIC R.O.W./EASEMENTS AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, THE CONTRACTOR SHALL CONTACT THE WDM ENGINEERING SERVICES BEN MCALISTER 222-3475 TO OBTAIN APPLICABLE CITY PERMITS THAT MAY BE NECESSARY. IT IS IMPORTANT TO NOTE CITY APPROVAL OF THIS PLAN IS SUBJECT TO THE APPLICANT OBTAINING ALL NECESSARY EASEMENTS/AGREEMENTS AND APPLICABLE PERMITS.
- APPLICANT SHOULD BE MADE AWARE ANY SIGNING, STRIPING OR OTHER TRAFFIC CONTROL DEVICES ON THE DRIVEWAY APPROACHES TO PUBLIC STREETS SHOULD CONFORM TO THE (MUTCD) MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (FEDERAL HIGHWAY ADMINISTRATION, 2009 EDITION), A NOTE SHALL BE PROVIDED ON THE SITE PLAN INDICATING THIS.



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PROJECT
**CITY OF WEST DES MOINES
RACCOON RIVER GREENWAY BOAT ACCESS**

WEST DES MOINES IOWA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY
01/11/2024	RESUBMITTAL #1	EBG

PROJECT NO.	21-26274
FILE NAME	26274 C0-SITE DATA
DRAWN BY	PCN
DESIGNED BY	PCN
REVIEWED BY	-
ORIGINAL ISSUE DATE	08/23/22
CLIENT PROJECT NO.	-

TITLE
TITLE SHEET

SHEET
C0-10

SITE SUMMARY

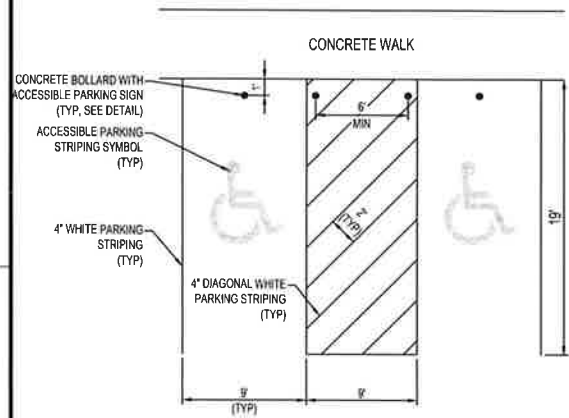
EXISTING ZONING:	OS (OPEN SPACE)
EXISTING LAND USE:	FLOODPLAIN AND FLOODWAY
EXISTING SITE/LOT AREA:	33 AC.
EXISTING IMPERVIOUS AREA:	0 AC (0%)
EXISTING GREENSPACE:	33 AC (100%)
PROPOSED ZONING:	N/A
PROPOSED LAND USE:	PARKING LOT AND BOAT RAMP
PROPOSED SITE/LOT AREA:	33 AC.
PROPOSED IMPERVIOUS AREA:	66,969 SQ. FT. / 1.54 AC. (4.6%)
GREENSPACE PROVIDED:	31.46 AC. (95.4%)
PARKING REQUIREMENTS (PER CITY CODE)	
TYPE	UNIT / AREA STALLS REQUIRED STALLS PROVIDED
9'X18' (17' IF GREEN SPACE ABUTS STALL)	N/A 42
TOTAL:	42
SETBACKS	
FRONT YARD	50'-0"
SIDE YARD	50'-0"
REAR YARD	50'-0"

ABBREVIATIONS:

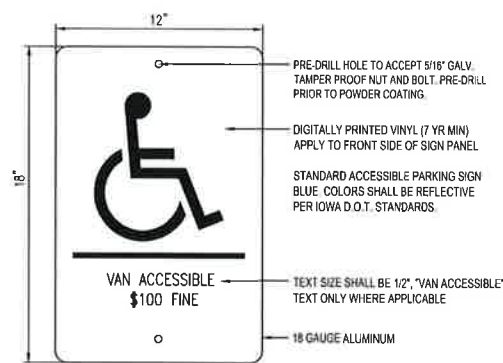
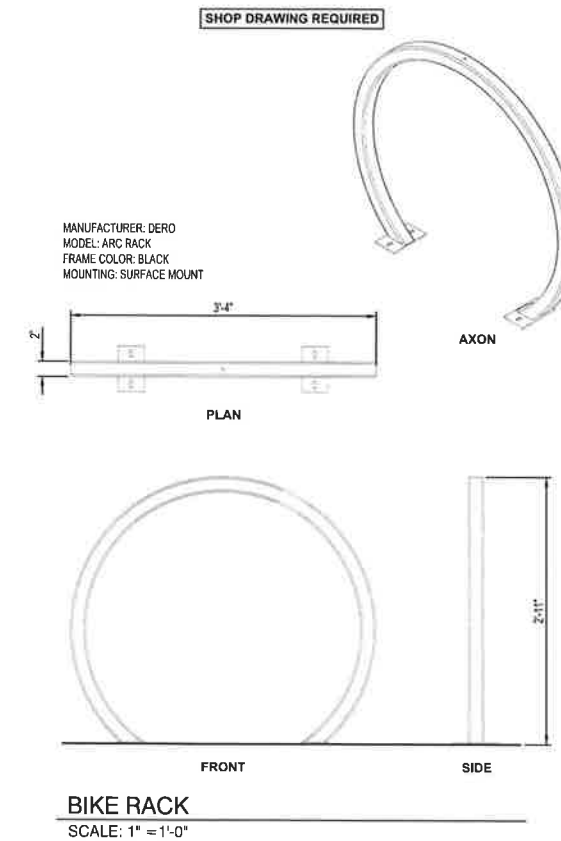
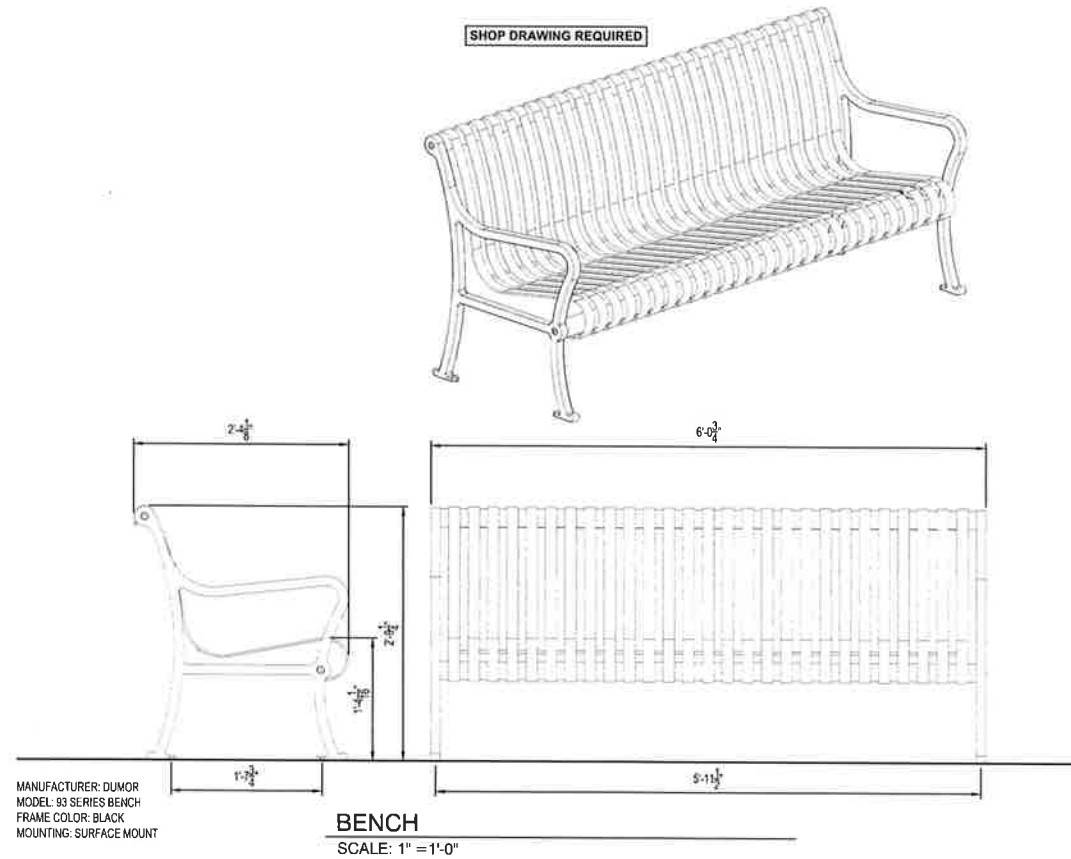
AC	ACRE	CMP	CORRUGATED METAL PIPE	FOC	FIRE DEPARTMENT CONNECTION	HH	HANDHOLE	LSO	LOWEST STRUCTURAL OPENING	PP	POLYPROPYLENE	STA	STATION
ADA	AMERICANS WITH DISABILITIES ACT	CO	CLEANOUT	FON	FOUNDATION	HORIZ	HORIZONTAL	MAX	MAXIMUM	PSI	POUNDS PER SQUARE INCH	SY	SQUARE YARD
ADD	ADDENDUM	CONC	CONCRETE	FES	FLARED END SECTION	HR	HOUR	NB	MAIL BOX	PVC	POLYVINYL CHLORIDE	T/C	TOP OF CURB
AFF	ABOVE FINISHED FLOOR	CONST	CONSTRUCTION	FFE	FINISHED FLOOR ELEVATION	HWL	HIGH WATER LEVEL	MECH	MECHANICAL	PVMT	QUANTITY	TEL	TELEPHONE
AGG	AGGREGATE	CONT	CONTINUOUS	FFM	FEET PER MINUTE	HWY	HIGHWAY	MH	MANHOLE	QTY	QUANTITY	TEMP	TEMPORARY
APPROX	APPROXIMATE	CY	CUBIC YARD	FFS	FEET PER SECOND	HYD	HYDRANT	MIN	MINIMUM	R	RIM	THRU	THROUGH
ARCH	ARCHITECT, ARCHITECTURAL	C&G	CURB AND GUTTER	FT	FOOT, FEET	I	INVERT	MISC	MISCELLANEOUS	RAD	RADIUS	TW/F	TOP NUT OF FIRE HYDRANT
BFE	BASEMENT FLOOR ELEVATION	DEMO	DEMOLITION	FTG	FOOTING	ID	INSIDE DIAMETER	NO	NUMBER	RC	REINFORCED CONCRETE PIPE	TRANS	TRANSFORMER
BIT	BITUMINOUS	DIA	DIAMETER	GA	GAUGE	IN	INCH	NTS	NOT TO SCALE	RD	ROOF DRAIN	TV	TELEVISION
CAD	COMPUTER-AIDED DESIGN	DIM	DIMENSION	GAL	GALLON	INV	INVERT	NWL	NORMAL WATER LEVEL	REBAR	REINFORCING BAR	T/W	TOP OF WALL
CB	CATCH BASIN	DS	DOWNSPOUT	GALV	GALVANIZED	IP	IRON PIPE	OC	ON CENTER	REM	REMOVE	TYP	TYPICAL
CFS	CUBIC FEET PER SECOND	EA	EACH	GC	GENERAL CONTRACTOR	IPS	IRON PIPE SIZE	OCEW	ON CENTER EACH WAY	R/W	RIGHT OF WAY	UT	UTILITY, UNDERGROUND
CF	CUBIC FOOT	ELEC	ELECTRICAL	GFE	GARAGE FLOOR ELEVATION	J-BOX	JUNCTION BOX	OH	OVERHEAD	R/W	RIGHT OF WAY	UT	UTILITY, UNDERGROUND
CI	CAST IRON	ELEV	ELEVATION	GL	GUTTER LINE	JT	JOINT	OHD	OVERHEAD DOOR	SAN	SANITARY	VCP	VITRIFIED CLAY PIPE
CIP	CAST IRON PIPE	EOP	EMERGENCY OVERFLOW	GV	GALLONS PER MINUTE	LF	LINEAR FEET	OZ	DUNCE	SCH	SCHEDULE	W/O	WITHOUT
CPC	CAST IN PLACE CONCRETE	EQ	EQUAL	GV	GATE VALVE	LN	LINEAR	PED	PEDESTAL, PEDESTRIAN	SF	SQUARE FOOT	W/	WITH
CJ	CONTROL JOINT	EX	EXISTING	HDPPE	HIGH DENSITY POLYETHYLENE	LPS	LOW PRESSURE STEAM	PERF	PERFORATED	SPEC	SPECIFICATION	Y	YARD
CL	CENTERLINE	FIG	FORM GRADE	HD	HEAVY DUTY	LS	LUMP SUM	PL	PROPERTY LINE	SQ	SQUARE	YR	YEAR

