

**CITY OF WEST DES MOINES
STAFF REPORT COMMUNICATION**

Meeting Date: July 8, 2024

ITEM: Prime 39, 930 76th Street – Approve a Preliminary Plat to create 46 lots for Multi-Family Townhome development and Approve a Site Plan to allow construction of 38 multi-family residential townhomes – JLP Holdings, LLC – PPSP-006320-2024

Resolution: Approval of Preliminary Plat and Site Plan

Background: Josh Trygstad with Civil Design Advantage, on behalf of the applicant and property owner, JLP Holdings, LLC, request approval of a Preliminary Plat for the 4.78-acre property located at 930 76th Street. The applicant proposes to subdivide the property into 46 lots for a 38-unit multi-family townhome development, with 4 outlots for common areas, 2 outlots for private streets and 2 outlots for storm water management. Additionally, the applicant requests approval of a Site Plan to allow construction of 9 buildings containing 38 residential townhome units and associated site improvements.

Staff Review & Comment:

- **Financial Impact:** There is no City funding of this project; however, there is staff time for processing of development application and inspections during construction.
- **History:** The Village on Jordan Creek PUD was originally established in 2020 to allow for a mixed-use development consisting of Office and Medium Density Residential for both market rate and a senior living facility. The PUD was amended in 2022 to allow for The Cunningham mixed use building to occupy the east half of the development (East of 76th Street) and to remove the senior living use from the southwest parcel (subject parcel) to allow for an approximately 5-acre medium density residential market rate development.
- **Key Development Aspects:**
 1. **Sidewalks:** The current zoning code requires that sidewalks be setback a minimum of 5 feet from the right of way and that sidewalks be provided on both sides of public or private streets. The configuration of this townhome development is set up with garage access from the private street and pedestrian access to the units from the opposite side of the unit where the front doors are located. Per the code, with this type of site configuration sidewalks would need to be provided on both the street side and the interior side of the townhome units. Therefore, the applicant is requesting a waiver of the sidewalk ordinance to allow sidewalks to be provided on both sides of the main east west street (Presence Lane) to provide good pedestrian access through the development, but then allow the remaining sidewalks for the development to be provided either between the units (Units 5-10) or around the back side of the units (Units 1-4, and 15-38) to allow sidewalk access to the main entrances of the units. Sidewalks will not be provided along Prime Street or Peak Drive which are mainly for vehicle access to the units and fire access for the development. A sidewalk will be provided for the visitor parking located along the south side of Presence Lane.
 2. **Architecture:** Per the PUD, the building designs shall provide continuity to unite all structures within the development into one project concept. The proposed townhomes designs and materials are in keeping with the context of the multi-use building to the east and the design and scale of the single-family neighborhood to the south. The applicant

has worked with staff to create a building design that fits within the architectural context of the overall development and the surrounding neighborhood.

- **Traffic Impact Study Findings:** The proposed land use is estimated to generate slightly less traffic than previously estimated in earlier studies for the Village on Jordan Creek development. The driveways and surrounding public streets are expected to have adequate capacity under full-build traffic levels.
- **Developer Responsibilities:** In conjunction with site development or platting of the lots, whichever occurs first, the developer will be responsible for construction and/or installation of all required public and private infrastructure improvements necessary to support development.
- **Parkland Dedication Agreement:** With the development of the 38-unit townhomes, parkland dedication and improvements are required by city code. The site plan shows the required agreed upon private on-site improvements required to meet the parkland requirements. The development specific Parkland Dedication Agreement will be executed by the developer and provided to staff prior to City Council consideration of the associated Final Plat.
- **Plat Validity:** Per City Code, the associated Final Plat must be presented to the City Council for approval within 12 months of the approval of this Preliminary Plat if surety is being posted for Public Improvements; or, within 18 months if Public Improvements are being constructed prior to Final Plat consideration. It is the responsibility of the developer to be aware of these deadlines and request an extension of the Preliminary Plat approval prior to the Preliminary Plat expiration date.
- **Vesting of Entitlement:** Per City Code, entitlement (approval to construct or implement) shall remain in effect so long as substantial site work has progressed beyond grading and completion of structural foundations and twenty-five percent (25%) of the total building area has occurred above grade within twenty-four (24) months of the effective date of the approval, unless a greater time period is authorized at time of the original entitlement, or by approval of an extension of the original entitlement. It is the responsibility of the developer to be aware of this deadline and request an extension of the approval prior to the expiration date.

Outstanding Issues: There are no outstanding issues.

Planning and Zoning Commission Action:

Date: July 8, 2024

Vote:

Recommendation:

Recommendation: Approve the Preliminary Plat and Site Plan request, subject to the applicant meeting all City Code requirements, and the following conditions of approval:

1. The Parkland Dedication Agreement shall be executed by the developer and provided to staff for consideration by City Council with the associated Final Plat.

Lead Staff Member: Karen Marren

Approval Meeting Dates:

Planning and Zoning Commission	July 8, 2024
City Council	

Staff Report Reviews:

Planning & Zoning Commission	<input checked="" type="checkbox"/> Development Coordinator (or) <input type="checkbox"/> Director	<input type="checkbox"/> Legal Department
City Council	<input type="checkbox"/> Director <input type="checkbox"/> Appropriations/Finance	<input type="checkbox"/> Legal Department <input type="checkbox"/> Agenda Acceptance

Publications (if applicable)

Published In:	Des Moines Register Community Section
Date(s) Published	n/a
Date(s) of Mailed Notices	n/a

Council Subcommittee Review (if applicable)

Subcommittee	Development & Planning
Date Reviewed	Scheduled for 7/15/24 – Upcoming Project Only
Recommendation	<input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A

Location Map



Land Use Map

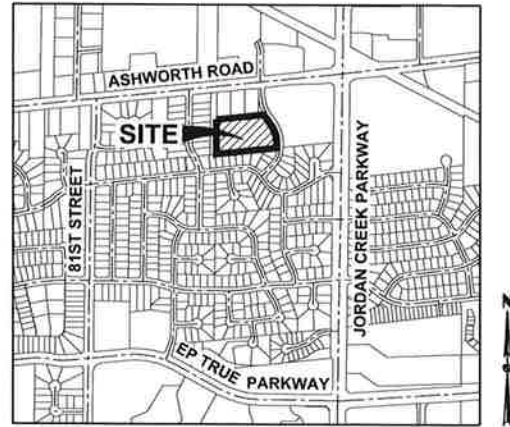


PRELIMINARY PLAT AND SITE PLAN FOR: PRIME 39

PLANS INCLUDED ARE FOR ILLUSTRATIVE PURPOSES ONLY – APPROVED PLANS ON FILE WITH THE CITY

WEST DES MOINES, IOWA

VICINITY MAP NOT TO SCALE



WEST DES MOINES, IOWA

LEGAL DESCRIPTION

LOT 2, THE VILLAGE ON JORDAN CREEK PARKWAY PLAT 1, AN OFFICIAL PLAT IN THE CITY OF WEST DES MOINES, DALLAS COUNTY, IOWA.

THE PROPERTY CONTAINS 4.78 ACRES (208,328 SQUARE FEET) AND IS SUBJECT TO ANY AND ALL EASEMENTS OF RECORD.

ZONING

VILLAGE ON JORDAN CREEK PUD (PARCEL B)
BOOK 2021, PAGE 20993

COMPREHENSIVE PLAN LAND USE

MD: MEDIUM DENSITY RESIDENTIAL

INDEX OF SHEETS

NO.	DESCRIPTION
1.0	COVER SHEET
2.0-2.2	TYPICAL SECTIONS AND DETAILS
3.0	OVERALL LAYOUT AND HYDRANT COVERAGE PLAN
3.1	PHASING PLAN
4.0-4.1	DIMENSION PLAN
5.0-5.1	GRADING PLAN
6.0	EROSION AND SEDIMENT CONTROL PLAN
7.0-7.1	UTILITY PLAN
L1.0-L1.1	LANDSCAPE PLAN

GENERAL LEGEND

PROPOSED	EXISTING
PROPERTY BOUNDARY	SANITARY MANHOLE
SECTION LINE	WATER VALVE BOX
CENTER LINE	FIRE HYDRANT
RIGHT OF WAY	WATER CURB STOP
BUILDING SETBACK	WELL
PERMANENT EASEMENT	STORM SEWER MANHOLE
TEMPORARY EASEMENT	STORM SEWER SINGLE INTAKE
TYPE SW-501 STORM INTAKE	STORM SEWER DOUBLE INTAKE
TYPE SW-502 STORM INTAKE	FLARED END SECTION
TYPE SW-503 STORM INTAKE	DECIDUOUS TREE
TYPE SW-505 STORM INTAKE	CONIFEROUS TREE
TYPE SW-506 STORM INTAKE	DECIDUOUS SHRUB
TYPE SW-512 STORM INTAKE	CONIFEROUS SHRUB
TYPE SW-513 STORM INTAKE	ELECTRIC POWER POLE
TYPE SW-401 STORM MANHOLE	GUY ANCHOR
TYPE SW-402 STORM MANHOLE	STREET LIGHT
FLARED END SECTION	POWER POLE W/ TRANSFORMER
TYPE SW-301 SANITARY MANHOLE	UTILITY POLE W/ LIGHT
STORM/SANITARY CLEANOUT	ELECTRIC BOX
WATER VALVE	ELECTRIC TRANSFORMER
FIRE HYDRANT ASSEMBLY	ELECTRIC MANHOLE OR VAULT
SIGN	TRAFFIC SIGN
DETECTABLE WARNING PANEL	TELEPHONE JUNCTION BOX
WATER CURB STOP	TELEPHONE MANHOLE/VAULT
SANITARY SEWER	TELEPHONE POLE
SANITARY SERVICE	GAS VALVE BOX
STORM SEWER	CABLE TV JUNCTION BOX
STORM SERVICE	CABLE TV MANHOLE/VAULT
WATERMAIN WITH SIZE	MAIL BOX
WATER SERVICE	BENCHMARK
SAWCUT (FULL DEPTH)	SOIL BORING
SILT FENCE	UNDERGROUND TV CABLE
USE AS CONSTRUCTED	GAS MAIN
MINIMUM PROTECTION ELEVATION	FIBER OPTIC
	UNDERGROUND TELEPHONE
	OVERHEAD ELECTRIC
	UNDERGROUND ELECTRIC
	FIELD TILE
	SANITARY SEWER W/ SIZE
	STORM SEWER W/ SIZE
	WATER MAIN W/ SIZE

OWNER/APPLICANT

JLP HOLDINGS LLC
3611 NE OTTERVIEW CIRCLE #42
ANKENY, IA 50021
CONTACT: NICK JENSEN
EMAIL: nick@colliberiowa.com
PH: (515) 290-3971

ENGINEER

CIVIL DESIGN ADVANTAGE
4121 NW URBAN DALE DRIVE
URBAN DALE, IA 50322
CONTACT: JOSH TRYGSTAD
EMAIL: JOSHT@CDA-ENG.COM
PH: (515) 369-4400

SURVEYOR

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DATE OF SURVEY

FIELDWORK: NOVEMBER, 2023

BENCHMARKS

WDM BM #119
STANDARD BENCHMARK, SOUTHEAST CORNER OF E.P. TRUE PARKWAY AND 81ST STREET, NORTHEAST CORNER OF THE SIDEWALK JUNCTION, 3 FEET EAST OF NORTH-SOUTH SIDEWALK, 3 FEET NORTH OF EAST-WEST SIDEWALK, 34 FEET SOUTH OF E. P. TRUE PKWY SOUTH BACK OF CURB.
ELEVATION = 210.03

WDM BM #120
STANDARD BENCHMARK, SOUTHEAST CORNER OF ASHWORTH ROAD AND 78TH PLACE, 2 FEET WEST OF NORTH END OF SIDEWALK AT HOUSE #991, 13 FEET EAST OF BACK OF CURB, 19 FEET NORTH OF NORTH EDGE OF DRIVEWAY AT JUNCTION OF SIDEWALK.
ELEVATION = 241.79

SUBMITTAL DATES

FIRST SUBMITTAL: 01/25/2024
SECOND SUBMITTAL: 04/22/2024
THIRD SUBMITTAL: 05/21/2024
FOURTH SUBMITTAL: 06/12/2024
FINAL SUBMITTAL: 06/25/2024

BULK REGULATIONS

AREA: 4.78 ACRES (208,328 SQUARE FEET)

SETBACKS
(ATTACHED DWELLINGS ON FOOTPRINT LOTS, 4 UNITS OR LESS)

INTERNAL (FROM DWELLING FOUNDATION):
- MINIMUM FOR ANY YARD = 7 FT
- MAXIMUM FOR ONE SIDE YARD OR THE REAR YARD = 15 FT
- MAXIMUM FOR ALL OTHER YARDS FOR FOOTPRINT LOTS = 10 FT

EXTERNAL:
- PERIMETER = 35 FT

MINIMUM SEPARATION BETWEEN PRINCIPAL BUILDINGS = 14 FT

SETBACKS
(ATTACHED DWELLINGS ON FOOTPRINT LOTS, MORE THAN 4 UNITS)

INTERNAL (FROM DWELLING FOUNDATION):
- MINIMUM FOR ANY YARD = 7 FT
- MAXIMUM FOR ONE SIDE YARD OR THE REAR YARD = 15 FT
- MAXIMUM FOR ALL OTHER YARDS FOR FOOTPRINT LOTS = 10 FT

EXTERNAL:
- FRONT YARD (FROM PERIMETER OF DEVELOPMENT) = 50 FT
- REAR/SIDE YARD (FROM PERIMETER OF DEVELOPMENT) = 35 FT

MINIMUM SEPARATION BETWEEN PRINCIPAL BUILDINGS = 20 FT

OPEN SPACE CALCULATION:
SITE AREA = 208,328 SF
OPEN SPACE REQUIRED = 52,082 SF (25%)
OPEN SPACE PROVIDED = 114,725 SF (55%)

IMPERVIOUS AREA: = 101,349 SF (49%)

UNITS:
38 UNITS (7.95 UNITS/ACRE) (8 MAX)

PARKING REQUIRED:
2 SPACES/UNIT = 76 SPACES
1 VISITOR SPACE/10 UNITS = 4 SPACES
TOTAL REQUIRED = 80 SPACES
TOTAL PROVIDED = 81 SPACES

CONSTRUCTION SCHEDULE

ANTICIPATED START DATE = JUNE 2024
ANTICIPATED FINISH DATE = JUNE 2025



UTILITY WARNING

ANY UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY AND RECORDS OBTAINED BY THIS SURVEYOR. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL THE UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION SHOWN.

CIVIL DESIGN ADVANTAGE
4121 NW URBAN DALE DRIVE, URBAN DALE, IA 50322
PH: (515) 369-4400
PROJECT NO. 2310.686
WEST DES MOINES PROJECT NO. PPSP-006320-2024

REFER TO GEOTECH ENGINEERING REPORT NO. 141355 DATED 02/27/2015 PREPARED BY ALLENDAR BUTZKE ENGINEERS INC. FOR GEOTECHNICAL REQUIREMENTS.

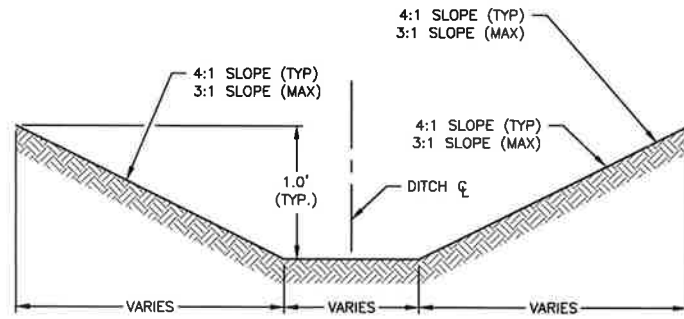
THE PROJECT REQUIRES AN IOWA NPDES PERMIT #2 AND CITY OF WEST DES MOINES GRADING PERMIT. CIVIL DESIGN ADVANTAGE WILL PROVIDE THE PERMITS AND THE INITIAL STORM WATER POLLUTION PREVENTION PLAN (SWPPP) FOR THE CONTRACTORS USE DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR UPDATING THE SWPPP THROUGHOUT CONSTRUCTION AND MEETING LOCAL, STATE AND FEDERAL REQUIREMENTS.

ALL CONSTRUCTION MATERIALS, DUMPSTERS, DETACHED TRAILERS OR SIMILAR ITEMS ARE PROHIBITED ON PUBLIC STREETS OR WITHIN THE PUBLIC R.O.W.

THE 2024 EDITION OF THE SUDAS STANDARD SPECIFICATIONS, THE PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG) AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.

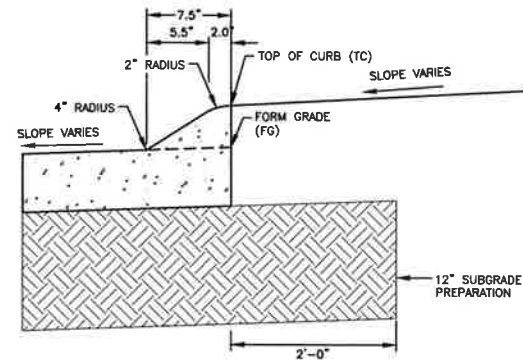
I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

Joshua A. Trygstad 6/25/2024 DATE
JOSHUA A. TRYGSTAD, P.E.
LICENSE NUMBER 19228
MY LICENSE RENEWAL DATE IS DECEMBER 31, 2024
PAGES OR SHEETS COVERED BY THIS SEAL:
SHEETS 1.0 - 7.1

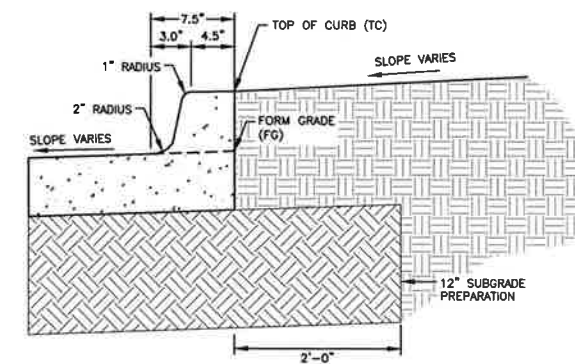


NOTES:
 1. REFER TO SWPPP FOR EROSION CONTROLS AND STABILIZATION PRIOR TO SEEDING.
 2. SEED WITH TYPE 4 MIX (SUDAS).

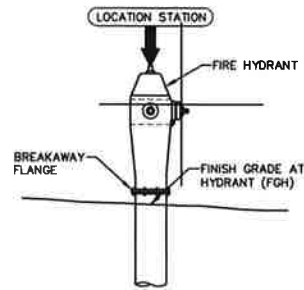
TYPICAL SWALE DETAIL
 NOT TO SCALE



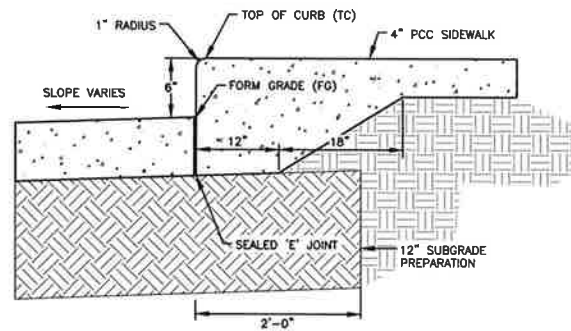
3" ROLLED CURB DETAIL
 NOT TO SCALE



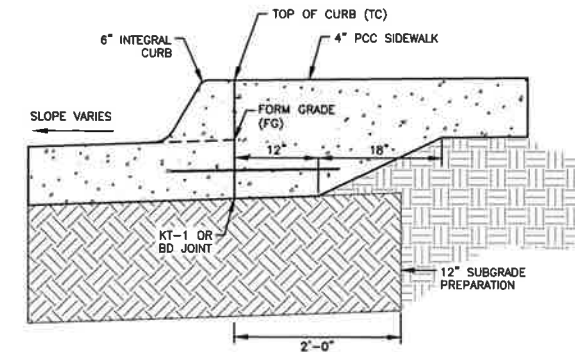
6" INTEGRAL CURB DETAIL
 NOT TO SCALE



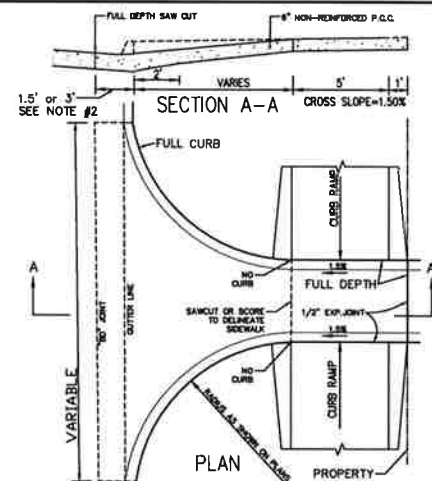
HYDRANT ASSEMBLY SPOT ELEVATION REFERENCE DETAIL
 NOT TO SCALE



CLASS 'A' INTEGRAL CURB AND SIDEWALK DETAIL
 NOT TO SCALE



6" INTEGRAL CURB AND SIDEWALK DETAIL
 NOT TO SCALE



NOTES:
 1. BEFORE THE CONCRETE IS PLACED, THE SAW CUT JOINTS SHALL BE COMPLETELY CLEANED OF ALL LOOSE CONCRETE OR FOREIGN MATERIAL.
 2. SAW CUT AND REMOVE EXISTING CONCRETE PAVEMENT A MINIMUM OF 3" FROM EXISTING JOINT IS 3" FROM BACK OF CURB.
 3. SAW CUT PAVEMENT JOINTS IN GENERAL CONFORMANCE WITH PORTLAND CEMENT CONCRETE INTERSECTION DETAILS.

WEST DES MOINES APPROACH DETAIL
 NOT TO SCALE

REVISIONS	DATE
FINAL SUBMITTAL	06/25/2024
FOURTH SUBMITTAL	06/12/2024
THIRD SUBMITTAL	05/21/2024
SECOND SUBMITTAL	04/22/2024
FIRST SUBMITTAL	01/25/2024

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 PHONE: (515) 369-4400



WEST DES MOINES, IOWA

PRIME 39

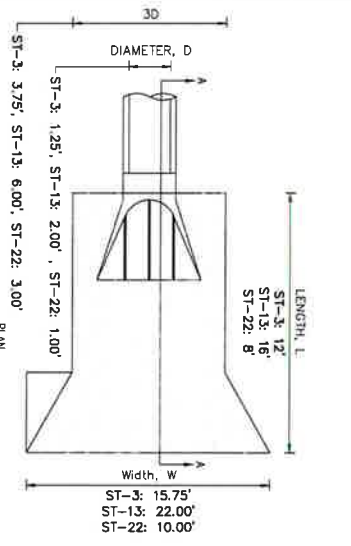
TYPICAL SECTIONS AND DETAILS

ENGINEER: JAT

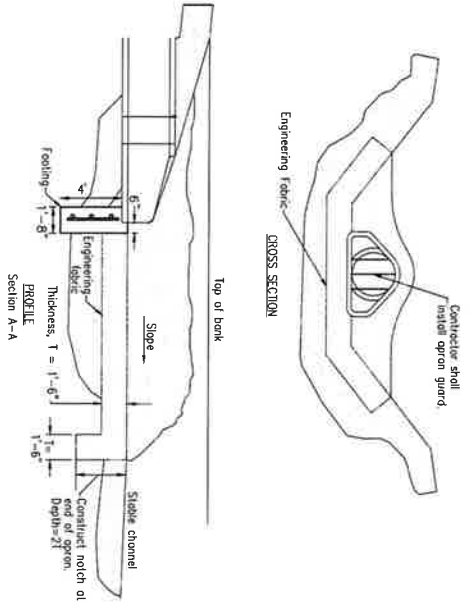
TECH:

2.0

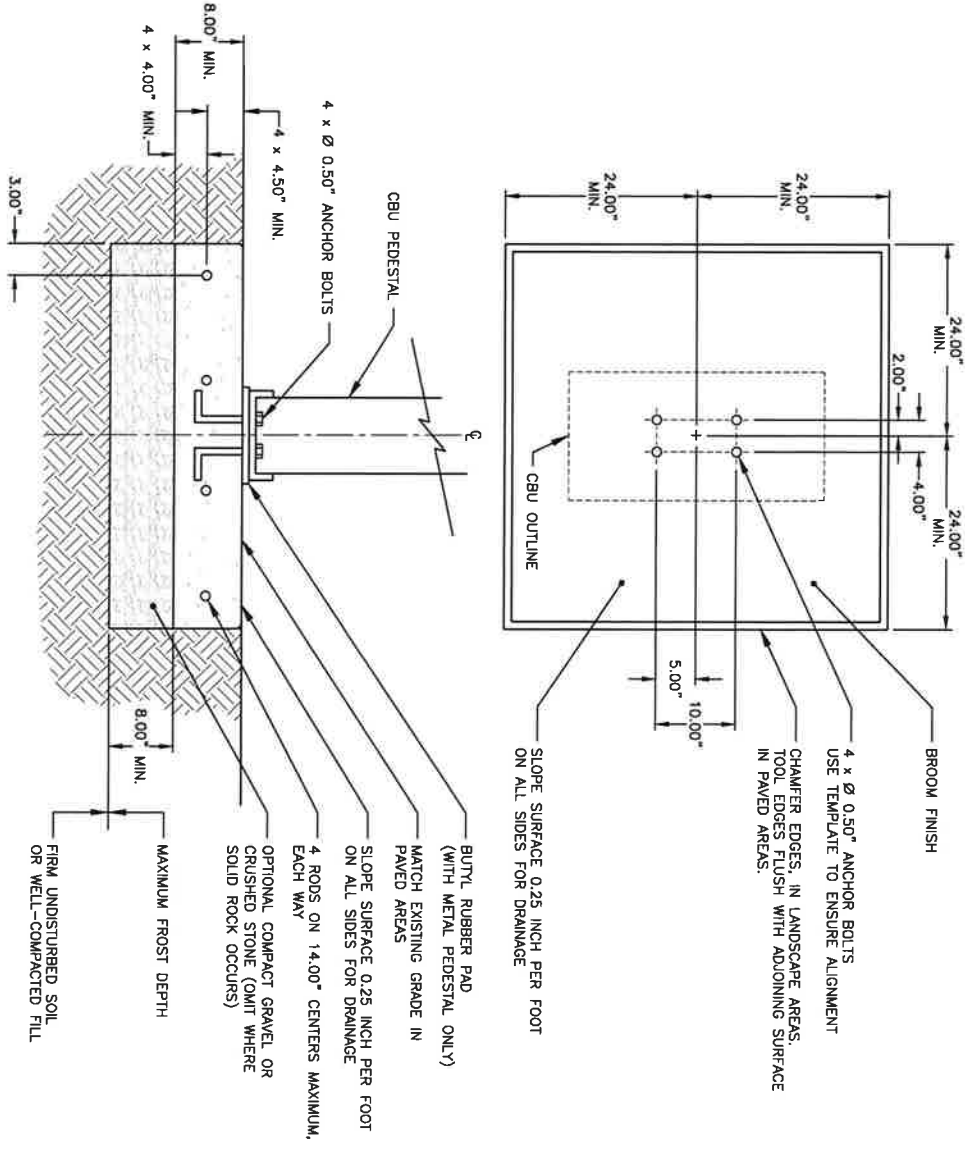
2310.686



NOTE:
 1. LAST THREE SECTIONS AND THE APRON SHALL BE CONNECTED WITH PER CONNECTIONS PER SECTION 4030.300C OF SDAS.
 2. INSTALL A 3" CLAY WATERSTOP AT ALL STORM SEWER OUTLETS.

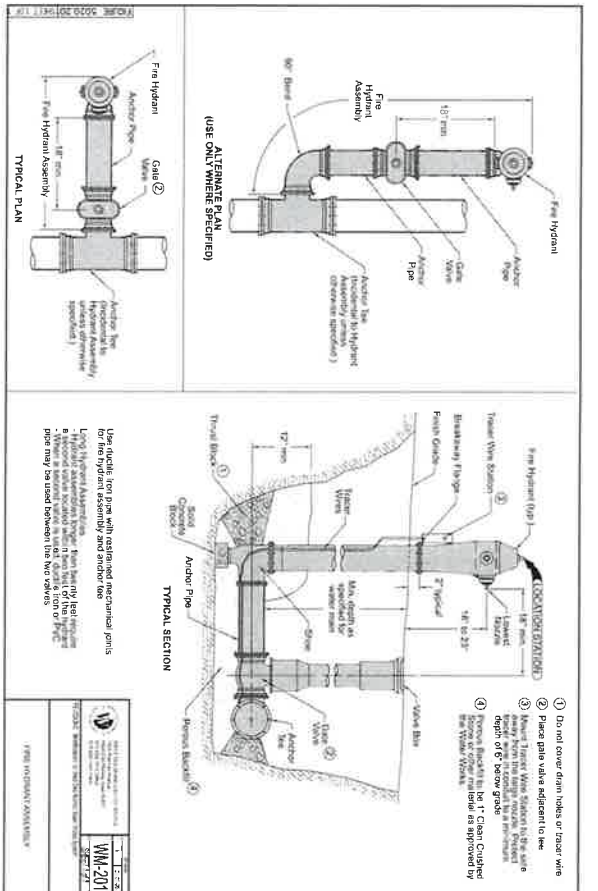


ROCK APRON FOR PIPE OUTLET DETAIL
 NOT TO SCALE

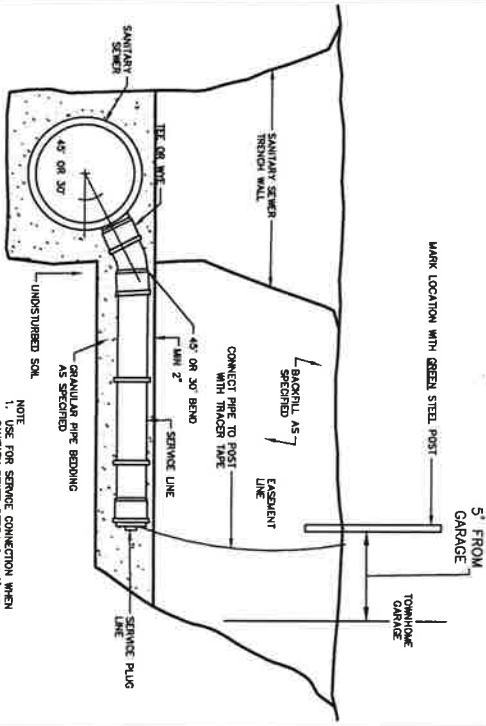


NOTES:
 1. CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS CONTAIN 4% MIN. - 6% MAX. AIR ENTRAINMENT AND BE PLACED WITH 1.50" SLUMP IN ACCORDANCE WITH ACI 301.
 2. REINFORCING STEEL RODS SHALL CONFORM TO ASTM A615, GRADE 60.
 3. ANCHOR BOLTS SHALL CONFORM TO ASTM A193, GRADE B8M, TYPE 316 STAINLESS STEEL.

MALBOX CLUSTER PAD DETAIL
 NOT TO SCALE



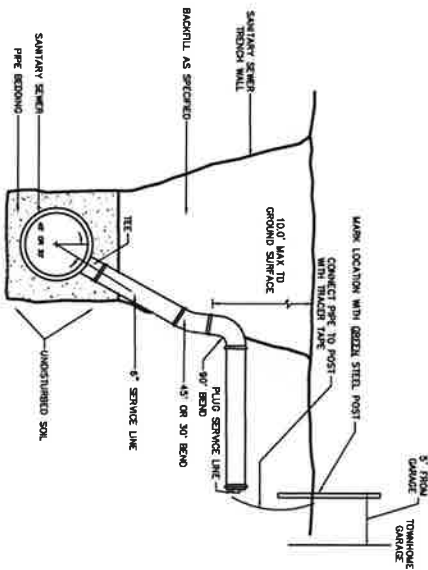
HYDRANT ASSEMBLY DETAIL
 NOT TO SCALE



SANITARY SEWER SERVICE DETAIL
 NOT TO SCALE

CITY OF WEST DES MOINES DETAIL 4.5

NOTE:
 1. USE FOR SERVICE CONNECTION WHEN SANITARY SEWER DEPTH IS 12.0' OR LESS UNLESS OTHERWISE NOTED TO SERVICE ADJACENT PROPERTY.



SANITARY SEWER SERVICE RISER DETAIL
 NOT TO SCALE

CITY OF WEST DES MOINES DETAIL 4.6

NOTE:
 1. USE FOR SERVICE CONNECTION WHEN SANITARY SEWER DEPTH IS 12.0' OR LESS UNLESS OTHERWISE NOTED TO SERVICE ADJACENT PROPERTY.

REVISIONS	DATE
FIRST SUBMITTAL	01/25/2024
SECOND SUBMITTAL	04/22/2024
THIRD SUBMITTAL	05/21/2024
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FINAL SUBMITTAL	06/25/2024

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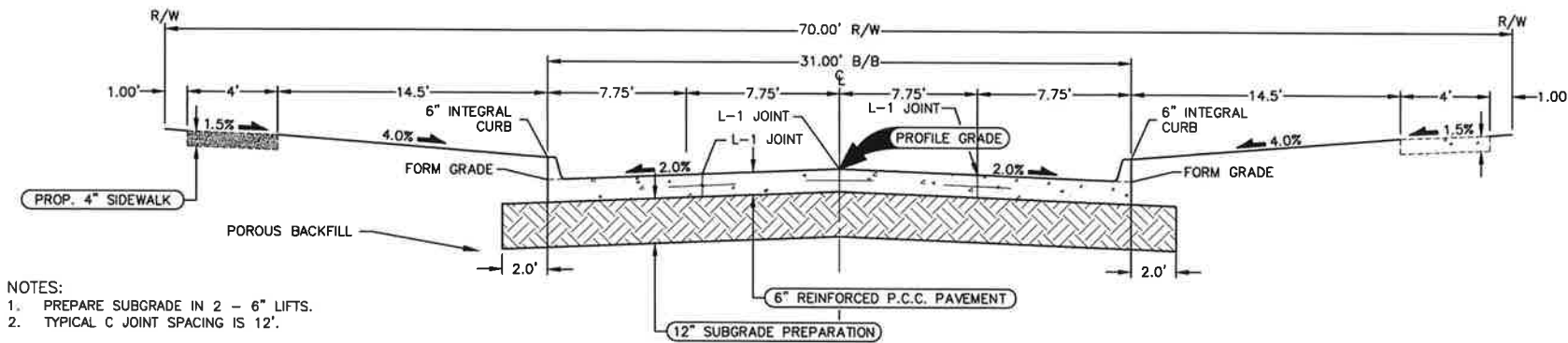


ENGINEER: JAT

TECH:

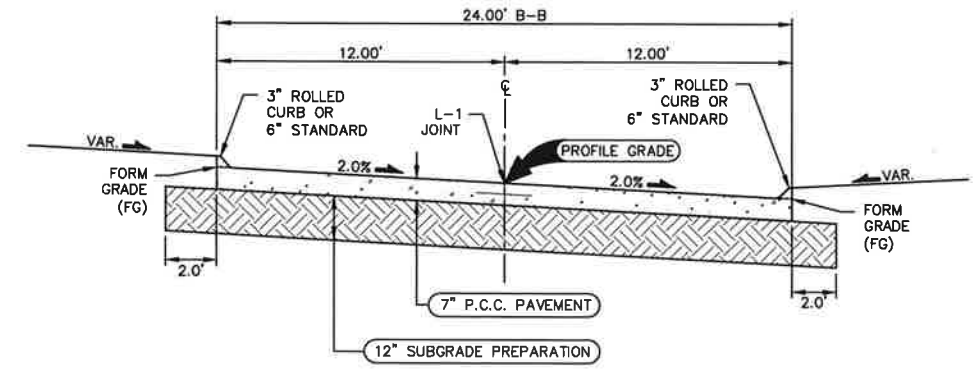
PRIME 39
 TYPICAL SECTIONS AND DETAILS

WEST DES MOINES, IOWA



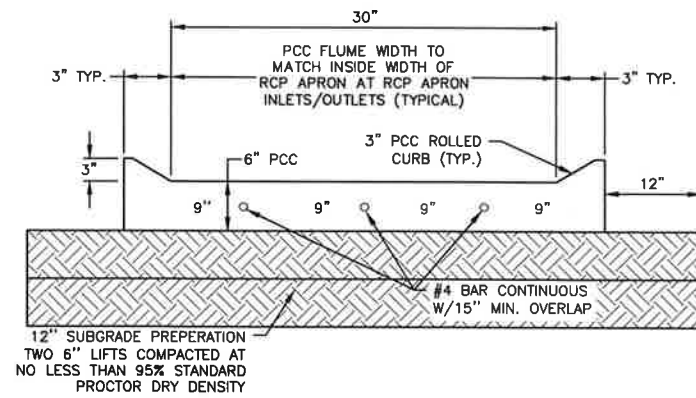
- NOTES:
1. PREPARE SUBGRADE IN 2 - 6" LIFTS.
 2. TYPICAL C JOINT SPACING IS 12'.