PROJECT INDEX:

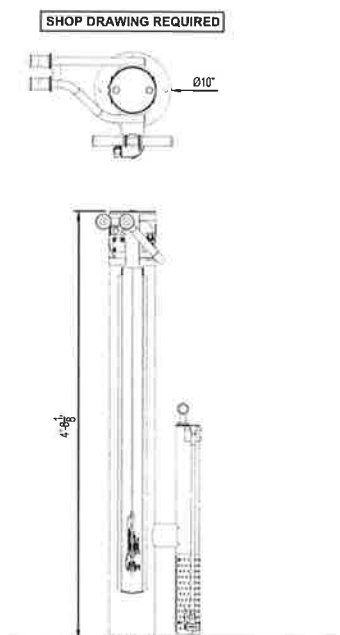
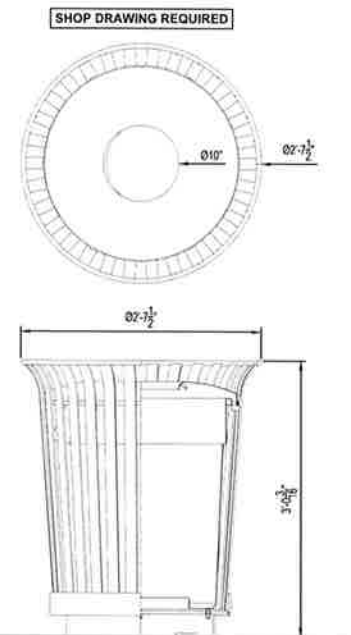
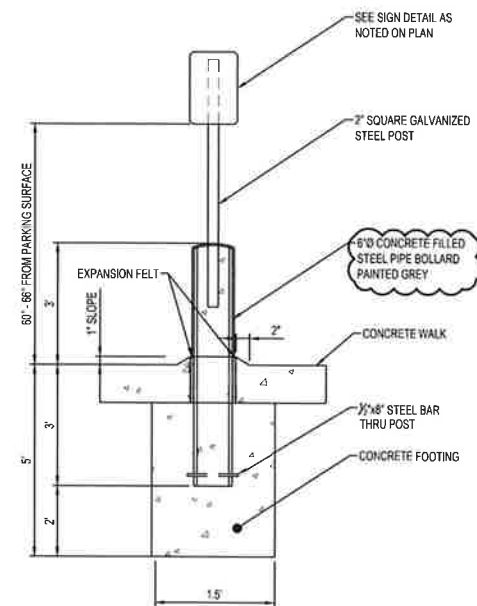
OWNER: CITY OF WEST DES MOINES PARKS & REC DEPT. 4200 MILLS CIVIC PARKWAY WEST DES MOINES, IOWA 50265 PHONE: 515.222.3600	PROJECT ADDRESS / LOCATION: 104 1ST STREET WEST DES MOINES, IOWA 50265	MANAGING OFFICE: DES MOINES OFFICE 217 EAST 2nd STREET SUITE 110 DES MOINES, IA 50309 PHONE: 515.243.9143	SPECIFICATIONS REFERENCE ALL CONSTRUCTION SHALL COMPLY WITH THE CITY OF WEST DES MOINES REQUIREMENTS AND WITH THE 2022 EDITION OF THE STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS) FOR PUBLIC IMPROVEMENTS, UNLESS DIRECTED OTHERWISE.	B.M. ELEVATION = 38.23 BENCHMARK #058 AT INTERSECTION OF 4TH STREET AND RAILROAD AVENUE, NORTHWEST CORNER OF INTERSECTION, 41 FEET WEST OF CENTERLINE OF 4TH STREET, 55 ± FEET NORTH OF CENTERLINE OF RAILROAD AVENUE.
PROJECT DATUM HORIZONTAL COORDINATES HAVE BEEN REFERENCED TO THE NORTH AMERICAN DATUM OF 1983 (NAD83), ZONE 8, ON THE IOWA REGIONAL COORDINATE SYSTEM, IN U.S. SURVEY FEET. ELEVATIONS HAVE BEEN REFERENCED TO THE CITY OF WEST DES MOINES DATUM LOWERED BY (773.81) FROM THE NGVD29 ELEVATIONS.		TOPOGRAPHIC SURVEY THIS PROJECT'S TOPOGRAPHIC SURVEY CONSISTS OF DATA COLLECTED IN MARCH 2022 BY ISG.		
PROJECT MANAGER: ERIC GJERSVIK EMAIL: ERIC.GJERSVIK@ISGINC.COM				



ACCESSIBLE PARKING AREA
NTS



ACCESSIBLE PARKING SIGN
NTS



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PROJECT
CITY OF WEST DES MOINES RACCOON RIVER GREENWAY BOAT ACCESS

WEST DES MOINES IOWA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY
01/11/2024	RESUBMITTAL #1	EBG

PROJECT NO. 21-26274
FILE NAME 26274 CO-DETAILS
DRAWN BY PCN
DESIGNED BY PCN
REVIEWED BY
ORIGINAL ISSUE DATE 08/23/22
CLIENT PROJECT NO.