TYPICAL SECTION - 31' B/B P.C.C. ROADWAY WITH 70' R.O.W.
NOT TO SCALE 76TH STREET

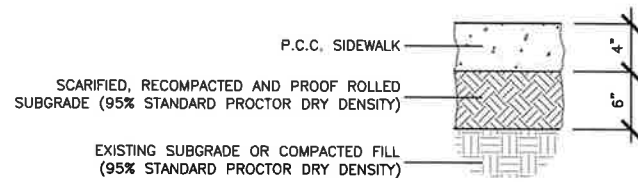


- NOTES:
1. 12" SUBGRADE PREPARATION TO BE PREPARED IN 2 - 6" LIFTS.
 2. REFER TO PLAN FOR LOCATIONS OF 4" ROLLED CURB.
 3. REFER TO DIMENSION PLAN FOR LOCATIONS OF TYPICAL SECTION.

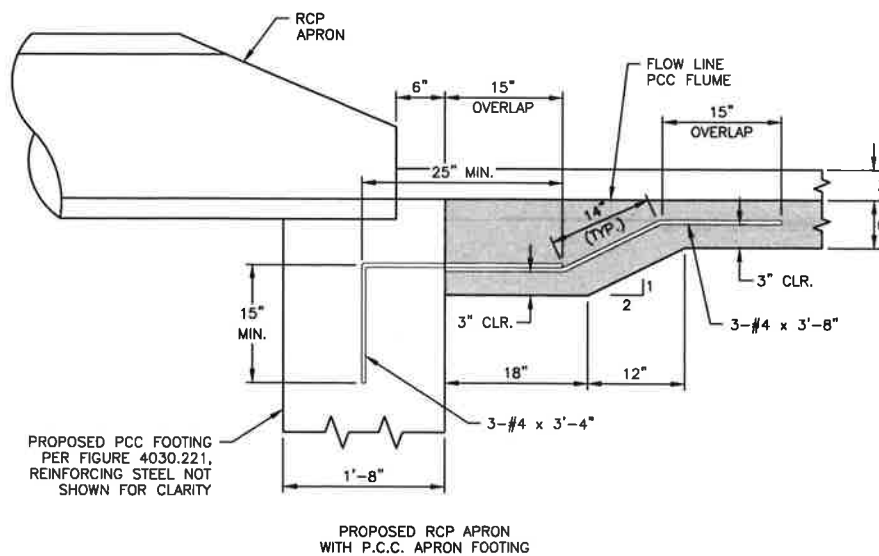
TYPICAL SECTION - 24' P.C.C. PRIVATE ROADWAY
NOT TO SCALE



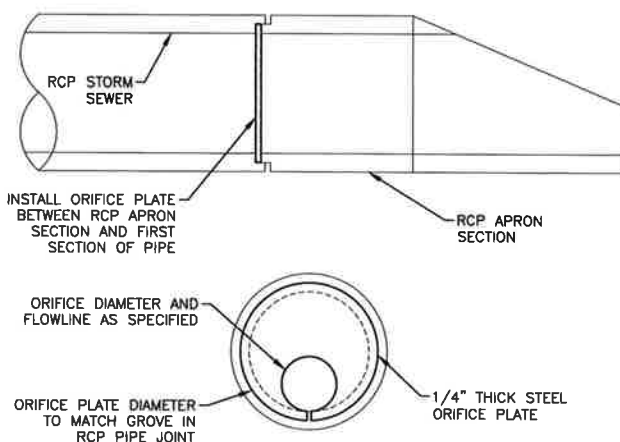
TYPICAL CROSS SECTION



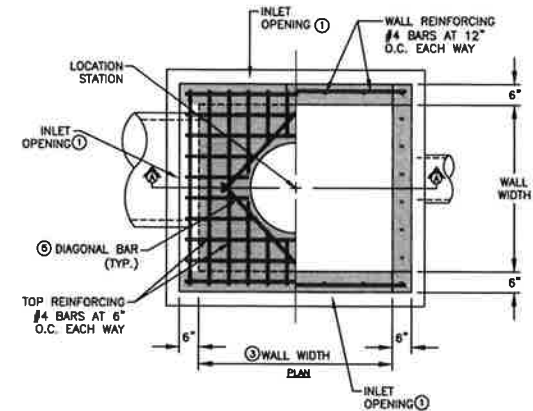
P.C.C. SIDEWALK DETAIL
NOT TO SCALE



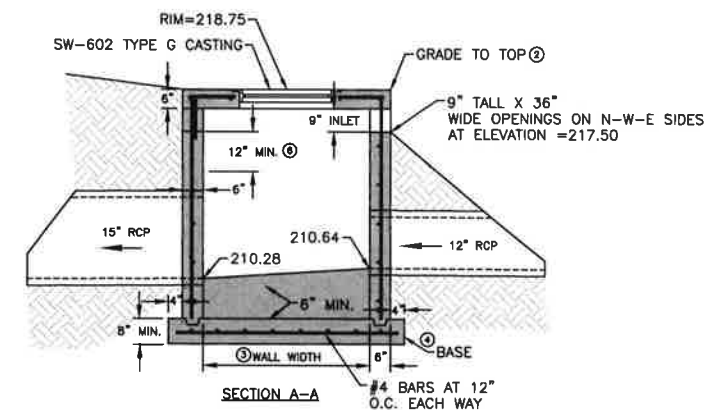
P.C.C. FLUME
NOT TO SCALE



ORIFICE PLATE DETAIL
NOT TO SCALE



- STRUCTURE MAY BE BUILT WITH OPENINGS ON ANY OR ALL SIDES. PROVIDE OPENINGS AND ORIENTATION AS SPECIFIED IN THE CONTRACT DOCUMENTS.
- ADJACENT WALLS MAY HAVE DIFFERENT WIDTHS BASED UPON PIPE CONFIGURATION, BUT STRUCTURE MUST BE RECTANGULAR.
1. CONSTRUCT INLET OPENINGS WITH 15-INCH #4 EPOXY-COATED BARS AT 8 INCHES ON CENTER. EMBED BARS A MINIMUM OF 3 INCHES INTO WALLS AND TOP AT ALL OPENINGS. CONSTRUCT 2 INLET OPENING 9" TALL AND 36" WIDE.
 2. GRADE TO INLET ELEVATION ON OPEN SIDES. GRADE TO TOP ELEVATION ON CLOSED SIDES.
 3. WALL WIDTHS VARY WITH PIPE DIA. PROVIDE 8 INCHES OF WALL WIDTH (MINIMUM) EACH SIDE OF PIPE OPENING. MINIMUM WALL WIDTH IS 36 INCHES. MAXIMUM WALL WIDTH IS 72 INCHES.
 4. CAST-IN-PLACE BASE SHOWN IF BASE IS PRECAST INTERNAL WITH WALLS. THE FOOTPRINT OF BASE IS NOT REQUIRED TO EXTEND BEYOND THE OUTER EDGE OF THE WALLS.
 5. INSTALL FOUR #4 DIAGONAL BARS AT ALL PIPE OPENINGS.
 6. 12" MINIMUM WALL HEIGHT ABOVE ALL PIPES.
 7. CORNER REIN REQUIRED BETWEEN OPENINGS OF TWO ADJACENT WALLS. EXTEND WALL REINFORCING VERTICALLY THROUGH PER. INSTALL ONE ADDITIONAL 15-INCH #4 BAR IN PER.



OUTLET STRUCTURE - 4' x 4' SW-513 INTAKE DETAIL (ST-1)
NOT TO SCALE

FILE: \\NORTH-SOUTH\BIBL\PROJECTS\18\18-0000\DWG\18-0000-0001.DWG
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 CHECKED BY: BRADON HANSEN

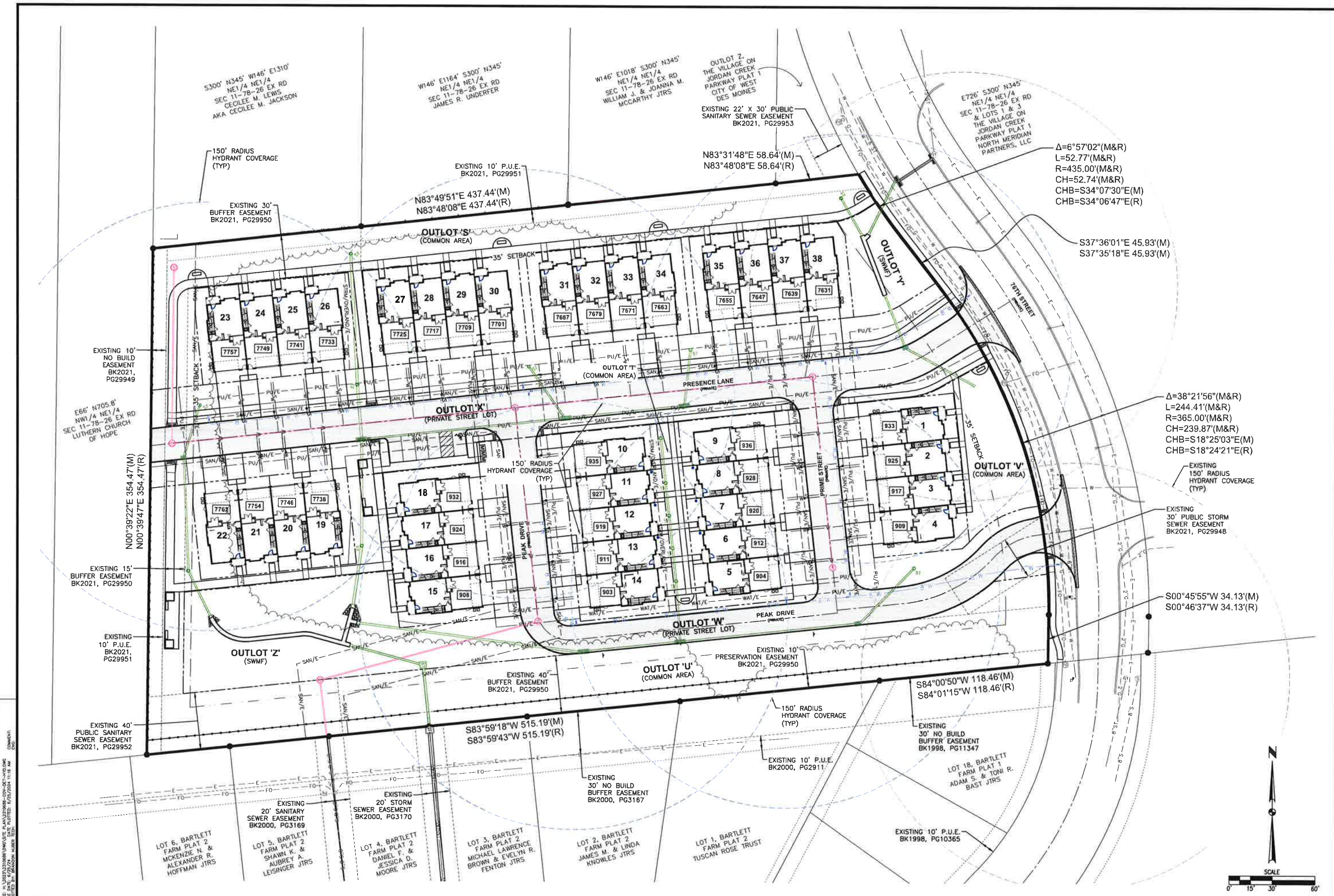
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FINAL SUBMITTAL	06/25/2024
FOURTH SUBMITTAL	06/12/2024
THIRD SUBMITTAL	05/21/2024
SECOND SUBMITTAL	04/22/2024
FIRST SUBMITTAL	01/25/2024

4121 NW URBANDALE DRIVE
URBANDALE, IOWA 50322
PHONE: (515) 369-4400



WEST DES MOINES, IOWA
CIVIL DESIGN ADVANTAGE
ENGINEER: JAT

PRIME 39
TYPICAL SECTIONS AND DETAILS



FILE # 2310.686 UNRESERVED PLAN 2310.686-000-001-HYDRANT
 PLOTTED BY: BRADON HUBER, TECH. DATE: 7/25/2024

REVISIONS	
DATE	DESCRIPTION
06/25/2024	FINAL SUBMITTAL
05/12/2024	FOURTH SUBMITTAL
05/02/2024	THIRD SUBMITTAL
04/22/2024	SECOND SUBMITTAL
01/25/2024	FIRST SUBMITTAL

4121 NW URBANDALE DRIVE
 URBANDALE, IOWA 50322
 PHONE: (515) 369-4400
 ENGINEER: JAT
 TECH:



PRIME 39
OVERALL LAYOUT AND HYDRANT COVERAGE PLAN
 WEST DES MOINES, IOWA





S300' N345' W146' E1310'
 NE1/4 NE1/4 RD
 SEC 11-78-26 EX RD
 GEORGE M. LEWIS
 AKA GEORGE M. JACKSON

W146' E164' S300' N345'
 NE1/4 NE1/4 RD
 SEC 11-78-26 EX RD
 JAMES R. UNDERER

W146' E1018' S300' N345'
 NE1/4 NE1/4 RD
 SEC 11-78-26 EX RD
 WILLIAM J. JOHANN W.
 MCCARTHY JRS

QUILT OF 7 ON
 THE VILLAGE CREEK
 JOHANNY PEET
 PARKWAY WEST
 CITY OF WEST
 DES MOINES

E726' S300' N345'
 NE1/4 NE1/4 RD
 SEC 11-78-26 EX RD
 & LOTS 1 & 2 ON
 THE VILLAGE CREEK
 JOHANNY PEET
 PARKWAY WEST
 NORTH MEDIAN
 PARTNERS, LLC

E66' N705.8'
 NW1/4 NE1/4
 SEC 11-78-26 CHURCH
 OF LUTHERAN HOPE

LOT 6, BARLETT
 FARM PLAT 2
 MCKENZIE N. &
 ALEXANDER R.
 ALEXANDER JRS
 HOFFMAN JRS

LOT 5, BARLETT
 FARM PLAT 2
 SHANNON K. &
 AUBREY A.
 LEISINGER JRS

LOT 4, BARLETT
 FARM PLAT 2
 DANIELA D. &
 JESSICA D.
 MOORE JRS

LOT 3, BARLETT
 FARM PLAT 2
 PAUL LAWRENCE
 MICHAEL & KEVIN R.
 FENYON JRS

LOT 2, BARLETT
 FARM PLAT 2
 JAMES W. & JRS
 KNOWLES

LOT 1, BARLETT
 FARM PLAT 2
 TUSCAN ROSE TRUST

LOT 18, BARLETT
 FARM PLAT 1
 ADAM S. & TRIN R.
 BASTI JRS

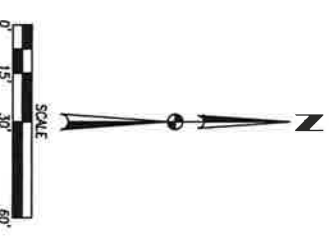
PHASING LEGEND

PHASE 1: ALL UTILITIES AND STREET IMPROVEMENTS (BOTH PRIVATE AND PUBLIC), ALONG WITH ALL PARKING IMPROVEMENTS AND MAILBOX PADS WILL BE COMPLETED PRIOR TO ANY BUILDING CONSTRUCTION.

PHASE 2: BUILDINGS 1-3 WILL BE COMPLETED ALONG WITH ADJACENT TRAIL IMPROVEMENTS, BUFFER PLANTINGS, SIDEWALKS, TRAILS, DRIVEWAYS AND ANY RECREATIONAL AREAS.

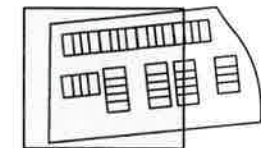
PHASE 3: BUILDINGS 4-6 WILL BE COMPLETED ALONG WITH ADJACENT TRAIL IMPROVEMENTS, BUFFER PLANTINGS, SIDEWALKS, TRAILS, DRIVEWAYS AND ANY RECREATIONAL AREAS.

PHASE 4: BUILDINGS 7-9 WILL BE COMPLETED ALONG WITH ADJACENT TRAIL IMPROVEMENTS, BUFFER PLANTINGS, SIDEWALKS, TRAILS, DRIVEWAYS AND ANY RECREATIONAL AREAS.



REVISIONS	DATE
FIRST SUBMITTAL	01/25/2024
SECOND SUBMITTAL	04/22/2024
THIRD SUBMITTAL	05/21/2024
FOURTH SUBMITTAL	06/12/2024
FINAL SUBMITTAL	06/25/2024

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GENERAL NOTES

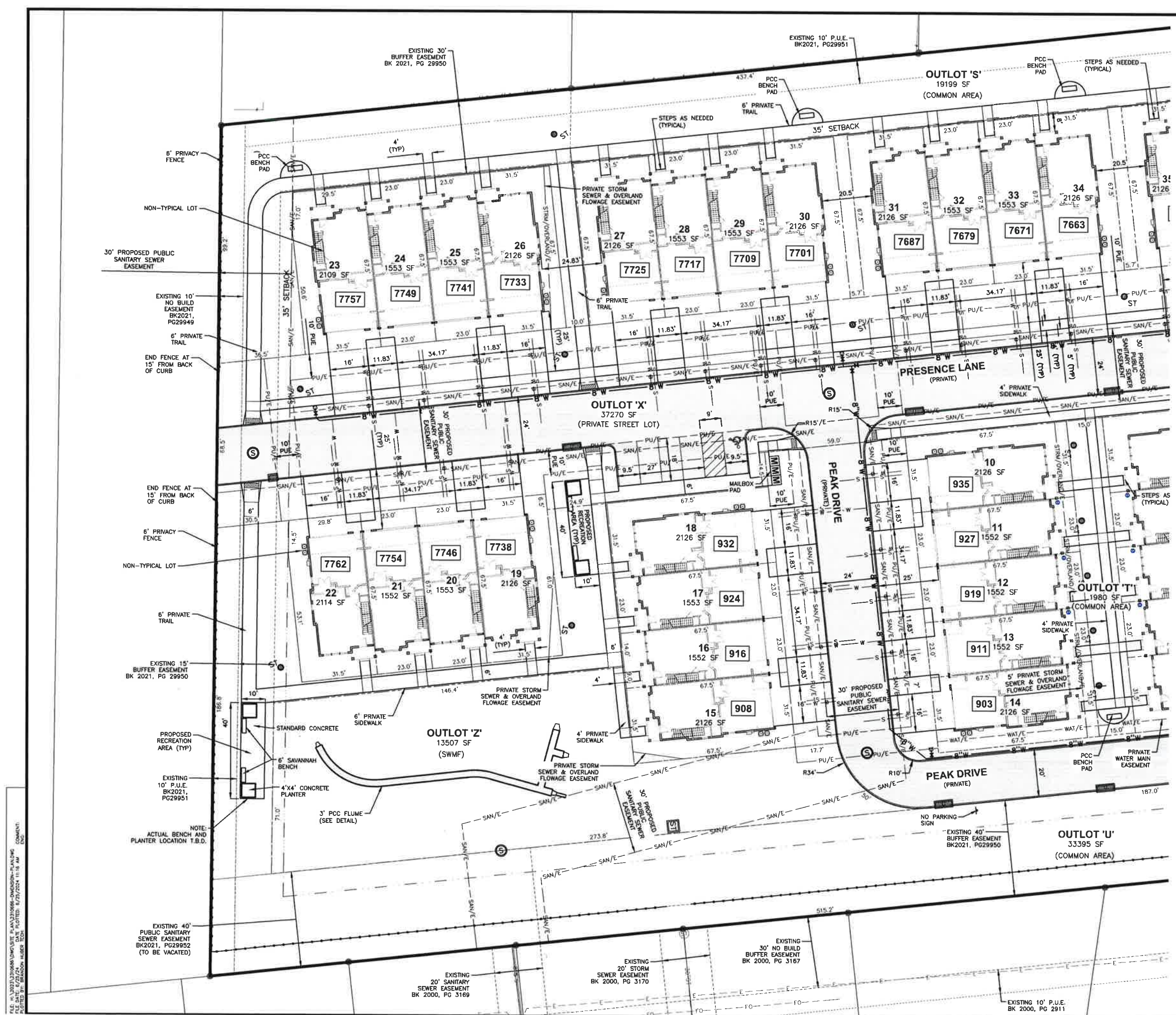
1. THE MOST RECENT EDITION OF THE WEST DES MOINES STANDARDS FOR SUBDIVISIONS AND THE WEST DES MOINES WATER WORKS STANDARD SPECIFICATIONS FOR SUBDIVISIONS SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.
2. ALL WORK SHALL COMPLY WITH ADA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES.
3. ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS. NOTHING INDICATED ON THE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
4. PRIOR TO ANY WORK AT THE SITE, CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER, ENGINEER, AND/OR ARCHITECT, AND CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANY REPRESENTATIVES. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
5. AT LEAST ONE WEEK PRIOR TO ANY CONSTRUCTION WITHIN PUBLIC R.O.W./EASEMENTS AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, THE CONTRACTOR SHALL CONTACT ENGINEERING SERVICES (222-3475) TO OBTAIN APPLICABLE CITY PERMITS THAT MAY BE NECESSARY.
6. ALL CONSTRUCTION WITHIN PUBLIC R.O.W./EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH THE WEST DES MOINES STANDARD CONSTRUCTION SPECIFICATIONS FOR SUBDIVISIONS, DSM METRO DESIGN STANDARDS AND WDM ADDENDUMS.
7. ALL DIMENSIONS ARE TO BACK OF CURB, BUILDING FACE OR PROPERTY LINE UNLESS OTHERWISE NOTED.
8. CONTRACTOR TO VERIFY BUILDING DIMENSIONS WITH ARCHITECTURAL PLANS.
9. PLACE 1 INCH EXPANSION JOINT BETWEEN ALL P.C.C. PAVEMENT/SIDEWALKS AND BUILDING. PLACE 1/2 INCH EXPANSION JOINT BETWEEN SIDEWALKS AND P.C.C. PAVEMENT.
10. REMOVE ALL DEBRIS SPILLED INTO R.O.W. AT THE END OF EACH WORK DAY.
11. ALL PROPOSED GRADING SHALL BE PROTECTED FROM GRADING OR OTHER OPERATIONS. ANY PINS DISTURBED SHALL BE RESET AT THE CONTRACTOR'S EXPENSE.
12. DO NOT STORE CONSTRUCTION MATERIALS AND EQUIPMENT IN THE RIGHT OF WAY.
13. THE CONTRACTOR SHALL NOT DISTURB DESIRABLE GRASS AREAS AND DESIRABLE TREES OUTSIDE THE CONSTRUCTION LIMITS. THE CONTRACTOR WILL NOT BE PERMITTED TO PARK OR SERVICE VEHICLES AND EQUIPMENT OR USE THESE AREAS FOR STORAGE OF MATERIALS, STORAGE, PARKING AND SERVICE AREAS WILL BE SUBJECT TO THE APPROVAL OF THE OWNER.
14. THE CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY AREAS OF PAVEMENT OR SIDEWALK NOT TO BE REMOVED THAT IS DAMAGED DUE TO OPERATING EQUIPMENT ON THE PAVEMENT OR SIDEWALK.
15. THE CONTRACTOR MAY BE REQUIRED TO PLACE TEMPORARY WARNING DEVICES AND SAFETY FENCE AT CERTAIN LOCATIONS WHERE REPLACEMENT FEATURES ARE NOT INSTALLED THE SAME DAY, AS DIRECTED BY THE ENGINEER OR THE CITY.
16. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK BETWEEN SUPPLIERS AND SUBCONTRACTORS INVOLVED IN THE PROJECT, INCLUDING STAGING OF CONSTRUCTION DETAILS.
17. ALL PERMITS AND ADDITIONAL FEES REQUIRED TO COMPLETE THE WORK SHALL BE INCLUDED IN THE CONTRACTOR BID.
18. THE MONUMENT SIGNS SHOWN ARE FOR ILLUSTRATIVE PURPOSES ONLY. SIGNS ARE NOT APPROVED AS PART OF THE SITE PLAN REVIEW.
19. INDIVIDUAL GARAGE TOTES ARE TO BE USED AND STORED IN GARAGE.
20. IF ADDITIONAL PAVEMENT REMOVAL IS REQUIRED OTHER THAN A STANDARD BOX OUT, FULL PANEL REMOVAL WILL BE REQUIRED. NO HALF PANEL REMOVAL WILL BE ALLOWED.

TRAFFIC CONTROL NOTES

1. ALL APPLICABLE CITY PERMITS, INCLUDING BUT NOT LIMITED TO CLOSURE PERMITS, SHALL BE OBTAINED PRIOR TO ANY CONSTRUCTION WITHIN CITY R.O.W. OR LANE CLOSURES.
2. ALL TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
3. PERMANENT SIGNING THAT CONVEYS A MESSAGE CONTRARY TO THE MESSAGE OF TEMPORARY SIGNING AND NOT APPLICABLE TO THE WORKING CONDITIONS SHALL BE COVERED BY THE CONTRACTOR WHEN DIRECTED BY THE CITY.
4. THE CONTRACTOR SHALL COORDINATE HIS TRAFFIC CONTROL WITH OTHER CONSTRUCTION PROJECTS IN THE AREA.
5. SIDEWALK / PATH CLOSED SIGNS REQUIRED FOR ALL SIDEWALK CLOSURES. SIGNAGE AND TEMPORARY PEDESTRIAN ROUTE THROUGH CONSTRUCTION AREA SHALL MEET THE REQUIREMENTS OF PUBLIC RIGHT-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG), SECTION R205 AND IOWA DOT DESIGN MANUAL, CHAPTER 12A-4.
6. THE CONTRACTOR IS CAUTIONED NEITHER TO OBSTRUCT NOR REMOVE ANY EXISTING PAVEMENT, NOR TO DISTURB THE EXISTING TRAFFIC PATTERNS MORE THAN IS NECESSARY FOR THE PROPER EXECUTION OF THE WORK.
7. ALL SIGNING, STRIPING AND OTHER TRAFFIC CONTROL DEVICES ON THE DRIVEWAY APPROACHES TO THE PUBLIC STREETS SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) FEDERAL HIGHWAY ADMINISTRATION 2009 EDITION).
8. COORDINATE STAGING AND TRAFFIC CONTROL WITH WDM EMERGENCY SERVICES.
9. LANE CLOSURE NOTICES MUST BE SUBMITTED TO WEST DES MOINES PUBLIC SERVICES FOR APPROVAL A MINIMUM OF 48 HOURS IN ADVANCE OF CLOSURE.

PAVEMENT THICKNESS (NON-REINFORCED)

- | | |
|-----------------------|-----------|
| 1. SIDEWALKS | 4" P.C.C. |
| 2. SIDEWALK RAMPS | 6" P.C.C. |
| 3. PRIVATE STREETS | 6" P.C.C. |
| 4. PARKING SPACES | 6" P.C.C. |
| 5. DRIVEWAYS IN R.O.W | 8" P.C.C. |



DATE	06/25/2024	REVISIONS	
	08/12/2024	FINAL SUBMITTAL	
	05/27/2024	FOURTH SUBMITTAL	
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	01/25/2024	SECOND SUBMITTAL	
		FIRST SUBMITTAL	

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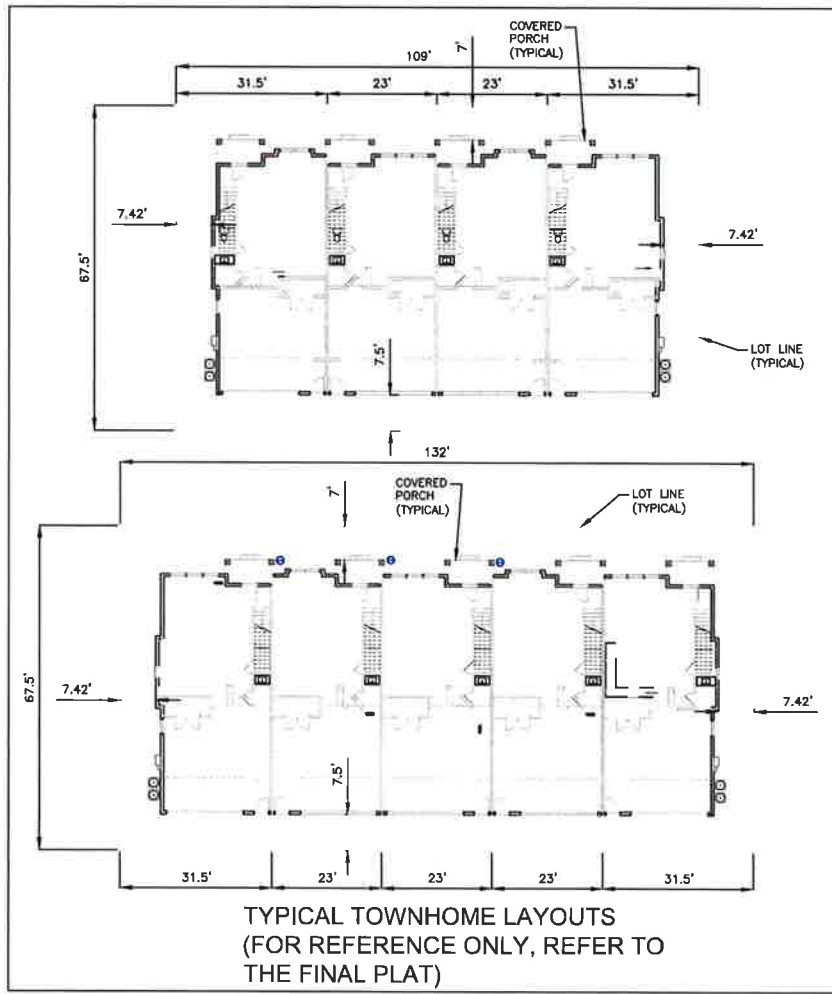
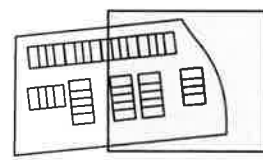
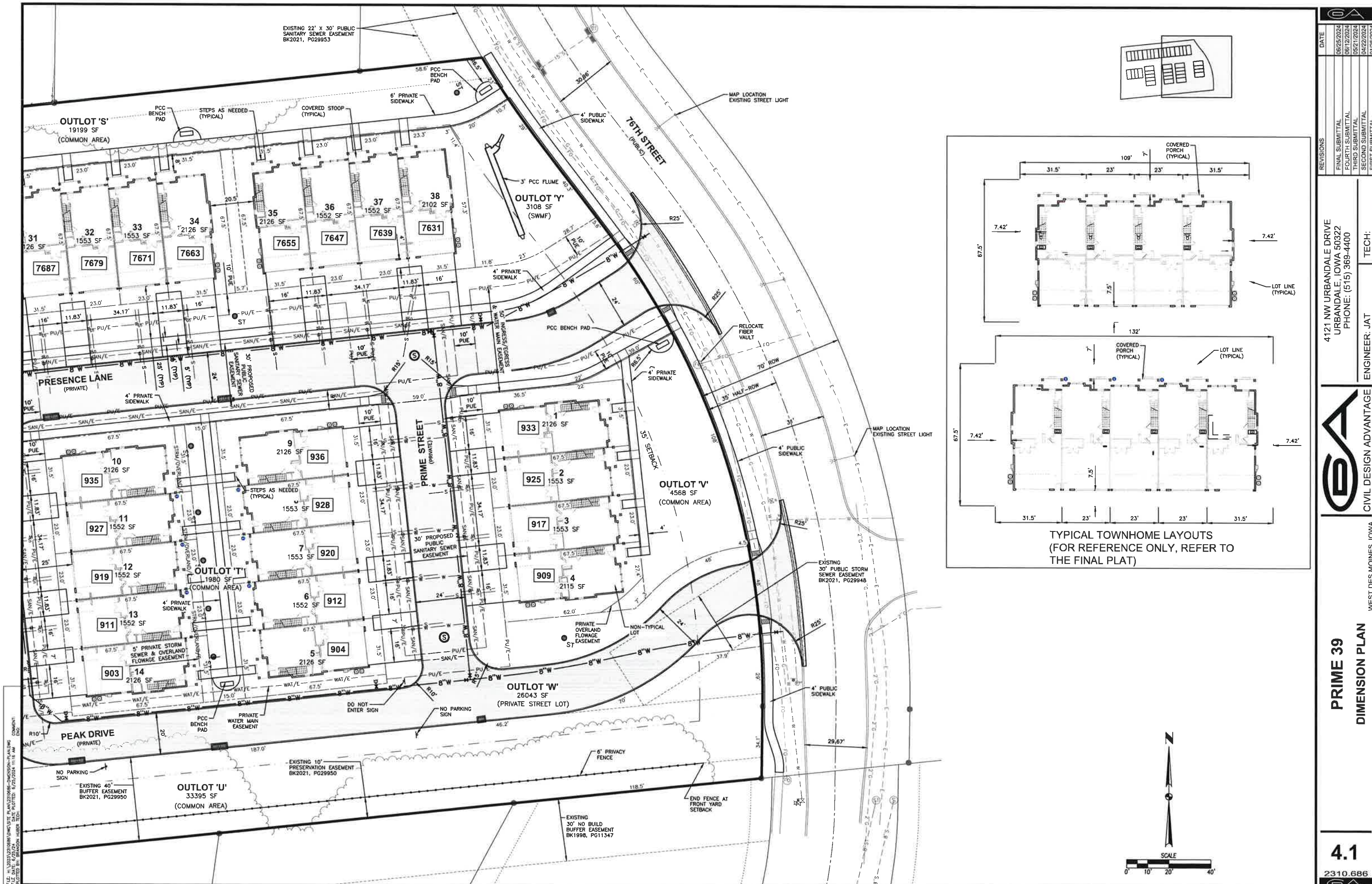
TECH: JAT
ENGINEER: JAT