TITLE
SITE DETAILS

SHEET
C0-21



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PROJECT
**CITY OF WEST
DES MOINES
RACCOON RIVER
GREENWAY BOAT
ACCESS**

WEST DES MOINES IOWA

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DATE	DESCRIPTION	BY
01/11/2024	RESUBMITTAL #1	EBG

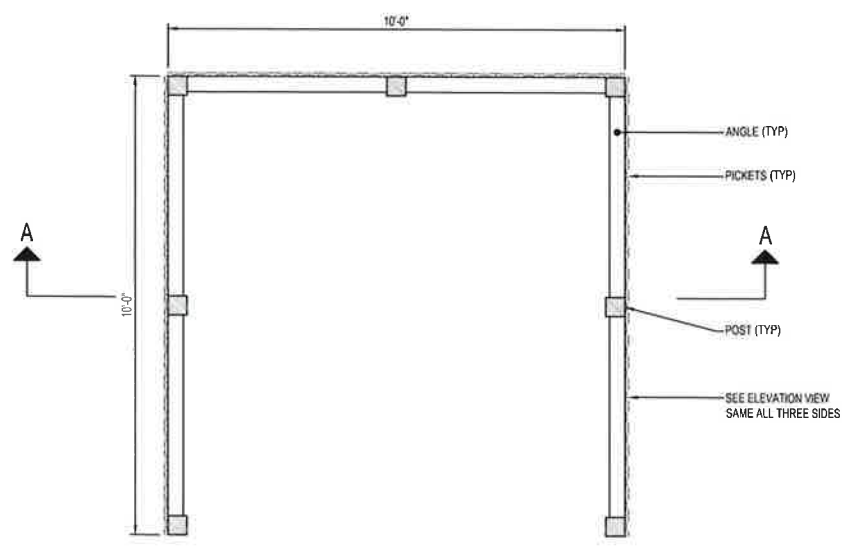
PROJECT NO.	21-26274
FILE NAME	26274 C0-DETAILS
DRAWN BY	PCN
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TITLE

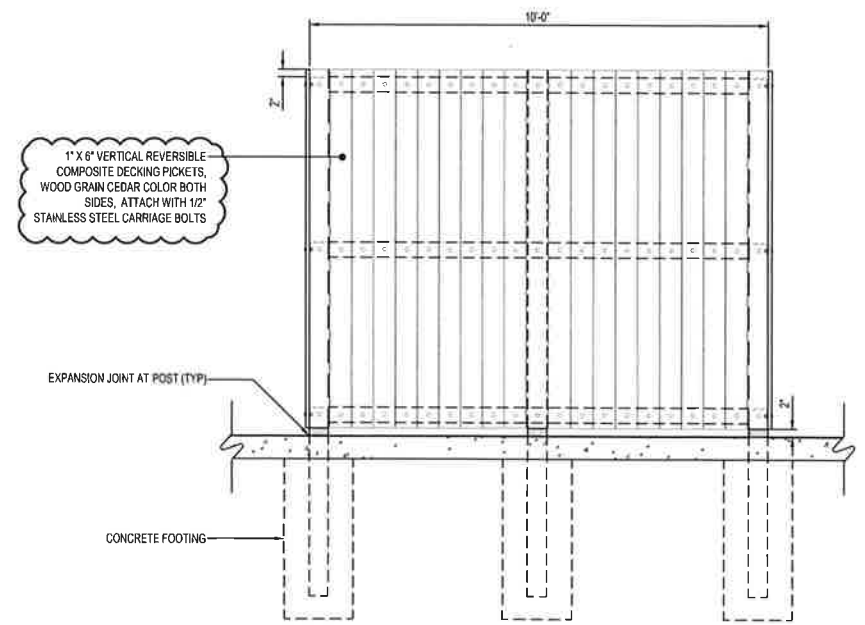
SITE DETAILS

SHEET
C0-22

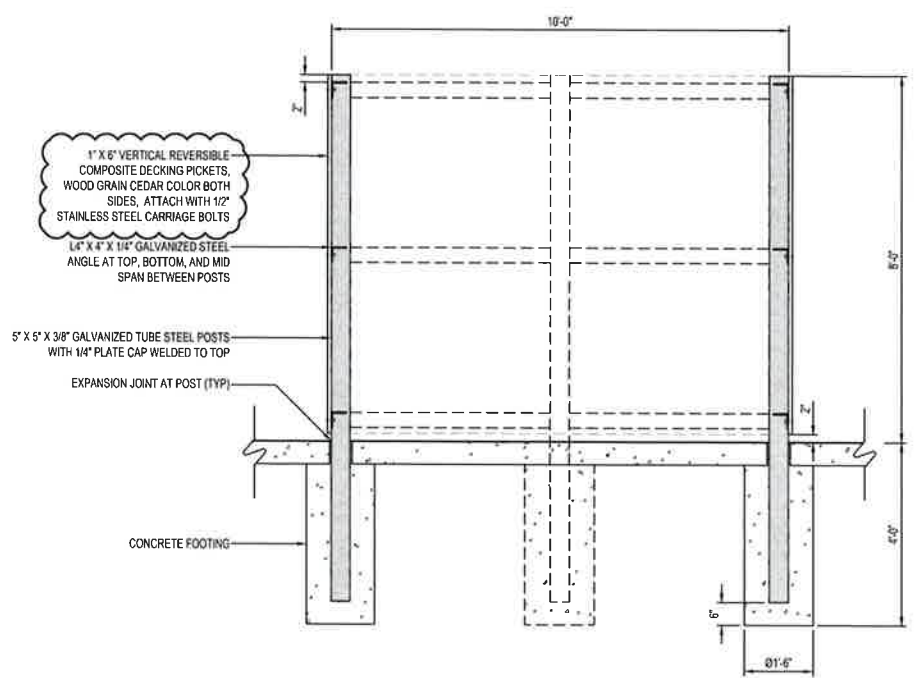
PRELIMINARY NOT FOR CONSTRUCTION



PORTABLE RESTROOM ENCLOSURE (PLAN)
SCALE: 1/2" = 1'-0"



**PORTABLE RESTROOM ENCLOSURE (ELEVATION)
SAME ON THREE SIDES**
SCALE: 1/2" = 1'-0"



PORTABLE RESTROOM ENCLOSURE (SECTION A-A)
SCALE: 1/2" = 1'-0"