WEST DES MOINES, IOWA

PRIME 39
DIMENSION PLAN

2310.686

4.0



REVISIONS	
DATE	01/25/2024
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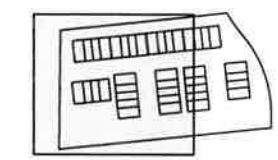
4121 NW URBANDALE DRIVE URBANDALE, IOWA 50322 PHONE: (515) 369-4400	TECH:
CIVIL DESIGN ADVANTAGE	ENGINEER: JAT

PRIME 39	WEST DES MOINES, IOWA
DIMENSION PLAN	

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SHEET INDEX



GRADING NOTES

1. CONTRACTOR SHALL STRIP ALL DELETERIOUS MATERIAL THE TOP 6" OF TOPSOIL TO BE STOCKPILED AND RESPREAD AFTER GRADING IS COMPLETE. CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING A SUITABLE TOPSOIL STOCKPILE SITE.
2. MATCH EXISTING GRADES AT PROPERTY LINES AND/OR CONSTRUCTION LIMITS.
3. ALL SPOT ELEVATIONS ARE FORM GRADE (FG) OR TOP-OF-CURB (TC) UNLESS OTHERWISE NOTED.
4. SITE SHALL BE GRADED TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS.
5. ALL SIDEWALK CROSS SLOPES SHALL BE A MAXIMUM OF 2.00% SLOPES IN PAVEMENT SHALL BE UNIFORM TO AVOID PONDING.
6. THE CONTRACTOR SHALL CONFINE HIS GRADING OPERATIONS TO WITHIN THE CONSTRUCTION LIMITS AND EASEMENTS SHOWN ON THE PLANS. ANY DAMAGE TO PROPERTIES OUTSIDE THE SITE BOUNDARY SHALL BE AT THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
7. THE CONTRACTOR SHALL APPLY NECESSARY MOISTURE CONTROL TO THE CONSTRUCTION AREA AND HAUL ROADS TO PREVENT THE SPREAD OF DUST.
8. REFER TO SEPARATE STORM WATER POLLUTION PREVENTION PLAN FOR DETAILS ON EROSION CONTROL.
9. FINAL FINISH GRADING TO BE APPROVED BY THE ARCHITECT AND CIVIL ENGINEER. MATCH EXISTING GRADES AT THE INTERFACE OF NEW AND EXISTING GRADES OR PAVING.
10. SIDEWALKS: MAINTAIN A 5.0% MAXIMUM LONGITUDINAL SLOPES ON ALL PAVED WALKWAYS. ALL WALKS TO HAVE 1.5% TRANSVERSE SLOPE IN THE DIRECTION OF NATURAL DRAINAGE. SAW CUT JOINTS AS SOON AS CONCRETE HAS SET. SAW CUTS TO BE 1/8" TO 1/4" WIDE; DEPTH: LONGITUDINAL 1/3, TRANSVERSE 1/4.

DISTURBED AREA = 4.80 ACRES

SCALE
0 10 20 40

N

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PLOT BY: BRANDON HUBER TECH

DATE: 06/25/2024
FINAL SUBMITTAL: 06/12/2024
FOURTH SUBMITTAL: 05/21/2024
THIRD SUBMITTAL: 04/22/2024
SECOND SUBMITTAL: 01/25/2024
FIRST SUBMITTAL: 01/25/2024

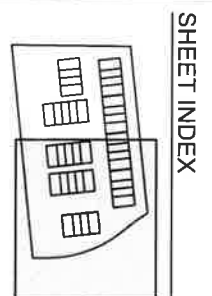
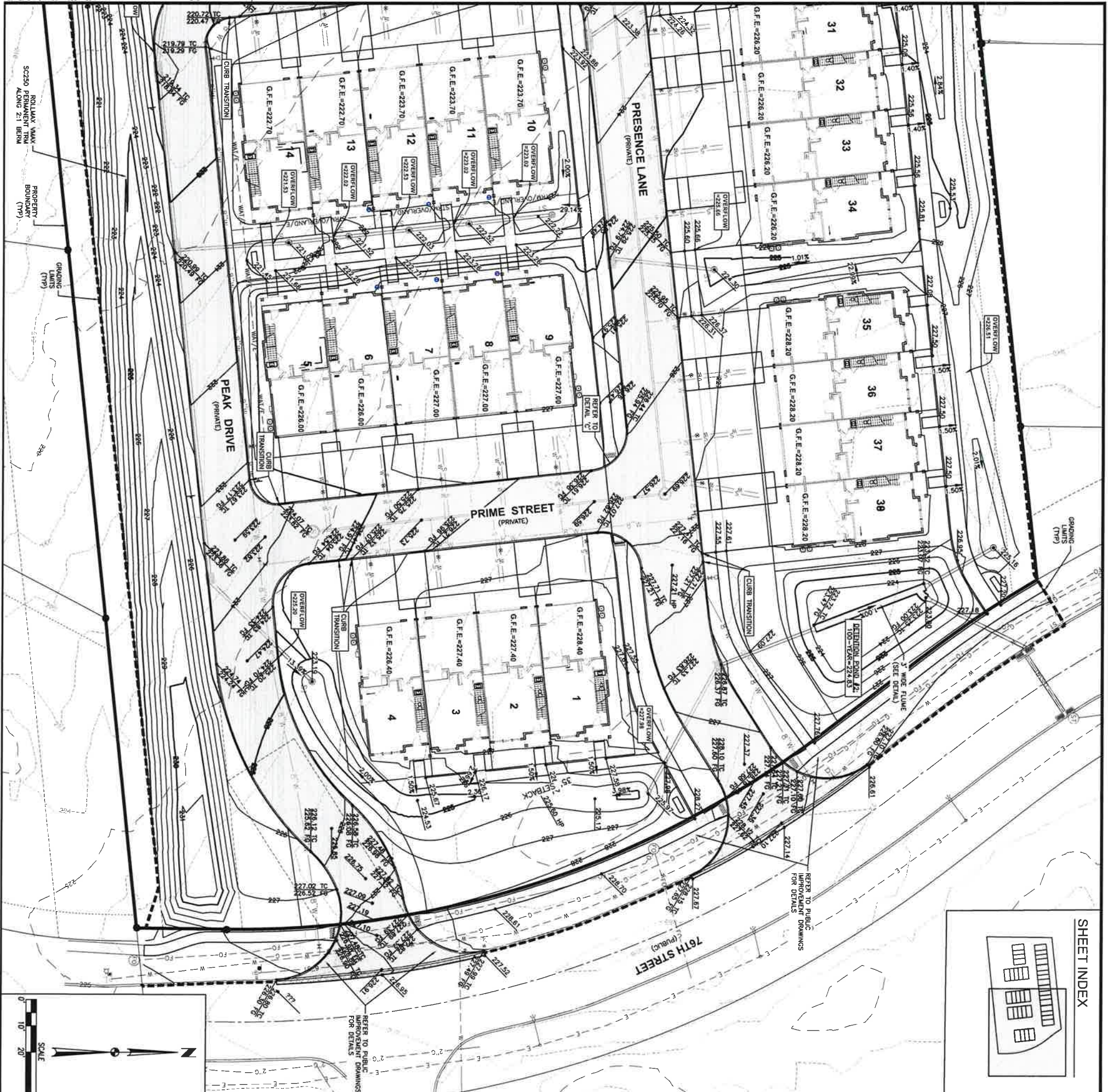
4121 NW URBANDALE DRIVE
URBANDALE, IOWA 50322
PHONE: (515) 369-4400

WEST DES MOINES, IOWA CIVIL DESIGN ADVANTAGE

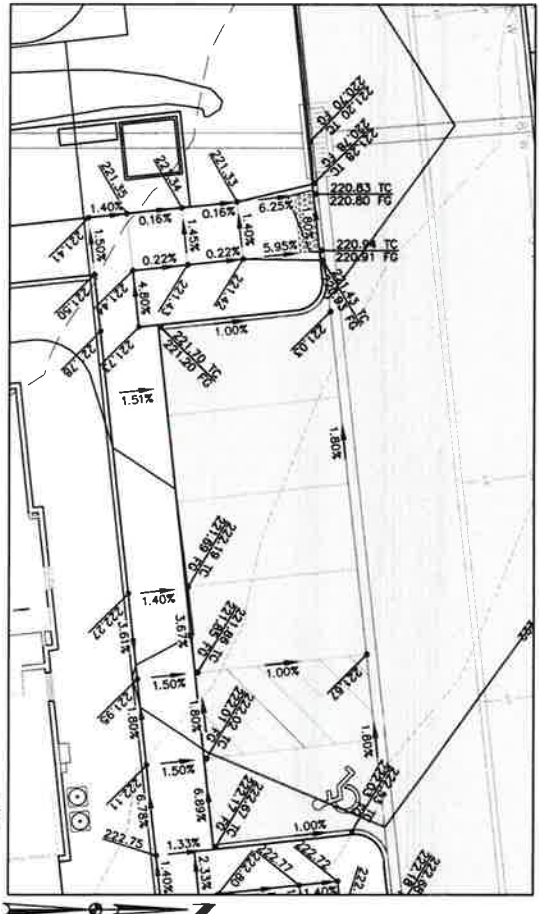
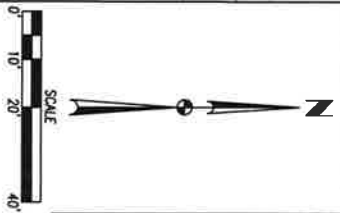
PRIME 39
GRADING PLAN

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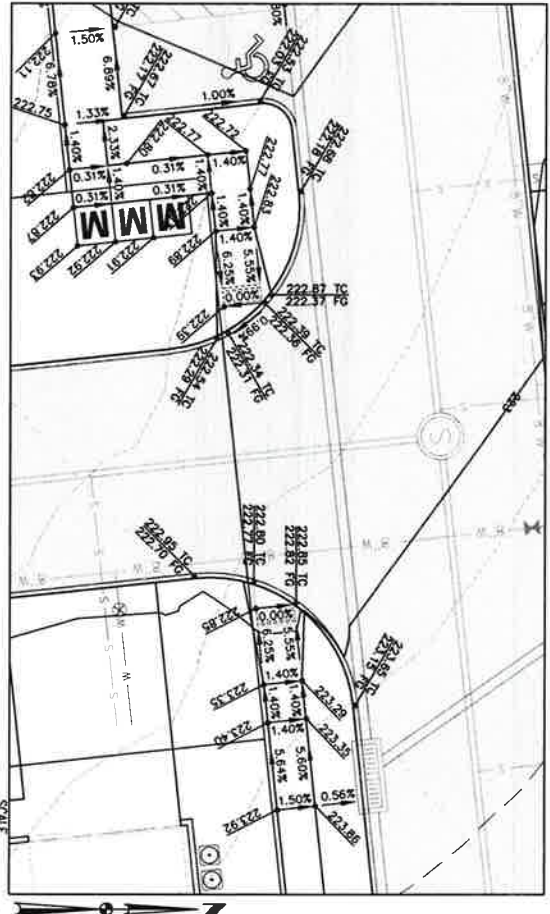
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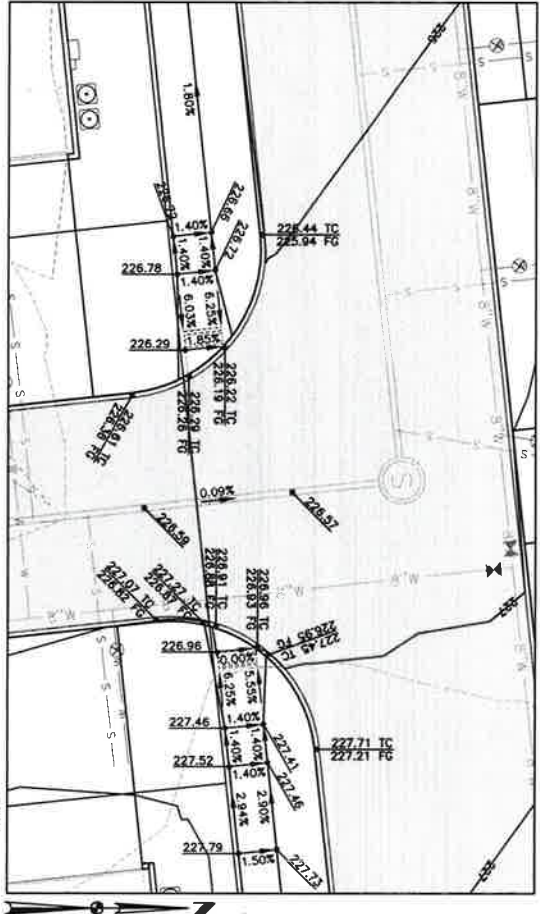
SHEET INDEX



DETAIL 'A'



DETAIL 'B'



DETAIL 'C'

REVISIONS	DATE
FINAL SUBMITTAL	06/25/2024
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 URBANDALE, IOWA 50322
 PHONE: (515) 369-4400



WEST DES MOINES, IOWA ENGINEER: JAT TECH:

**PRIME 39
 GRADING PLAN**

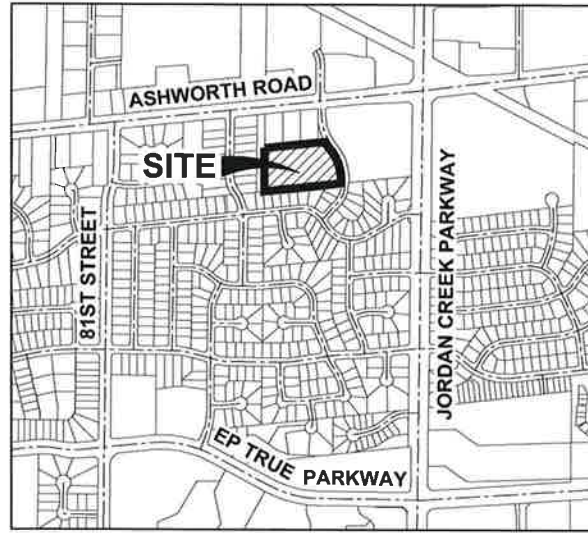
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PRIME 39

EROSION AND SEDIMENT CONTROL PLAN

VICINITY MAP

NOT TO SCALE



WEST DES MOINES, IOWA

NOTES:

- IF DEWATERING IS NEEDED FOR ANY REASON, DISCHARGE OF WATER OFFSITE IS TO CONFORM WITH THE GENERAL PERMIT #2 REQUIREMENT.
- DISTURBED AREAS SHALL BE TEMPORARILY SEEDED OR MULCHED IMMEDIATELY WHENEVER CLEARING, GRADING, EXCAVATING, OR OTHER EARTH DISTURBING ACTIVITIES HAVE PERMANENTLY OR TEMPORARILY CEASED AND WILL NOT RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS.
- STORM SEWERS AND DRAINAGE WAYS SHALL BE PROTECTED FROM CONCRETE SLURRY PRODUCED BY SAWCUTTING AND CONCRETE GRINDING.