PLOT DATE: 11/12/2024 12:08 PM



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PROJECT
CITY OF WEST DES MOINES RACCOON RIVER GREENWAY BOAT ACCESS

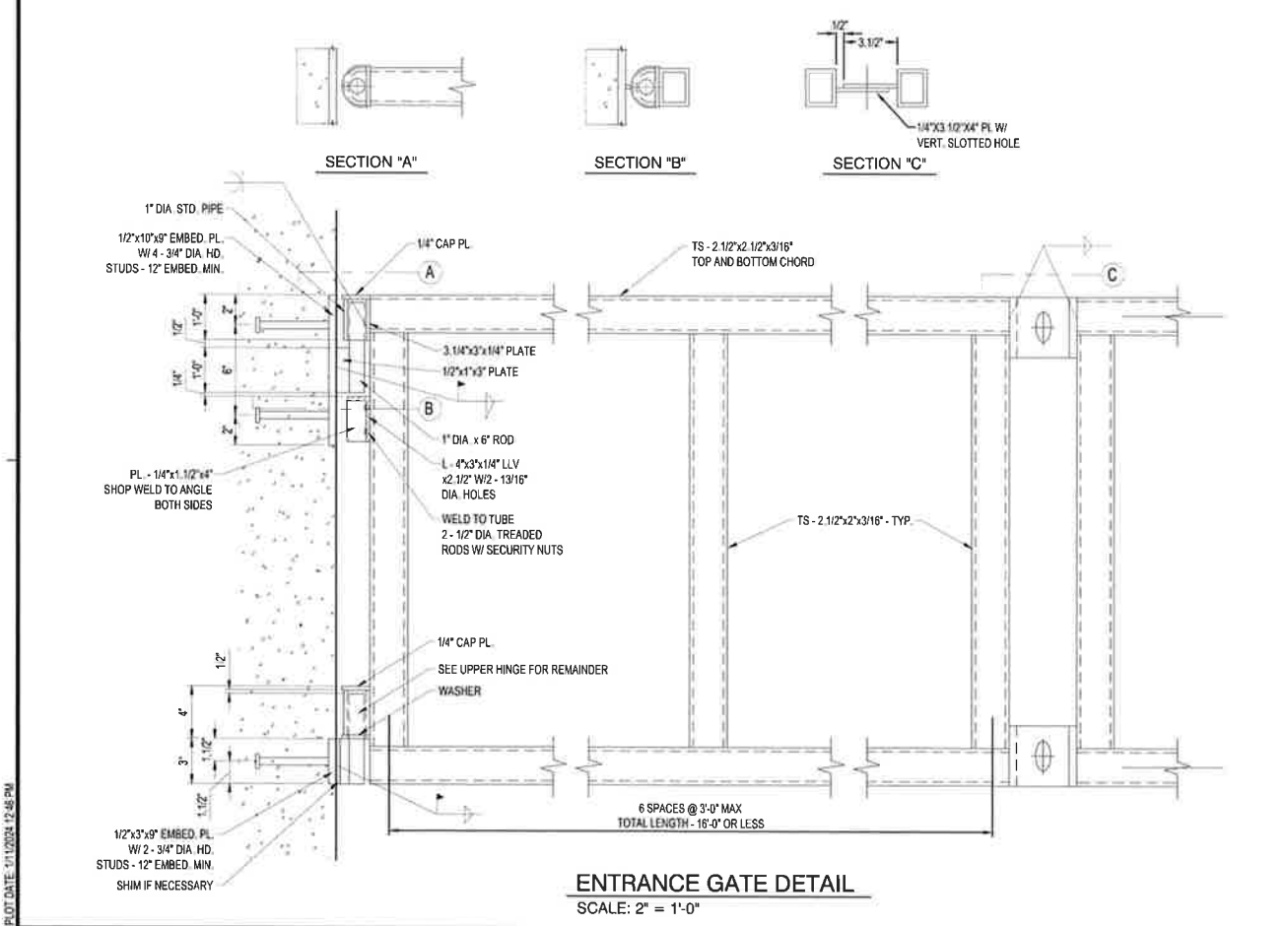
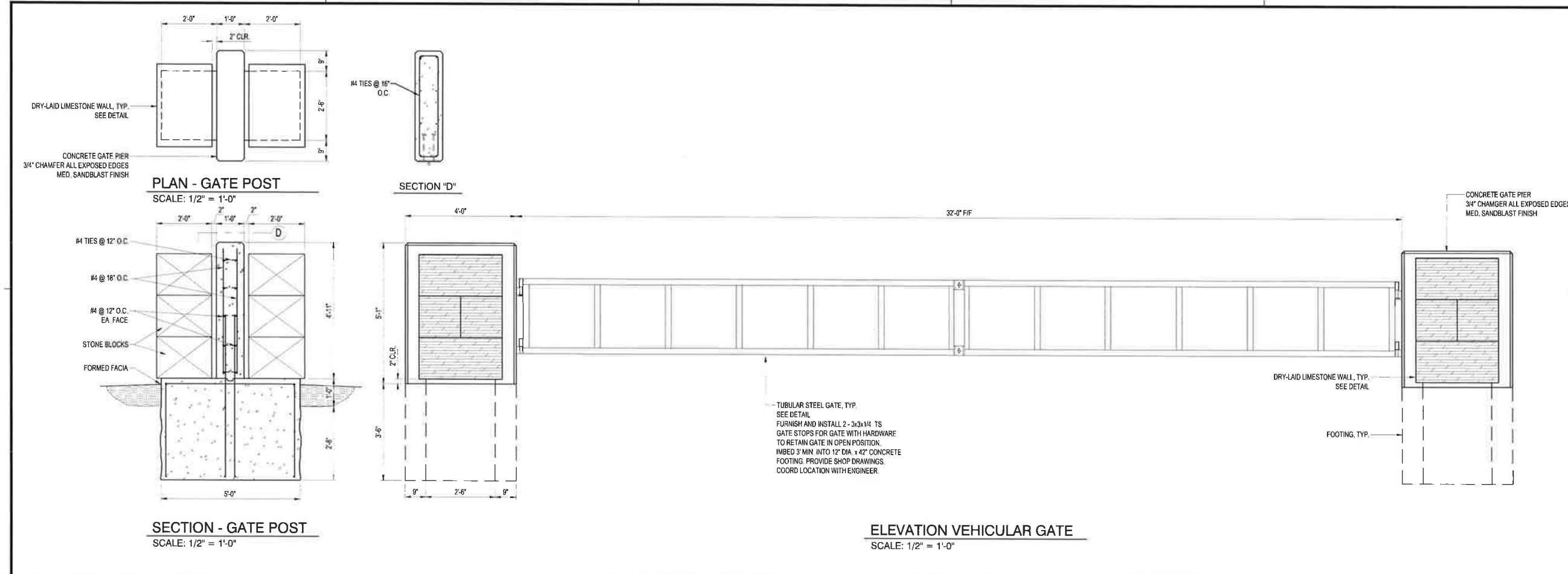
WEST DES MOINES IOWA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY
01/11/2024	RESUBMITTAL #1	EBG

PROJECT NO.	21-26274
FILE NAME	26274 C0-DETAIL.S
DRAWN BY	PCN
DESIGNED BY	PCN
REVIEWED BY	-
ORIGINAL ISSUE DATE	06/23/22
CLIENT PROJECT NO.	-

TITLE
SITE DETAILS

SHEET
C0-23



PLOT DATE: 01/17/2024 12:08 PM

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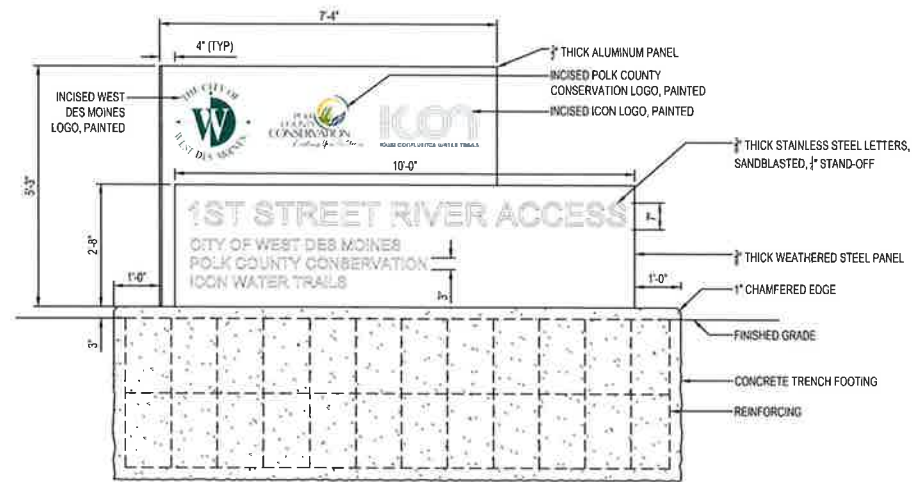
WEST DES MOINES IOWA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY
01/11/2024	RESUBMITTAL #1	EBG

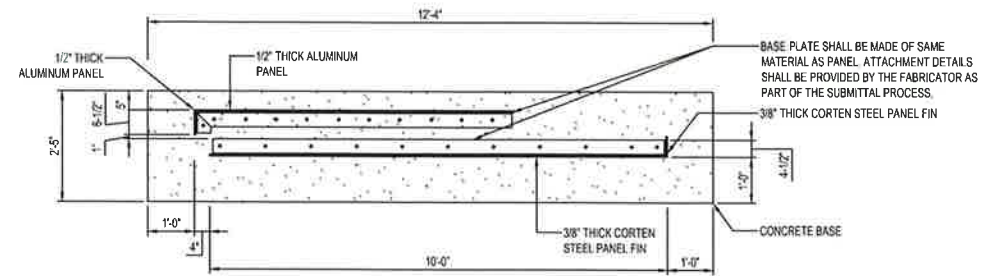
PROJECT NO.	21-26274
FILE NAME	26274 CO-DETAILS
DRAWN BY	PCN
DESIGNED BY	PCN
REVIEWED BY	
ORIGINAL ISSUE DATE	08/23/22
CLIENT PROJECT NO.	