STABILIZATION QUANTITIES

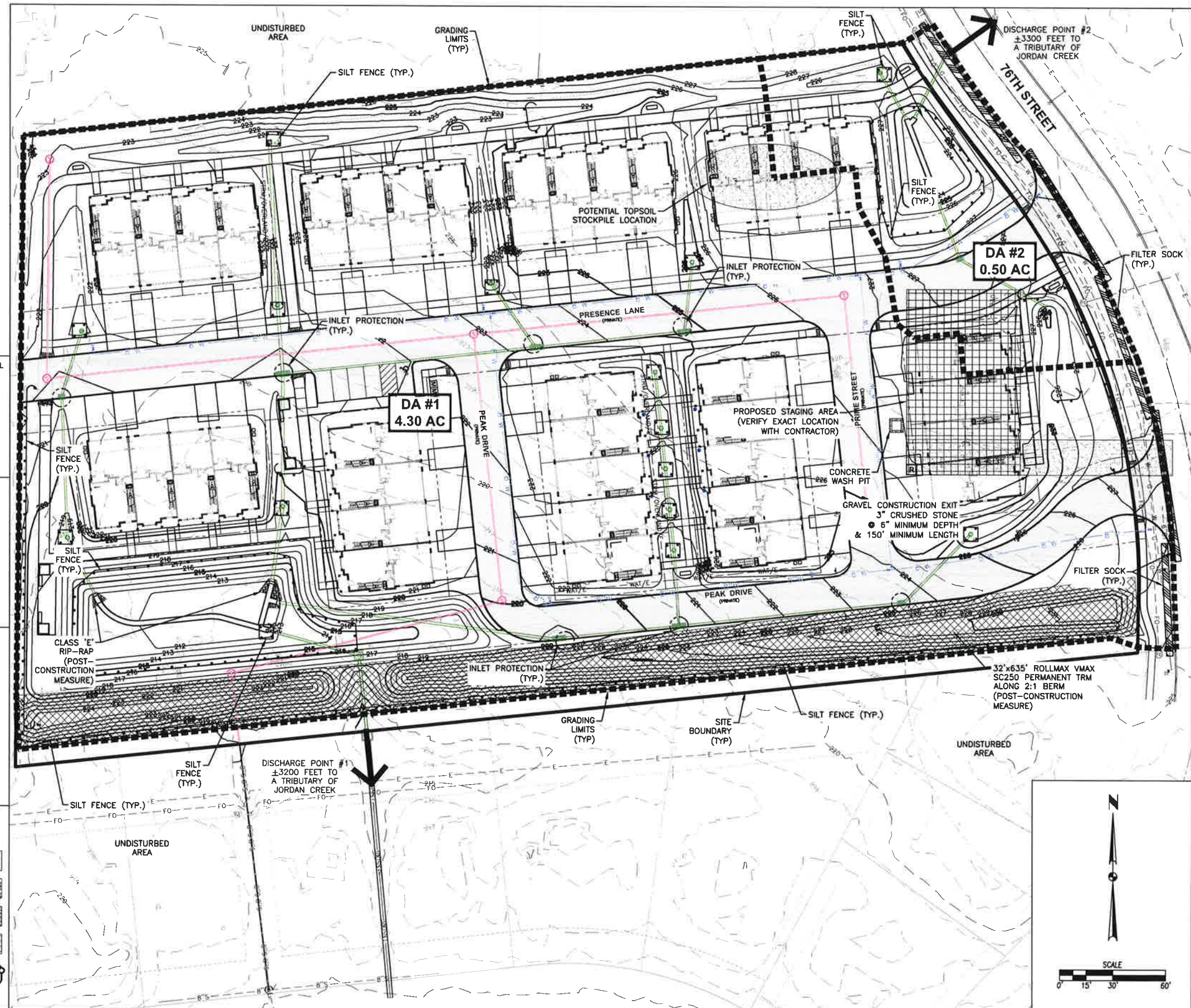
ITEM NO.	ITEM	UNIT	TOTAL
1	SILT FENCE	LF	2,085
2	FILTER SOCK	LF	405
3	SEEDING, FERTILIZING, AND MULCHING	AC	4.80
4	INLET PROTECTION DEVICES	EA	7
5	CONCRETE WASHOUT PIT	EA	1
6	ROLLMAX VMAX SC250 PERMANENT TRM	SF	20,320

DISCHARGE POINT SUMMARY

DISCHARGE POINT #1 TO JORDAN CREEK ±3200 FT	
TOTAL AREA DISTURBED TO DISCHARGE POINT	4.30 ACRES
STORAGE VOLUME REQUIRED (# OF ACRES*3600 CU FT)	15,480 CU FT
VOLUME PROVIDED IN SILT FENCE (1660 LF @ 10.0 CU FT/LF OF FENCE)	16,600 CU FT
TOTAL VOLUME PROVIDED	16,600 CU FT
DISCHARGE POINT #2 TO JORDAN CREEK ±3300 FT	
TOTAL AREA DISTURBED TO DISCHARGE POINT	0.50 ACRES
STORAGE VOLUME REQUIRED (# OF ACRES*3600 CU FT)	1,800 CU FT
VOLUME PROVIDED IN FILTER SOCK (405 LF @ 2.0 CU FT/LF OF SOCK)	810 CU FT
VOLUME PROVIDED IN SILT FENCE (425 LF @ 10.0 CU FT/LF OF FENCE)	4,250 CU FT
TOTAL VOLUME PROVIDED	5,060 CU FT

SWPPP LEGEND

DRAINAGE ARROW	X.XX %	CONCRETE WASHOUT PIT	
GRADING LIMITS		UNDISTURBED AREA	
FILTER SOCK		RIP-RAP	
SILT FENCE		GRAVEL ENTRANCE	
INLET PROTECTION		STAGING AREA	
PORTABLE RESTROOM		TEMPORARY SEDIMENT BASIN	



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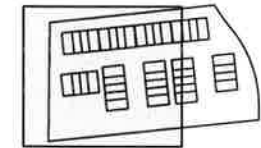


CIVIL DESIGN ADVANTAGE
WEST DES MOINES, IOWA

PRIME 39
EROSION AND SEDIMENT CONTROL PLAN

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SHEET INDEX



UTILITY NOTES

- REFER TO MECHANICAL, ELECTRICAL AND PLUMBING PLANS FOR UTILITY SERVICE SIZES AND EXACT LOCATIONS. REFER TO ELECTRICAL PLANS FOR ELECTRIC AND TELEPHONE SERVICE CONSTRUCTION DETAILS. REFER TO MECHANICAL PLANS FOR GAS SERVICE CONSTRUCTION DETAILS.
- FIELD VERIFY ELEVATIONS AND LOCATIONS OF ALL CONNECTIONS TO EXISTING UTILITIES PRIOR TO COMMENCING CONSTRUCTION.
- PROVIDE TEMPORARY SUPPORT FOR EXISTING UTILITY LINES THAT ARE ENCOUNTERED DURING CONSTRUCTION UNTIL BACKFILLING IS COMPLETE.
- ALL UTILITIES SHALL BE STUBBED TO 5 FEET FROM BUILDINGS REFER TO MEP PLANS FOR DESIGN FROM 5' OUTSIDE OF BUILDING FACE.
- ADJUST ALL MANHOLES AND INTAKES TO FINISHED GRADES.
- ALL SANITARY SEWER AND WATER SERVICES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF WEST DES MOINES PLUMBING CODE.
- 12" MINIMUM VERTICAL CLEARANCE BETWEEN STORM SEWER AND SANITARY SEWER PIPES. 18" MINIMUM VERTICAL CLEARANCE BETWEEN SANITARY SEWER AND WATER MAIN. SEWER PIPES OVER WATER PIPES SHOULD MEET IOWA DNR MATERIAL REQUIREMENTS.
- MAINTAIN A MINIMUM OF 10' HORIZONTAL SEPARATION BETWEEN SANITARY SEWER LINES AND WATER MAINS.
- WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEY RECORDS, AND THEREFORE, THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS. THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTORS RESPONSIBILITY TO DETERMINE THE EXISTENCE AND EXACT LOCATIONS AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK. THE CONTRACTOR IS REQUIRED TO UTILIZE THE UTILITY ONE-CALL SERVICE AT 800-292-8989 AT LEAST 48 HOURS PRIOR TO EXCAVATING ANYWHERE ON THE PROJECT.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF WORK OF ALL SUBCONTRACTOR(S) INVOLVED IN THE PROJECT.
- PRIVATE UTILITIES TO BE INSTALLED PER THE CITY OF WEST DES MOINES STANDARD CONSTRUCTION SPECIFICATIONS FOR PUBLIC IMPROVEMENTS AND THE 2018 UNIFORM PLUMBING CODE. CONTACT BUILDING INSPECTION A MINIMUM OF 24 HOURS IN ADVANCE FOR UTILITY INSTALLATION INSPECTIONS.
- OWNER IS RESPONSIBLE FOR MAINTENANCE OF PRIVATE UTILITIES. CONTRACTOR SHALL PREVENT ENTRY OF MUD, DIRT, DEBRIS AND OTHER MATERIAL INTO NEW AND EXISTING SEWER SYSTEMS SHOULD ANY CONTAMINATION OCCUR DURING CONSTRUCTION. THE CONTRACTOR SHALL CLEAN AT NO COST TO THE OWNER. INSTALL SILT FENCE AT ALL PERMANENT STORM SEWER INTAKES.
- REFER TO GEOTECHNICAL REPORT FOR DRAIN SYSTEM RECOMMENDATIONS FOR UNDERFLOOR DRAINAGE SYSTEM FOR APARTMENT AND TOWNHOME BUILDINGS. REFER TO PLUMBING PLANS FOR UNDERFLOOR DRAINAGE DESIGN.
- ALL STORM SEWER APRONS SHALL HAVE FOOTINGS AND APRON GUARDS.
- 12 INCHES OF ADJUSTING RINGS (INCLUDING EXISTING) IS THE MAXIMUM ALLOWED PER THE WDM STANDARD CONSTRUCTION SPECIFICATIONS FOR SUBDIVISIONS.
- ALL CONNECTIONS TO PUBLIC SEWERS SHALL BE CORE DRILLED.

WEST DES MOINES WATER WORKS NOTES

- ALL WATER WORK, PUBLIC OR PRIVATE, SHALL BE DONE IN ACCORDANCE WITH WEST DES MOINES WATER WORKS STANDARD SPECIFICATIONS, AVAILABLE AT WEST DES MOINES WATER WORKS STANDARD SPECIFICATIONS.
- ANY WATER USE FROM A HYDRANT, PUBLIC OR PRIVATE, REQUIRES THE USE OF A WEST DES MOINES WATER WORKS HYDRANT METER. CALL 515-222-3465 TO RESERVE A METER.
- CONTRACTOR SHALL NOTIFY WEST DES MOINES WATER WORKS (515-222-3465) AT LEAST ONE WEEK PRIOR TO BUILDING CONSTRUCTION.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE WEST DES MOINES WATER WORKS AND THE CITY'S CROSS CONNECTION CONTROL/CONTAINMENT PROVISIONS.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER INSTALLATION OF AN APPROVED BACKFLOW PREVENTION ASSEMBLY(IES) FOR CONTAINMENT IN ALL NEW CONSTRUCTION. BACKFLOW PREVENTION TO BE INSTALLED PER CITY ORDINANCE 1297, 54-1998. CONTRACTOR SHALL NOTIFY THEIR PROJECTS WEST DES MOINES WATER WORKS ENGINEERING TECHNICIAN (515-222-3465) A MINIMUM OF 24 HOURS AFTER INSTALLATION AND TESTING OF ALL BACKFLOW DEVICES TO SCHEDULE FINAL INSPECTION.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING STATIC WATER PRESSURE AND, WHERE REQUIRED BY THE CITY OF WEST DES MOINES PLUMBING CODE, SHALL INSTALL A PRESSURE REDUCING VALVE(S) WITH EXPANSION TANK(S) WHERE REQUIRED. PRESSURE REDUCING VALVE(S) AND TANK(S) SHALL BE INSTALLED DOWNSTREAM OF THE WATER METER(S) AND BACKFLOW PREVENTION ASSEMBLY(IES) SERVING THE SITE.
- BUILDING FIRE SPRINKLER AND FIRE ALARM SYSTEM SHALL BE DESIGNED PER WEST DES MOINES FIRE CODE.
- WATER SHALL BE PROVIDED TO PROPERTY VIA PRIVATE WATER MAIN. OWNER SHALL ALLOW WEST DES MOINES WATER WORKS ACCESS TO THE METERS AND VALVES AS NEEDED FOR EMERGENCY MAINTENANCE AND SHUT OFF IN THE EVENT OF NON-PAYMENT.
- KNOX BOXES ARE REQUIRED ON ALL BUILDINGS AT LOCATIONS TO BE DETERMINED BY THE FIRE MARSHALL.
- SITE DIRECTORY MAP BOARDS ARE REQUIRED AT ALL ENTRANCES TO THE SITE.
- NO HYDRANT EXTENSIONS SHALL BE ALLOWED WITHOUT WEST DES MOINES WATER WORKS APPROVAL.

NOTE:

ALL SANITARY SEWER AND MANHOLES ARE PUBLIC REFER TO SEPARATE CONSTRUCTION PLANS FOR PUBLIC SANITARY SEWER INFORMATION. ALL STORM SEWER, WATER MAIN AND STRUCTURES ARE PRIVATE.

NOTE:

CONTRACTOR SHALL COORDINATE ALL TRANSFORMER PAD LOCATIONS, INCLUDING BUILDING SEPARATION, WITH MID AMERICAN ENERGY PRIOR TO TRANSFORMER PAD CONSTRUCTION.

DATE	06/25/2024
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4121 NW URBANDALE DRIVE
URBANDALE, IOWA 50322
PHONE: (515) 369-4400

TECH: JAT

ENGINEER: JAT

WEST DES MOINES, IOWA

PRIME 39

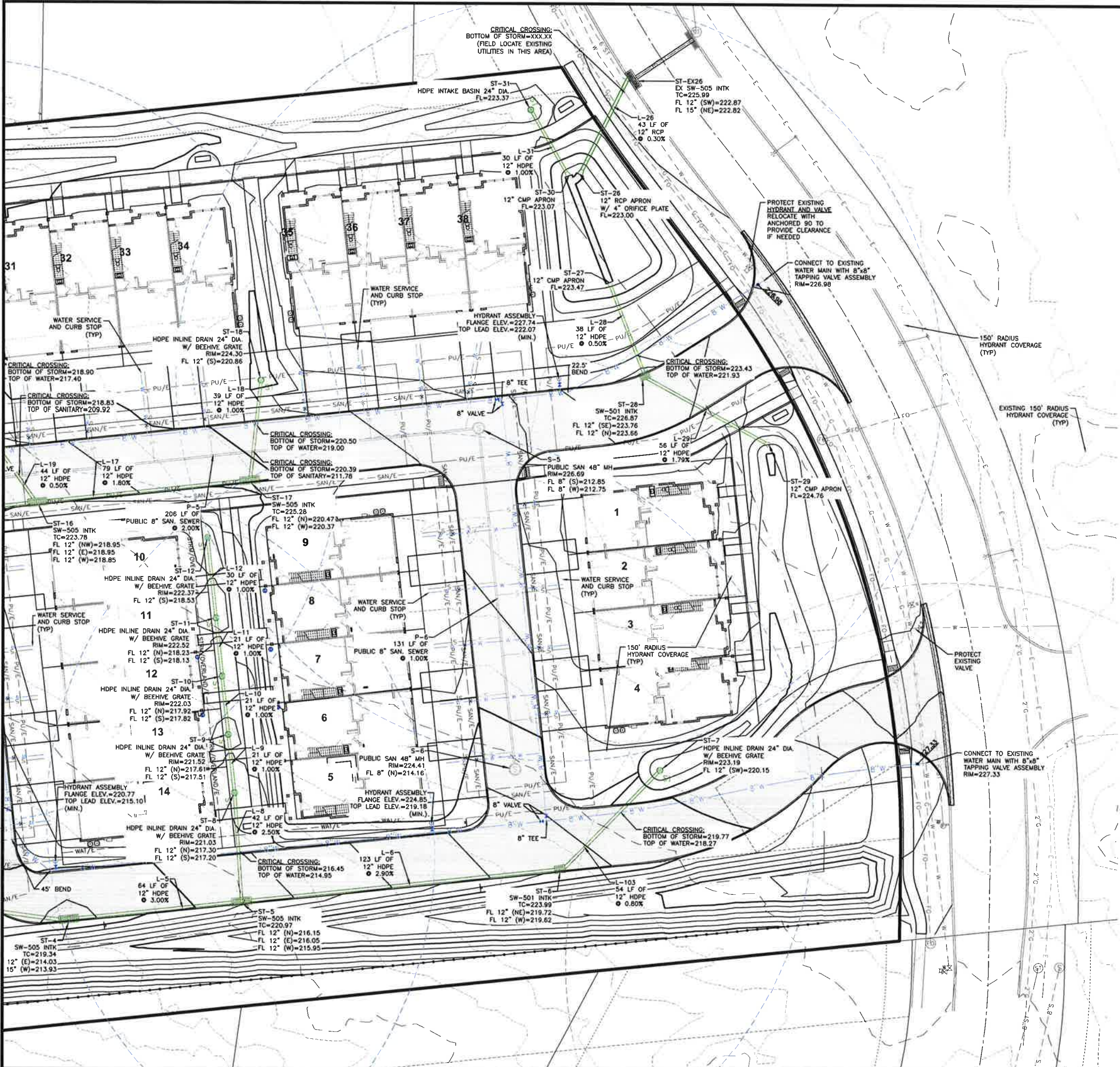
UTILITY PLAN

CIVIL DESIGN ADVANTAGE

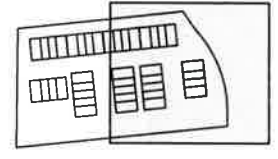
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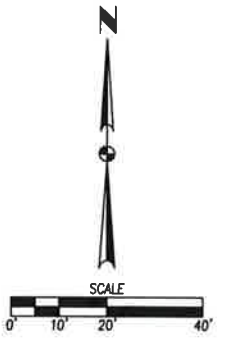


SHEET INDEX



WATER QUANTITIES

ITEM NO.	ITEM	UNIT	TOTAL
1	8" WATER MAIN	LF	1,230
2	HYDRANT ASSEMBLY	EA	5
3	8" x 8" TAPPING VALVE ASSEMBLY	EA	2
4	8" VALVE	EA	6
5	8" TEE	EA	3
6	22.5' BEND	EA	1
6	45' BEND	EA	4



COMMENTS:
 1. SEE SHEETS 2310.686, 2310.687, 2310.688, 2310.689, 2310.690, 2310.691, 2310.692, 2310.693, 2310.694, 2310.695, 2310.696, 2310.697, 2310.698, 2310.699, 2310.700, 2310.701, 2310.702, 2310.703, 2310.704, 2310.705, 2310.706, 2310.707, 2310.708, 2310.709, 2310.710, 2310.711, 2310.712, 2310.713, 2310.714, 2310.715, 2310.716, 2310.717, 2310.718, 2310.719, 2310.720, 2310.721, 2310.722, 2310.723, 2310.724, 2310.725, 2310.726, 2310.727, 2310.728, 2310.729, 2310.730, 2310.731, 2310.732, 2310.733, 2310.734, 2310.735, 2310.736, 2310.737, 2310.738, 2310.739, 2310.740, 2310.741, 2310.742, 2310.743, 2310.744, 2310.745, 2310.746, 2310.747, 2310.748, 2310.749, 2310.750, 2310.751, 2310.752, 2310.753, 2310.754, 2310.755, 2310.756, 2310.757, 2310.758, 2310.759, 2310.760, 2310.761, 2310.762, 2310.763, 2310.764, 2310.765, 2310.766, 2310.767, 2310.768, 2310.769, 2310.770, 2310.771, 2310.772, 2310.773, 2310.774, 2310.775, 2310.776, 2310.777, 2310.778, 2310.779, 2310.780, 2310.781, 2310.782, 2310.783, 2310.784, 2310.785, 2310.786, 2310.787, 2310.788, 2310.789, 2310.790, 2310.791, 2310.792, 2310.793, 2310.794, 2310.795, 2310.796, 2310.797, 2310.798, 2310.799, 2310.800.

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WEST DES MOINES, IOWA
 CIVIL DESIGN ADVANTAGE

PRIME 39
 UTILITY PLAN

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ENGINEER: JAT

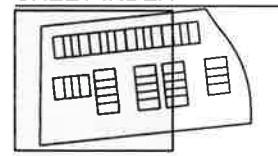


WEST DES MOINES, IOWA

PRIME 39
 LANDSCAPE PLAN PLAN

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SHEET INDEX



LANDSCAPE NOTES

1. LOCATE ALL UTILITIES BEFORE ANY PLANTING BEGINS.
2. ALL CONSTRUCTION SHALL CONFORM TO THE MOST RECENT EDITION OF THE WEST DES MOINES STANDARDS FOR SUBDIVISIONS.
3. TYPE, SIZE, AND QUALITY OF PLANT MATERIAL SHALL CONFORM TO THE MOST CURRENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK - ANSI Z60.1.
4. ALL PLANT MATERIAL SHALL BE HEALTHY SPECIMENS WITHOUT DEFORMITIES, Voids AND OPEN SPACES, WITH WELL DEVELOPED BRANCH AND ROOT SYSTEMS; TRUE TO HEIGHT, SHAPE AND CHARACTER OF GROWTH OF THE SPECIES OR VARIETY.
5. SOO ALL AREAS ADJACENT TO BUILDINGS, SEED (TYPE 1) OR SOO ALL OTHER DISTURBED AREAS AS DIRECTED BY OWNER. THE SOUTHERN BUFFER SHALL BE SUDAS TYPE 2 SEED. SEE BELOW.
6. BACKFILL TO TOP OF CURB. (MINUS 1 1/2" FOR SOO, IF REQ.)
7. WEED PREVENTER(PRE-EMERGENT) SHALL BE SPREAD OVER SOIL AFTER PLANTING AND BEFORE MULCHING IN ALL PLANTING BEDS PER MANUFACTURER'S RECOMMENDATIONS.
8. SHREDDED HARDWOOD MULCH SHALL BE PLACED AROUND ALL TREES, SHRUBS AND IN ALL PLANTING BEDS TO A (MIN) DEPTH OF 3". ALL GROUPS OF MORE THAN ONE SHRUB SHALL BE MULCHED IN A CONTINUOUS BED.
9. ALL EDGING SHALL BE 3/16" STEEL EDGING.
10. PLANT QUANTITIES ARE SHOWN FOR INFORMATION ONLY, THE DRAWING SHALL PREVAIL IF ANY CONFLICTS ARISE.
11. ALL DEBRIS SPILLED IN THE PUBLIC R.O.W. SHALL BE PICKED UP BY THE CONTRACTOR AT THE END OF EACH WORK DAY.
12. CONTRACTOR SHALL WARRANTY ALL PLANT MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF INSTALLATION.
13. NO OVERSTORY TREES SHALL BE PLANTED IN ANY CITY OF WEST DES MOINES PUBLIC UTILITY EASEMENT.

OPEN SPACE LANDSCAPE REQUIREMENTS

• (2) TREES PER 3000 SF OF REQUIRED OPEN SPACE

• (3) SHRUBS PER 3000 SF OF REQUIRED OPEN SPACE

SITE AREA	= 208,328 SF
OPEN SPACE REQUIRED	= 52,082 SF (25%)
OPEN SPACE PROVIDED	= 114,725 SF (55%)

TREES REQUIRED	= 35
TREES PROVIDED	= 35

SHRUBS REQUIRED	= 53
SHRUBS PROVIDED	= 105

ADDITIONAL PLANT MATERIAL PROVIDED FOR PARKLAND COMPENSATION

OVERSTORY TREES	= 10
EVERGREEN TREES	= 9
ORNAMENTAL TREES	= 10
SHRUBS	= 58

WEST 15' BUFFER REQUIREMENTS (PER PUD)

A 6' TALL SOLID PRIVACY FENCE.

(1) OVERSTORY TREE SHALL BE PROVIDED PER THIRTY FIVE (35) LINEAR FEET OF THE BUFFER PARK. NO SUBSTITUTIONS SHALL BE PERMITTED.

354 LF

REQUIRED	
UNDERSTORY TREES	= 8
OVERSTORY TREES	= 7

PROVIDED	
UNDERSTORY TREES	= 8
OVERSTORY TREES	= 7

SOUTH 40' BUFFER REQUIREMENTS (PER PUD)

A 6' LANDSCAPED BERM AND A 6' TALL SOLID PRIVACY FENCE.

(1) OVERSTORY TREE AND (2) ORNAMENTAL OR EVERGREEN TREES, AND SIX (6) SHRUBS SHALL BE PROVIDED PER THIRTY FIVE (35) LINEAR FEET OF THE BUFFER PARK.

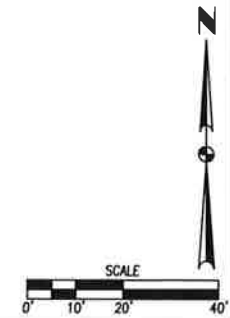
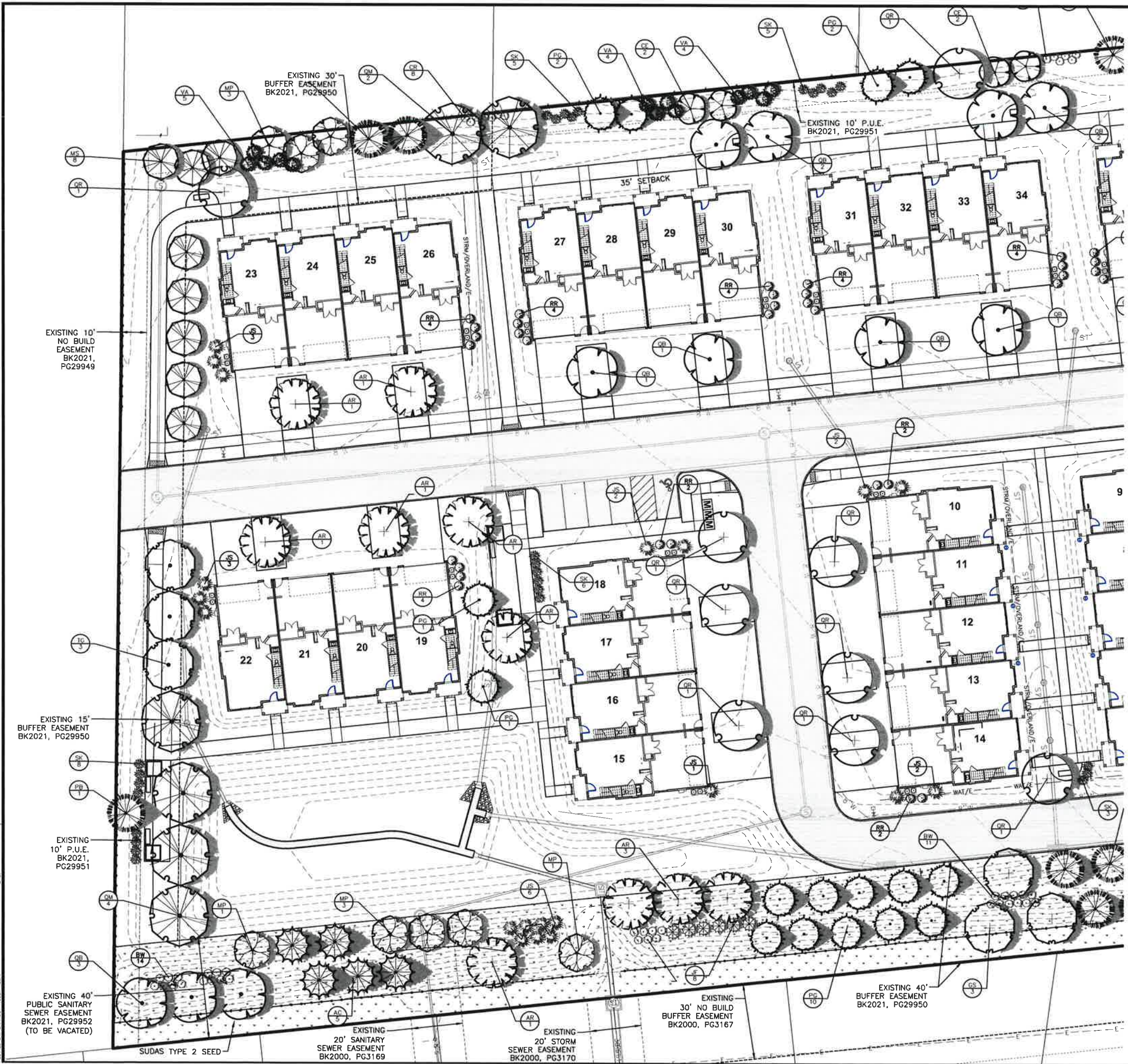
634 LF

REQUIRED	
OVERSTORY TREES	=19
ORNAMENTAL OR EVERGREEN TREES	=37
SHRUBS	=109

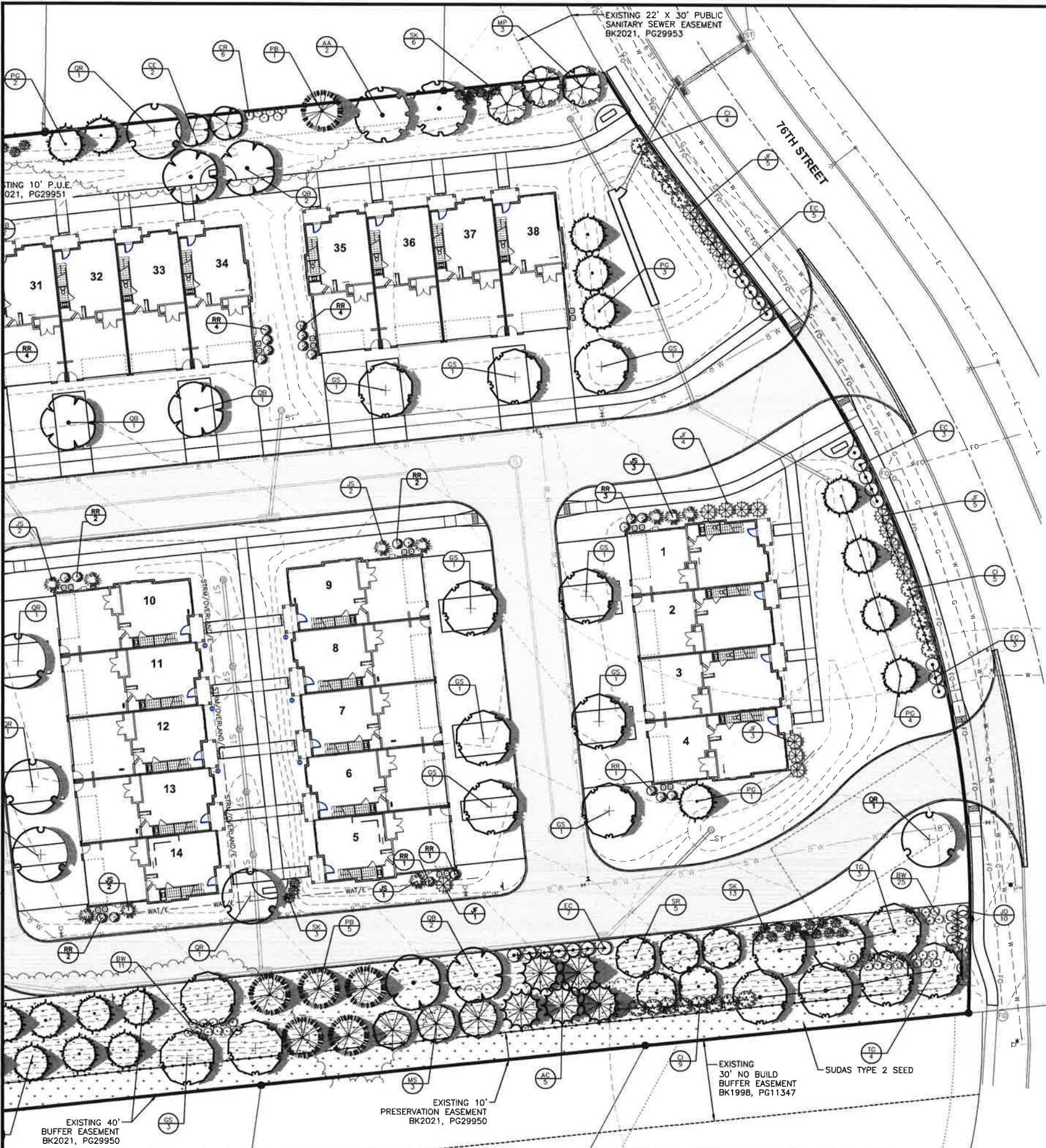
PROVIDED	
OVERSTORY TREES	=19
ORNAMENTAL OR EVERGREEN TREES	=38 (+1)
SHRUBS	=109

NORTH AND EAST BUFFER REQUIREMENTS (PER PUD)

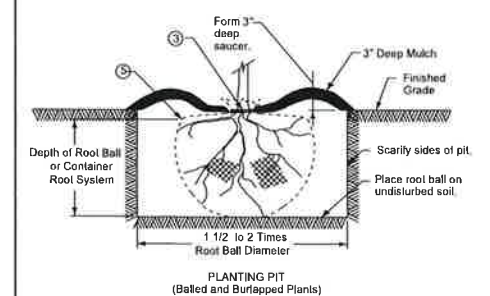
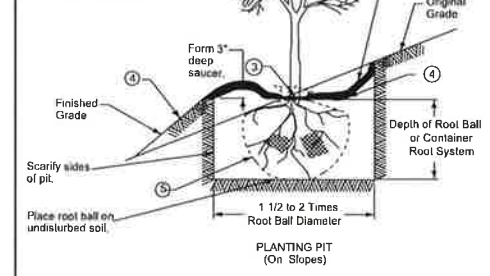
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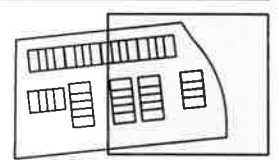


- Spread root system in natural position with soil excavated from pit.
- Install with root collar at or slightly above grade. Do not place mulch within 2 inches of trunk.
- Begin transition at edge of root ball.
- Cut and remove all twine, burlap, and wire baskets from top of root ball prior to placing backfill material.



PLANTING PIT DETAIL

SHEET INDEX



SOUTHER BORDER SEED MIX (SUDAS Type 2)

Type 2 (Permanent Cool-Season Mixture for Slopes and Ditches): Not typically mowed. Reaches maximum heights of 2-3 feet. low fertility requirements, grows in spring and fall, can go dormant in summer.

Common Name	Application Rate (lb/acre)
Fawn Fescue	65
Hydrangea (general)	45
Broadleaf Trefol (Empire)	5
Annual Hydrangea	40

SCREENING

ALL MECHANICAL UNITS VISIBLE FROM A PUBLIC STREET SHALL BE SCREENED FROM PUBLIC VIEW.

ALL PARKING AREAS ADJACENT TO PUBLIC RIGHTS OF WAY SHALL BE SCREENED TO A MINIMUM HEIGHT OF 3'.

MINIMUM PLANT SIZES

DECIDUOUS OVERSTORY TREES	=2" CAL
DECIDUOUS OVERSTORY TREES (CLUMP)	=1" CAL
EVERGREEN TREES	=6" HEIGHT
ORNAMENTAL TREES	=1.5" CAL
DECIDUOUS SHRUBS (5'+)	=36" HEIGHT
DECIDUOUS SHRUBS (3'-5')	=24" HEIGHT
DECIDUOUS SHRUBS (0-3')	=15" HEIGHT

PLANT SUBSTITUTIONS

(2) ORNAMENTAL TREES, (1) EVERGREEN TREE, OR (6) SHRUBS MAY BE SUBSTITUTED FOR (1) REQUIRED OVERSTORY TREE; HOWEVER NO MORE THAN (25%) OF OVERSTORY TREES MAY BE SUBSTITUTED.