TITLE
SITE DETAILS

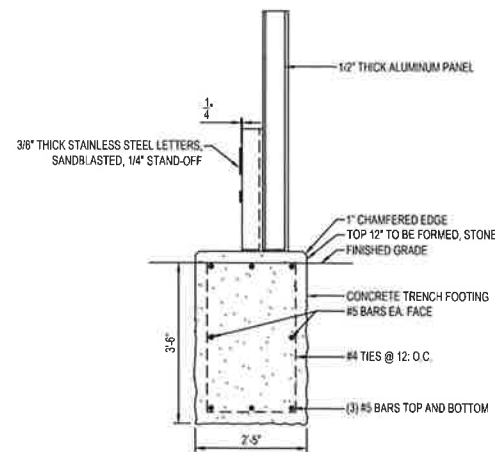
SHEET
C0-24



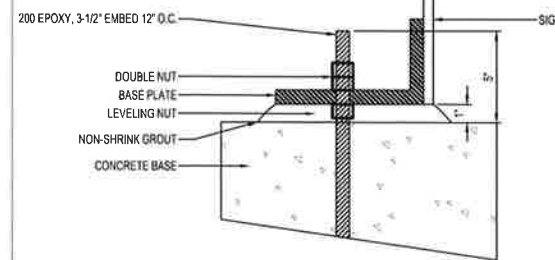
FRONT ELEVATION
SCALE: 1/2" = 1'-0"



PLAN VIEW
SCALE: 1/2" = 1'-0"



SIDE ELEVATION
SCALE: 1/2" = 1'-0"



SECTION: BASE PLATE LEVELING DETAIL
SCALE: 1" = 5'-0"

SIGNAGE NOTES AND SPECIFICATIONS

- ALUMINUM PANEL ALLOY SHALL BE DETERMINED DURING THE SUBMITTAL PROCESS. THE FABRICATOR SHALL BE RESPONSIBLE FOR ILLUSTRATING THE RIGIDITY AND SHAPE TO FORM A CLEAN 90° BEND BY MEANS OF A METAL BRAKE OR WELDED AND SANDED SMOOTH. THE ALUMINUM PANEL SHALL HAVE A SANDBLASTED DULL FINISH.
- ALL ARTWORK SHALL BE PROVIDED BY OWNER.
- GROUT SHALL BE NON-SHRINK, NON-METALLIC, NATURAL AGGREGATE, CONSTRUCTION GROUT WITH MINIMUM DRY-PACK COMPRESSIVE STRENGTH OF 7000 PSI AT 3-DAYS COMPLYING WITH ASTM C1107.
- ALL HARDWARE SHALL BE STAINLESS STEEL.
- CORTEN STEEL SHALL BE POWER WASHED OR LIGHTLY SANDBLASTED PRIOR TO FABRICATION.
- LETTERS SHALL BE PERMANENTLY ATTACHED.
- SIGN WIDTH VARIES. THE CORTEN PANEL IS EITHER 10' OR 8' WIDE.
- SUBMITTALS
 - MATERIAL SAMPLES IN CORRECT THICKNESS.
 - PAINT SPECIFICATIONS
 - UP TO 3 COLOR OPTIONS FOR "W" LOGO. PAINT SHALL BE ON ALUMINUM WITH SANDBLASTED FINISH.
 - CONCRETE DESIGN MIX.
 - MANUFACTURER'S DATA ON ANCHOR RODS, NUTS.
 - ONE LETTER IN EACH SIZE, THICKNESS, AND MATERIAL.
 - SHOP DRAWING DETAILING ATTACHMENT DETAIL OF LETTERS.
 - ATTACHMENT DETAIL OF BASE PLATE.



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PROJECT
CITY OF WEST DES MOINES
RACCOON RIVER GREENWAY BOAT ACCESS

WEST DES MOINES IOWA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY
01/11/2024	RESUBMITTAL #1	EBG

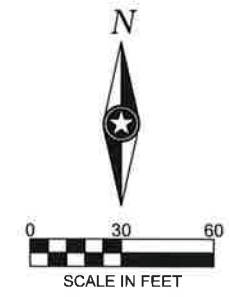
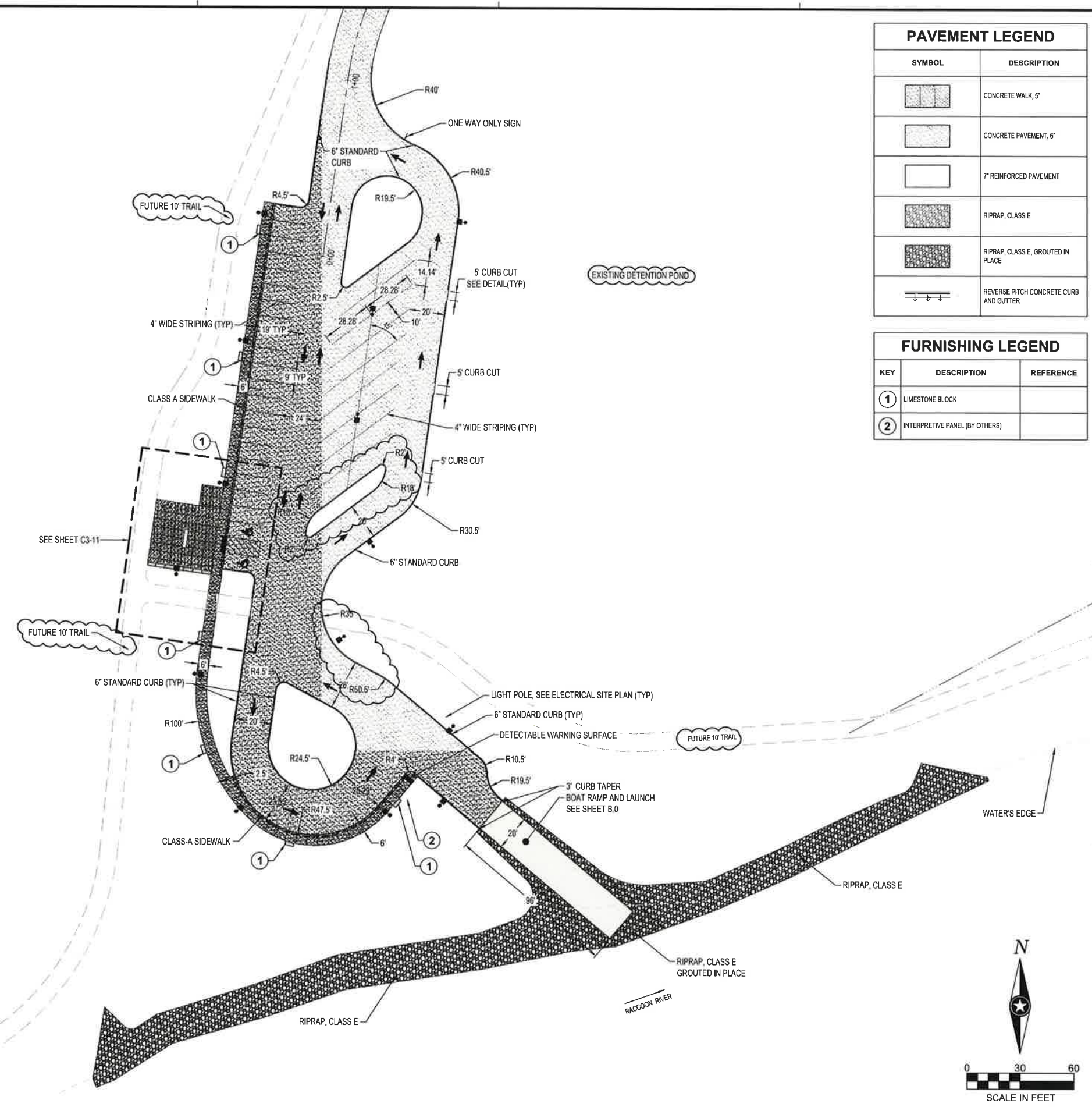
PROJECT NO.	21-26274
FILE NAME	26274 C3-SITE
DRAWN BY	PCN
DESIGNED BY	PCN
REVIEWED BY	
ORIGINAL ISSUE DATE	06/23/22
CLIENT PROJECT NO.	

TITLE
SITE PLAN

SHEET
C3-10

PAVEMENT LEGEND	
SYMBOL	DESCRIPTION
	CONCRETE WALK, 5'
	CONCRETE PAVEMENT, 6'
	7' REINFORCED PAVEMENT
	RIPRAP, CLASS E
	RIPRAP, CLASS E, GROUTED IN PLACE
	REVERSE PITCH CONCRETE CURB AND GUTTER

FURNISHING LEGEND		
KEY	DESCRIPTION	REFERENCE
①	LIMESTONE BLOCK	
②	INTERPRETIVE PANEL (BY OTHERS)	



PLOT DATE: 01/11/2024 12:58 PM

PRELIMINARY NOT FOR CONSTRUCTION

FURNISHING LEGEND		
KEY	DESCRIPTION	REFERENCE
①	LIMESTONE BLOCK	
②	LITTER RECEPTACLE	
③	BIKE RACK	
④	BIKE REPAIR STATION	
⑤	PORTABLE RESTROOM ENCLOSURE	
⑥	TRAIL KIOSK (BY OTHERS)	



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PROJECT
**CITY OF WEST DES MOINES
RACCOON RIVER GREENWAY BOAT ACCESS**

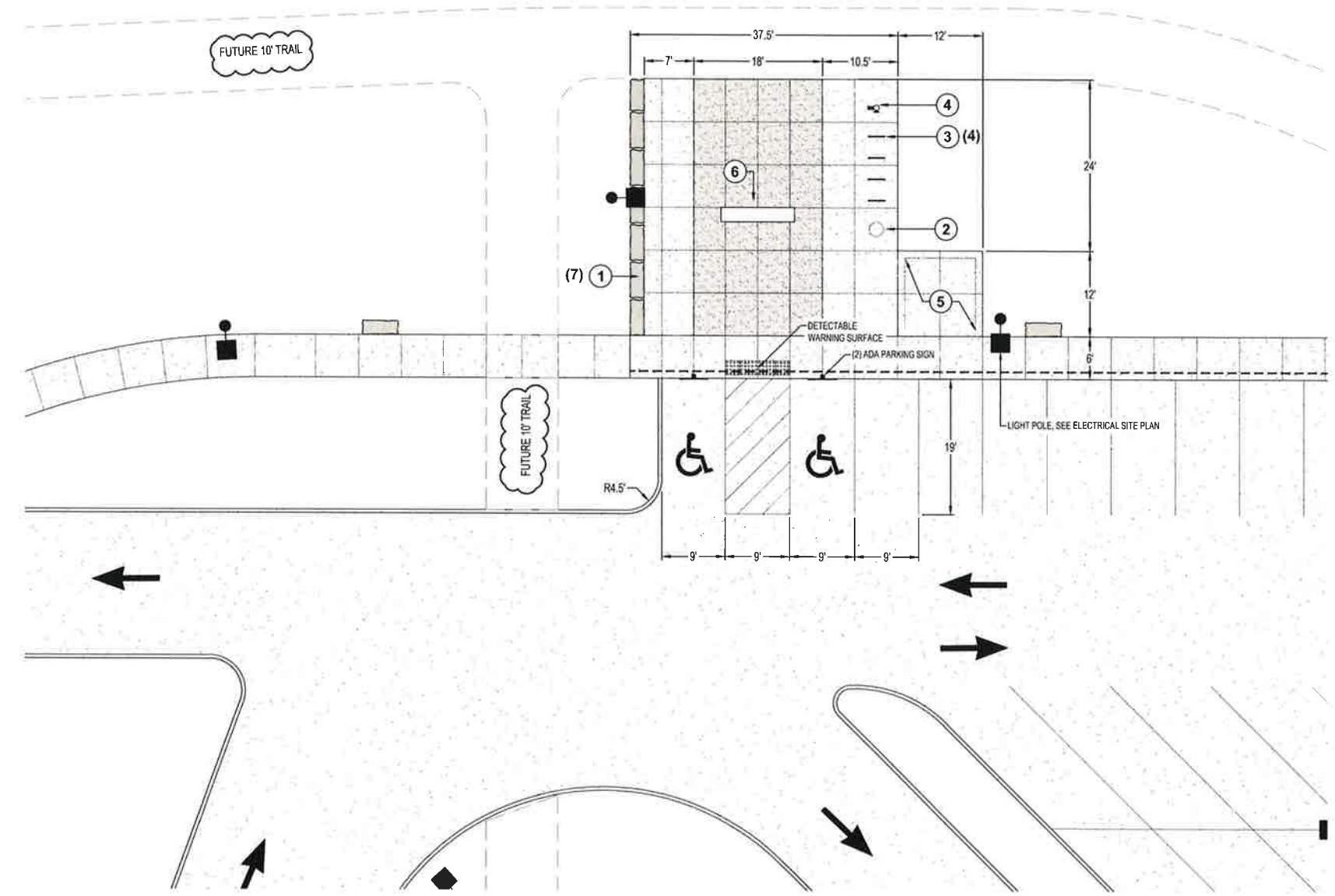
WEST DES MOINES IOWA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY
01/11/2024	RESUBMITTAL #1	EBG

PROJECT NO. 21-26274
 FILE NAME 26274 C3-SITE
 DRAWN BY PCN
 DESIGNED BY PCN
 REVIEWED BY --
 ORIGINAL ISSUE DATE 08/23/22
 CLIENT PROJECT NO. -

TITLE
SITE PLAN - PLAZA

SHEET
C3-11



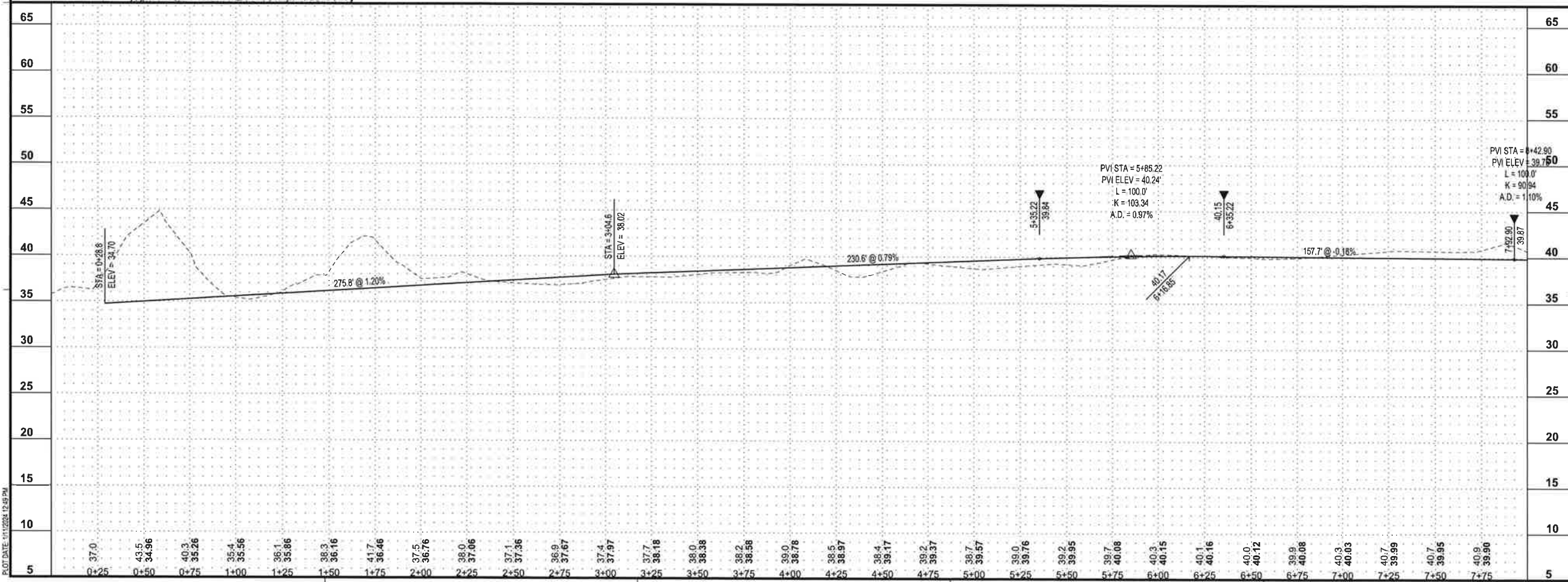
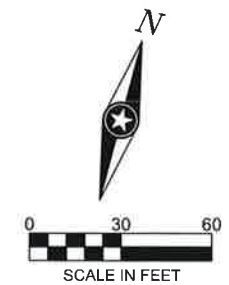
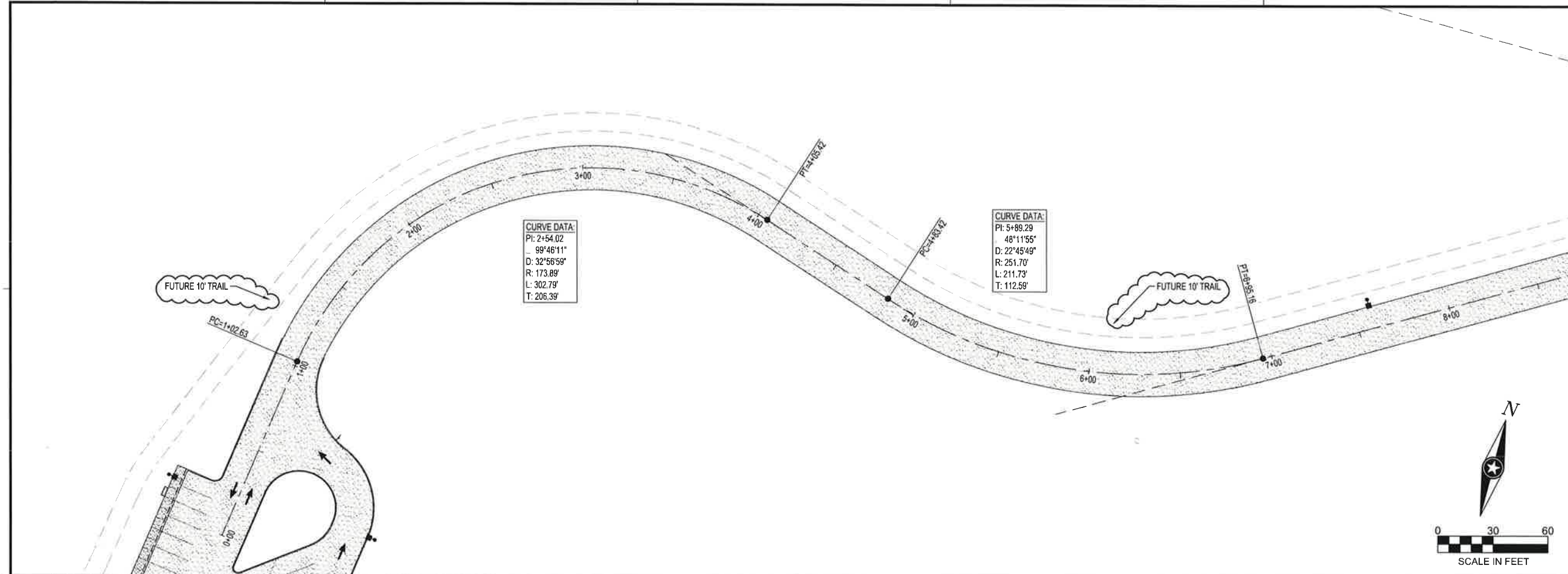
PLOT DATE: 1/11/2024 12:49 PM

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PROJECT		
CITY OF WEST DES MOINES RACCOON RIVER GREENWAY BOAT ACCESS		
WEST DES MOINES		IOWA
REVISION SCHEDULE		
DATE	DESCRIPTION	BY
01/11/2024	RESUBMITTAL #1	EBG
PROJECT NO. 21-26274		
FILE NAME 26274 C3-SITE		
DRAWN BY PCN		
DESIGNED BY PCN		
REVIEWED BY		
ORIGINAL ISSUE DATE 06/23/22		
CLIENT PROJECT NO.		
TITLE		
ACCESS ROAD PLAN AND PROFILE		
SHEET		
C3-20		

PLOT DATE: 01/11/2024 12:05 PM

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PROJECT
CITY OF WEST DES MOINES RACCOON RIVER GREENWAY BOAT ACCESS

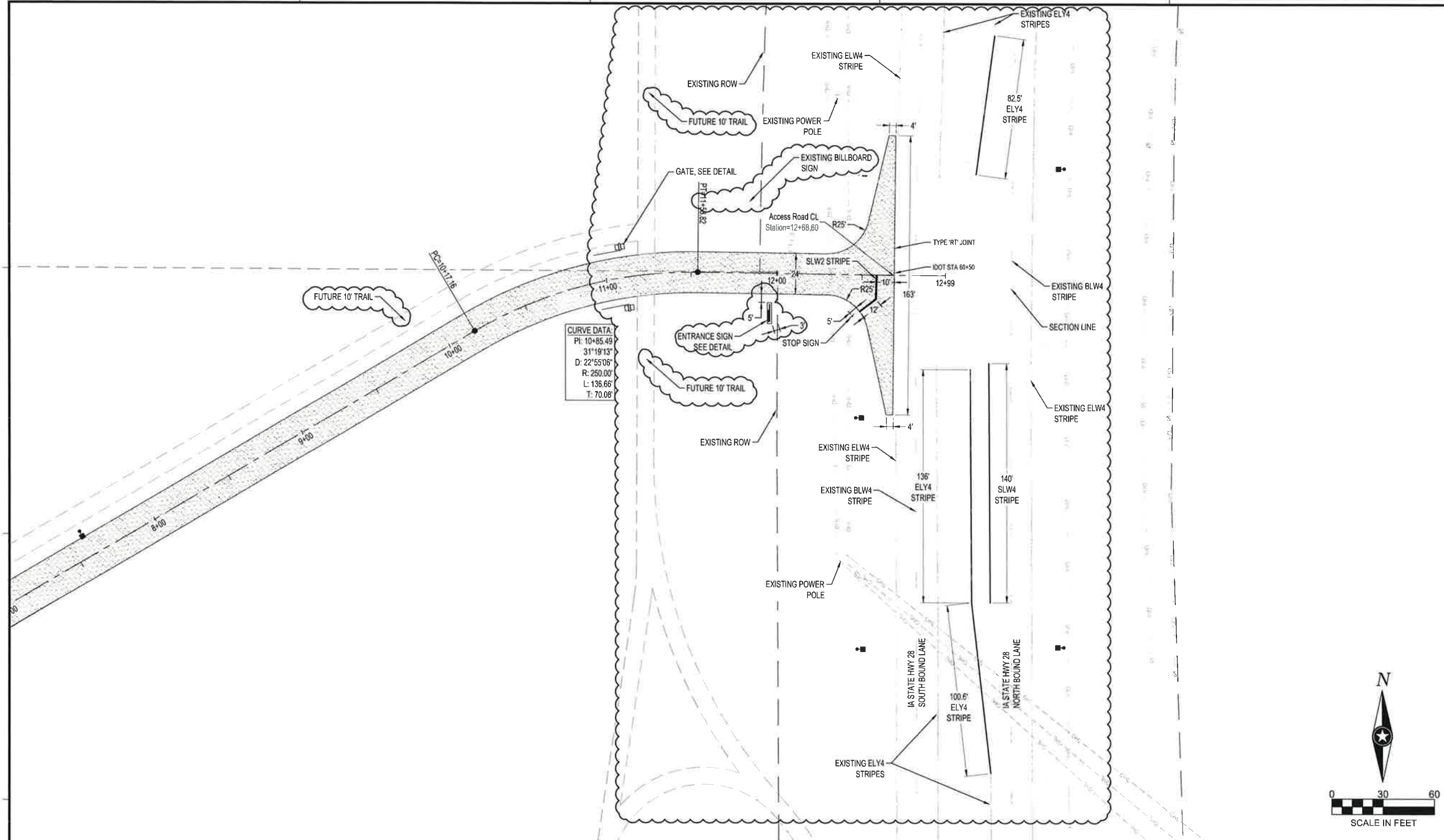
WEST DES MOINES IOWA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY
01/11/2024	RESUBMITTAL #1	EBG

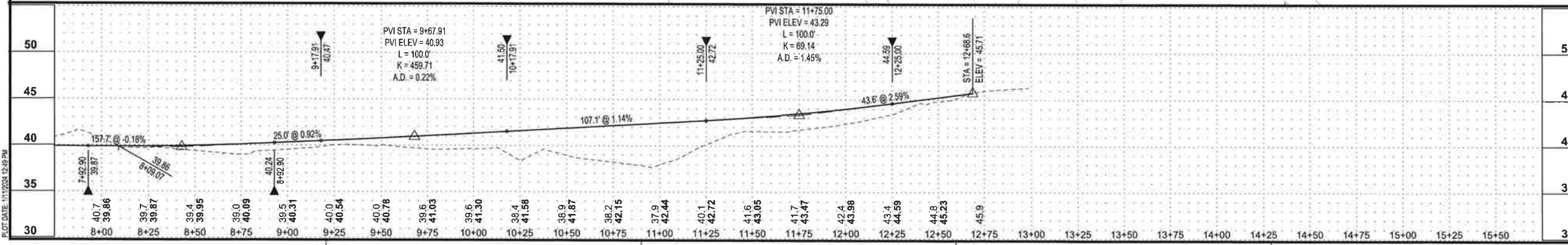
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FILE NAME	26274 C3-SITE
DRAWN BY	PCN
DESIGNED BY	PCN
REVIEWED BY	
ORIGINAL ISSUE DATE	06/23/22
CLIENT PROJECT NO.	

TITLE
ACCESS ROAD PLAN AND PROFILE

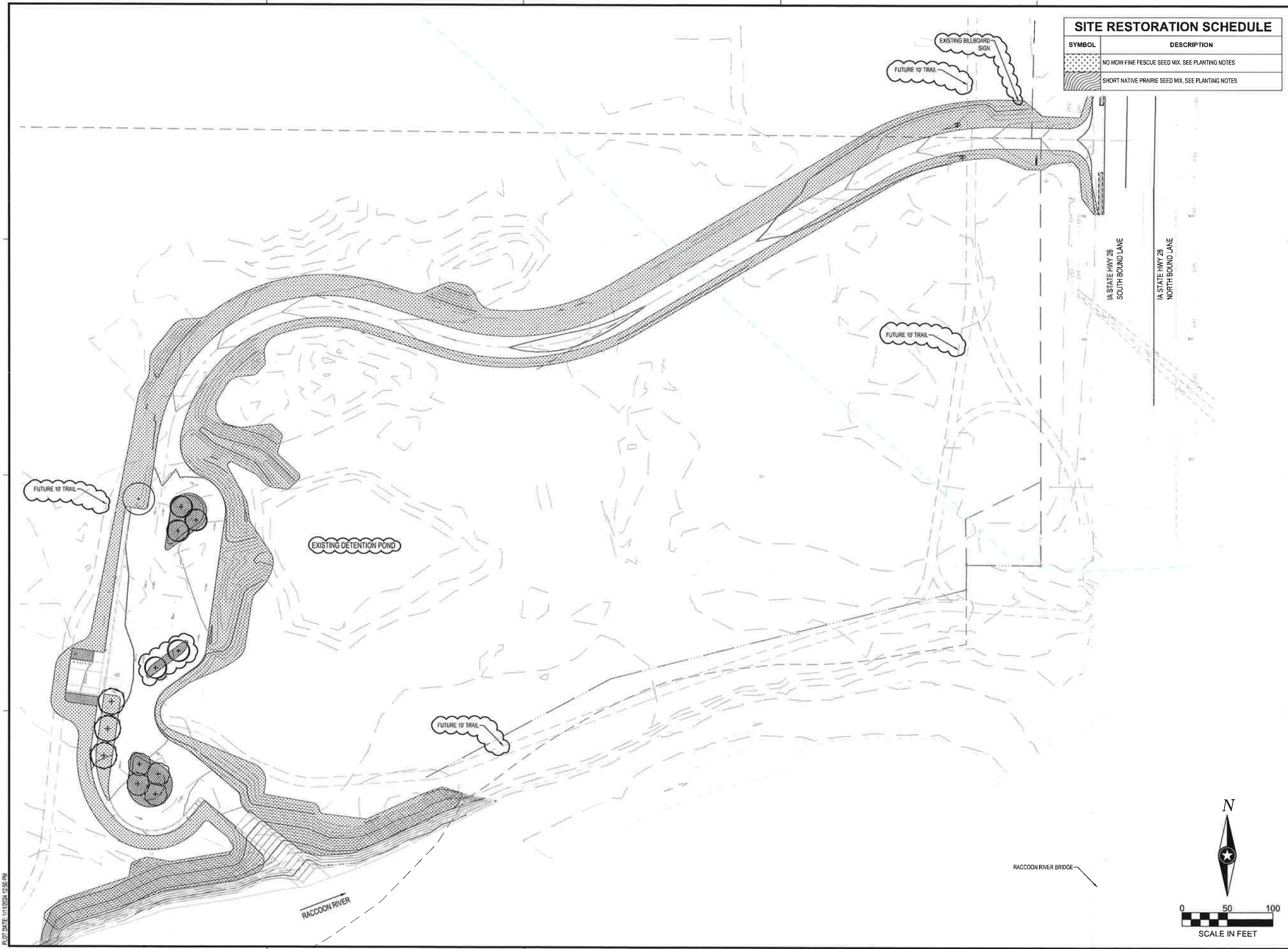
SHEET
C3-21



CURVE DATA
 P: 10+85.49
 31°19'13"
 D: 22°55'06"
 R: 250.00'
 L: 136.66'
 T: 70.08'



PRELIMINARY NOT FOR CONSTRUCTION



SITE RESTORATION SCHEDULE	
SYMBOL	DESCRIPTION
	NO MOW FINE FESCUE SEED MIX, SEE PLANTING NOTES
	SHORT NATIVE PRAIRIE SEED MIX, SEE PLANTING NOTES



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PROJECT
**CITY OF WEST DES MOINES
RACCOON RIVER GREENWAY BOAT ACCESS**

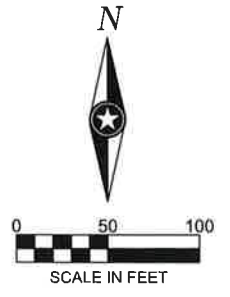
WEST DES MOINES IOWA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY
01/11/2024	RESUBMITTAL #1	EBG

PROJECT NO. 21-26274
 FILE NAME 26274 C5-LAND
 DRAWN BY PCN
 DESIGNED BY PCN
 REVIEWED BY
 ORIGINAL ISSUE DATE 06/23/22
 CLIENT PROJECT NO.

TITLE
SITE RESTORATION PLAN

SHEET
C5-10



PRELIMINARY NOT FOR CONSTRUCTION

PLOT DATE: 01/11/2024 12:50 PM

A RESOLUTION OF THE PLANNING AND ZONING COMMISSION

NO. PZC-24-011

WHEREAS, pursuant to the provisions of Title 9, Zoning of the West Des Moines Municipal Code, the applicant and property owner, the City of West Des Moines, requests approval of the Site Plan for the approximately 19-acre property located at 104 S. 1st Street as depicted on the location map included in the staff report. The applicant requests approval to construct paved river access to Raccoon River along with an associated parking lot and other associated site improvements; and

WHEREAS, the Site Plan request complies with the findings stated in the applicable provisions of Title 9, the Comprehensive Plan and City Code.

NOW THEREFORE, the Planning and Zoning Commission of the City of West Des Moines recommends the City Council approve the Site Plan (SP-006244-2023), subject to compliance with all the conditions of approval as stated in the staff report, including conditions added at the meeting, and attached hereto as Exhibit "A", if applicable.

PASSED AND ADOPTED on March 11, 2024.

Andrew Conlin, Chair
Planning and Zoning Commission

I HEREBY CERTIFY that the foregoing resolution was duly adopted by the Planning and Zoning Commission of the City of West Des Moines, Iowa, at a regular meeting on March 11, 2024, by the following vote:

AYES:

NAYS:

ABSTENTIONS:

ABSENT:

ATTEST:

Recording Secretary