PLANT SCHEDULE OPEN SPACE

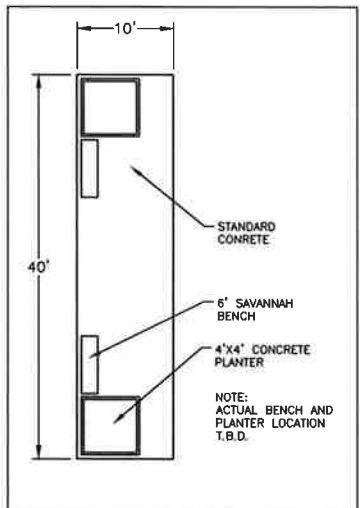
CODE	QTY	COMMON NAME	BOTANICAL NAME	CONDITION AND SIZE
EVERGREEN TREES				
PB	3	Black Hills Spruce	<i>Picea glauca densata</i>	B&B, 6" HEIGHT
PG	14	Colorado Blue Spruce	<i>Picea pungens 'Glauc'</i>	B&B, 6" HEIGHT
ORNAMENTAL TREES				
CA	4	Eastern Redbud Multi-trunk	<i>Cercis canadensis</i>	B&B, 1.5" CALIPER
MP	6	Prairie Fire Crab Apple	<i>Malus x 'Prairiefire'</i>	B&B, 1.5" CALIPER
OVERSTORY TREES				
AA	2	Autumn Blaze Red Maple	<i>Acer rubrum 'Autumn Blaze'</i>	B&B, 2" CALIPER
AR	5	Red Maple	<i>Acer rubrum</i>	B&B, 2" CALIPER
GS	9	Skyline Honey Locust	<i>Gleditsia triacanthos 'Skyline'</i>	B&B, 2" CALIPER
QB	8	Swamp White Oak	<i>Quercus bicolor</i>	B&B, 2" CALIPER
QM	2	Burr Oak	<i>Quercus macrocarpa</i>	B&B, 2" CALIPER
QR	9	Red Oak	<i>Quercus rubra</i>	B&B, 2" CALIPER
SHRUBS				
CI	10	Isanti Redstart Dogwood	<i>Cornus sericea 'Isanti'</i>	36" HEIGHT
CR	15	Huron Gray Dogwood	<i>Cornus racemosa 'Hurzam'</i>	3" HEIGHT
EC	13	Compact Burning Bush	<i>Euonymus alatus 'Compactus'</i>	36" HEIGHT
JF	18	Sea Green Juniper	<i>Juniperus chinensis 'Sea Green'</i>	24" HEIGHT
JS	19	Spartan Juniper	<i>Juniperus chinensis 'Spartan'</i>	6" HEIGHT
RR	45	Fine Line Buckthorn	<i>Rhamnus frangula 'Fine Line'</i>	6" HEIGHT
SK	24	Miss Kim Korean Lilac	<i>Syringa pubescens 'Miss Kim'</i>	36" HEIGHT
VA	13	American Cranberrybush	<i>Viburnum trilobum</i>	36" HEIGHT

PLANT SCHEDULE WEST BUFFER

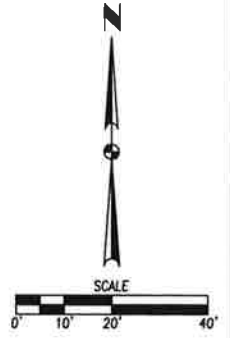
CODE	QTY	COMMON NAME	BOTANICAL NAME	CONDITION AND SIZE
ORNAMENTAL TREES				
MS	8	Spring Snow Crab Apple	<i>Malus x 'Spring Snow'</i>	B&B, 1.5" CALIPER
OVERSTORY TREES				
QM	4	Burr Oak	<i>Quercus macrocarpa</i>	B&B, 2" CALIPER
QR	1	Red Oak	<i>Quercus rubra</i>	B&B, 2" CALIPER
TO	3	Greenspire Linden	<i>Tilia cordata 'Greenspire'</i>	B&B, 2" CALIPER
SHRUBS				
SK	18	Miss Kim Korean Lilac	<i>Syringa pubescens 'Miss Kim'</i>	36" HEIGHT

PLANT SCHEDULE SOUTH BUFFER

CODE	QTY	COMMON NAME	BOTANICAL NAME	CONDITION AND SIZE
EVERGREEN TREES				
AC	10	White Fir	<i>Abies concolor</i>	B&B, 6" HEIGHT
PB	5	Black Hills Spruce	<i>Picea glauca densata</i>	B&B, 6" HEIGHT
PG	10	Colorado Blue Spruce	<i>Picea pungens 'Glauc'</i>	B&B, 6" HEIGHT
ORNAMENTAL TREES				
MP	3	Prairie Fire Crab Apple	<i>Malus x 'Prairiefire'</i>	B&B, 1.5" CALIPER
MS	3	Spring Snow Crab Apple	<i>Malus x 'Spring Snow'</i>	B&B, 1.5" CALIPER
SR	5	Japanese Tree Lilac	<i>Syringa reticulata</i>	B&B, 1.5" CALIPER
OVERSTORY TREES				
AR	4	Red Maple	<i>Acer rubrum</i>	B&B, 2" CALIPER
GS	3	Skyline Honey Locust	<i>Gleditsia triacanthos 'Skyline'</i>	B&B, 2" CALIPER
QB	5	Swamp White Oak	<i>Quercus bicolor</i>	B&B, 2" CALIPER
TO	7	Greenspire Linden	<i>Tilia cordata 'Greenspire'</i>	B&B, 2" CALIPER
SHRUBS				
BW	57	Wintergreen Boxwood	<i>Buxus microphylla 'Wintergreen'</i>	15" HEIGHT
CI	9	Isanti Redstart Dogwood	<i>Cornus sericea 'Isanti'</i>	36" HEIGHT
EC	7	Compact Burning Bush	<i>Euonymus alatus 'Compactus'</i>	36" HEIGHT
JF	6	Sea Green Juniper	<i>Juniperus chinensis 'Sea Green'</i>	24" HEIGHT
JO	10	Old Gold Juniper	<i>Juniperus chinensis 'Old Gold'</i>	24" HEIGHT
JS	7	Spartan Juniper	<i>Juniperus chinensis 'Spartan'</i>	6" HEIGHT
SK	13	Miss Kim Korean Lilac	<i>Syringa pubescens 'Miss Kim'</i>	36" HEIGHT



RECREATION AREA PATIO DETAIL



DATE: 06/25/2024
 FINAL SUBMITTAL: 06/12/2024
 FOURTH SUBMITTAL: 05/21/2024
 THIRD SUBMITTAL: 04/22/2024
 SECOND SUBMITTAL: 01/28/2024
 FIRST SUBMITTAL: 01/28/2024

REVISIONS:

4121 NW URBANDALE DRIVE
 URBANDALE, IOWA 50322
 PHONE: (515) 369-4400

TECH: ENGINEER: JAT

WEST DES MOINES, IOWA

PRIME 39
 LANDSCAPE PLAN

CIVIL DESIGN ADVANTAGE

L1.1
 2310.686

MATERIAL SCHEDULE

FRONT			
B1	BRICK - CENTURION STONE CORONADO ICEBERG MODULAR	747 SF	46%
S1	FIBER CEMENT 7" REVEAL LAP - NUANCE SW 7049	546 SF	34%
S3	FIBER CEMENT 4" REVEAL LAP - BENJAMIN MOORE NIGHT HORIZON 2134-10 - SW MATCH	108 SF	7%
S4	FIBER CEMENT SMOOTH PANEL - BENJAMIN MOORE NIGHT HORIZON 2134-10 - SW MATCH	206 SF	13%
		1607 SF	100%
LEFT			
B1	BRICK - CENTURION STONE CORONADO ICEBERG MODULAR	578 SF	52%
S1	FIBER CEMENT 7" REVEAL LAP - NUANCE SW 7049	310 SF	28%
S3	FIBER CEMENT 4" REVEAL LAP - BENJAMIN MOORE NIGHT HORIZON 2134-10 - SW MATCH	209 SF	19%
S4	FIBER CEMENT SMOOTH PANEL - BENJAMIN MOORE NIGHT HORIZON 2134-10 - SW MATCH	13 SF	1%
		1110 SF	100%
REAR			
B1	BRICK - CENTURION STONE CORONADO ICEBERG MODULAR	78 SF	8%
S1	FIBER CEMENT 7" REVEAL LAP - NUANCE SW 7049	410 SF	42%
S3	FIBER CEMENT 4" REVEAL LAP - BENJAMIN MOORE NIGHT HORIZON 2134-10 - SW MATCH	242 SF	25%
S4	FIBER CEMENT SMOOTH PANEL - BENJAMIN MOORE NIGHT HORIZON 2134-10 - SW MATCH	235 SF	24%
		965 SF	100%
RIGHT			
B1	BRICK - CENTURION STONE CORONADO ICEBERG MODULAR	420 SF	40%
S1	FIBER CEMENT 7" REVEAL LAP - NUANCE SW 7049	431 SF	41%
S3	FIBER CEMENT 4" REVEAL LAP - BENJAMIN MOORE NIGHT HORIZON 2134-10 - SW MATCH	196 SF	19%
		1046 SF	100%

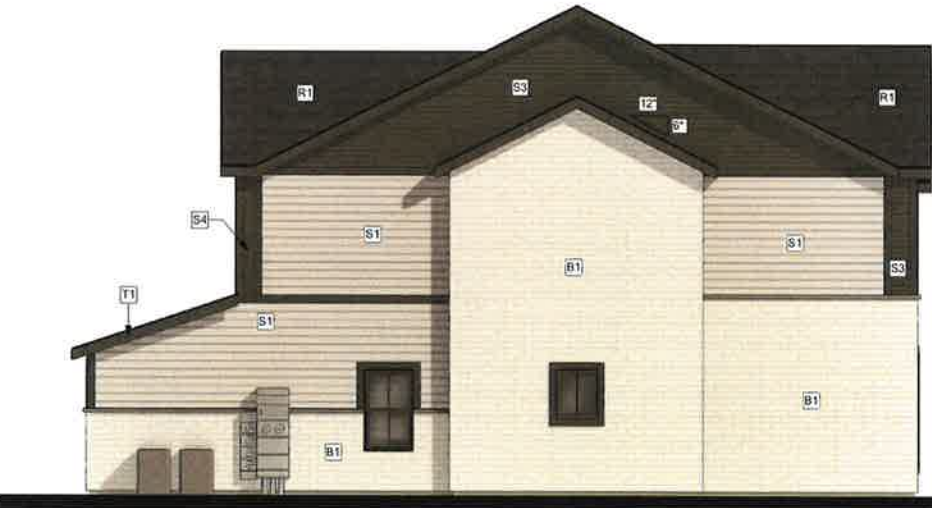
BRICK - CENTURION STONE CORONADO ICEBERG MODULAR MATERIAL PERCENTAGE	TOTAL SF	TOTAL %
	1823 SF	39%
CALCS: 1823 B1 SF / 4728 TOTAL MATERIAL SF = 0.39		



4 RIGHT ELEVATION
SCALE: 3/16" = 1'-0"



2 REAR ELEVATION
SCALE: 3/16" = 1'-0"

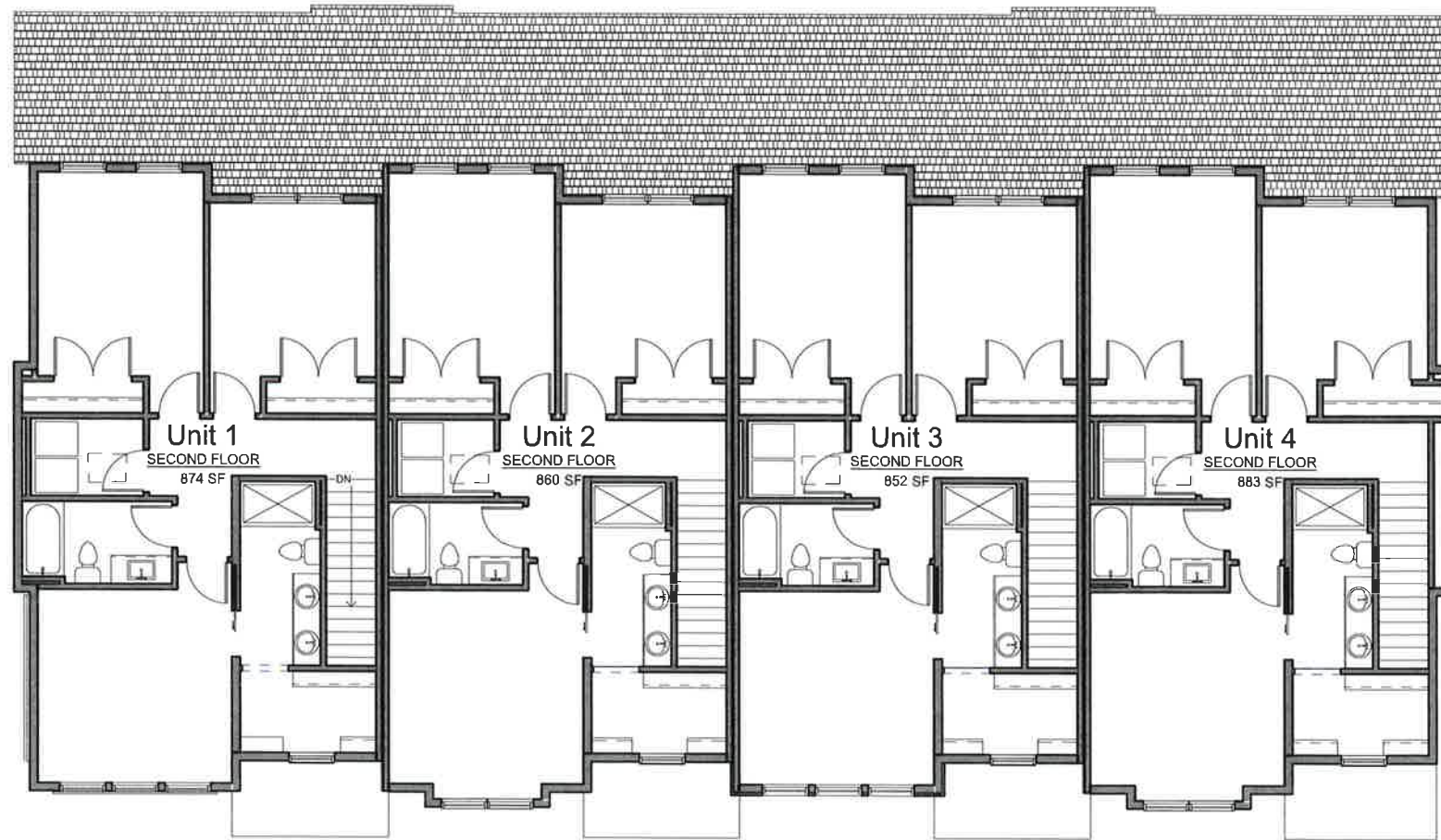


1 LEFT ELEVATION
SCALE: 3/16" = 1'-0"

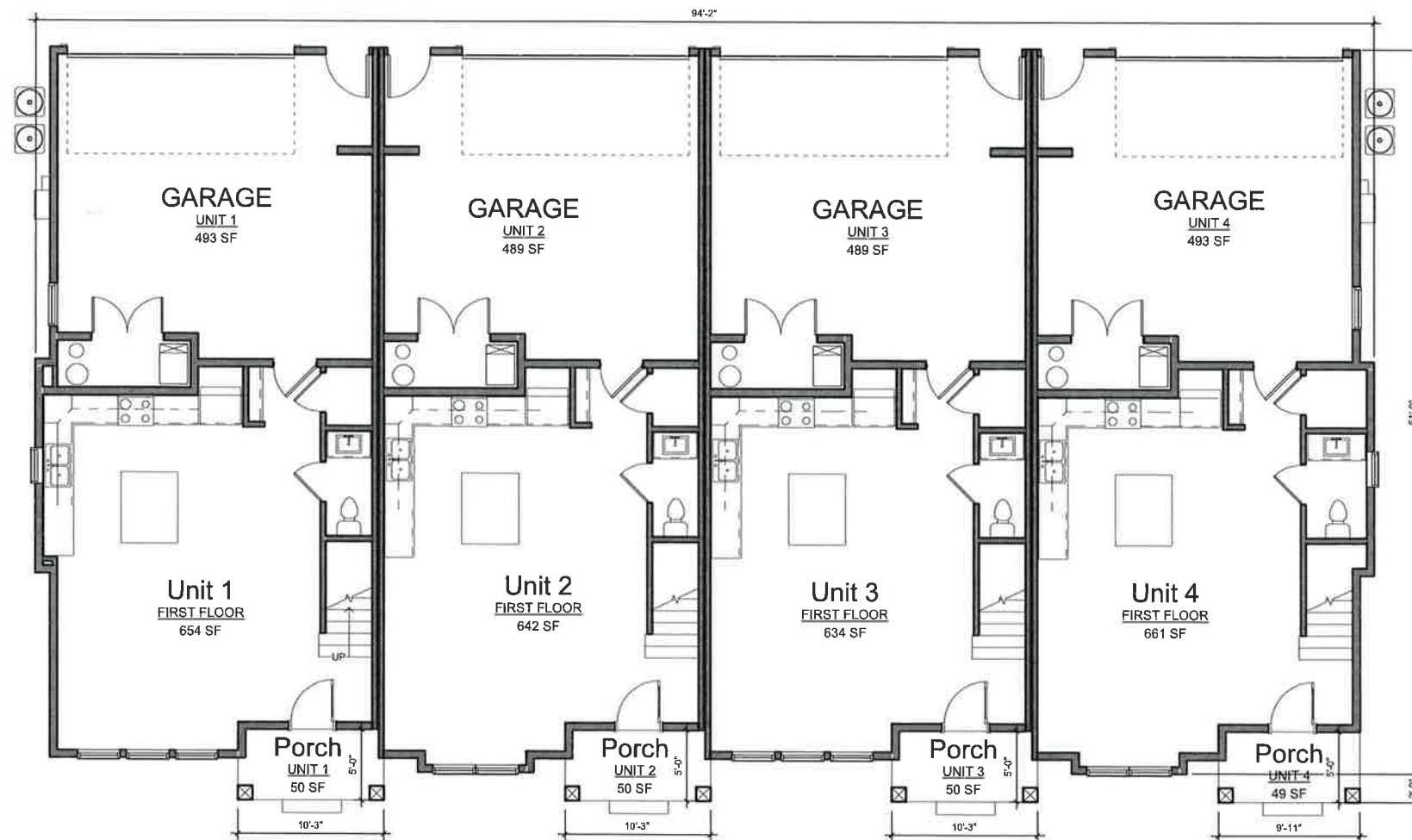


3 FRONT ELEVATION
SCALE: 3/16" = 1'-0"

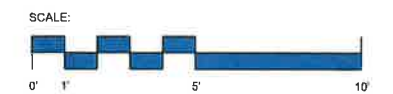
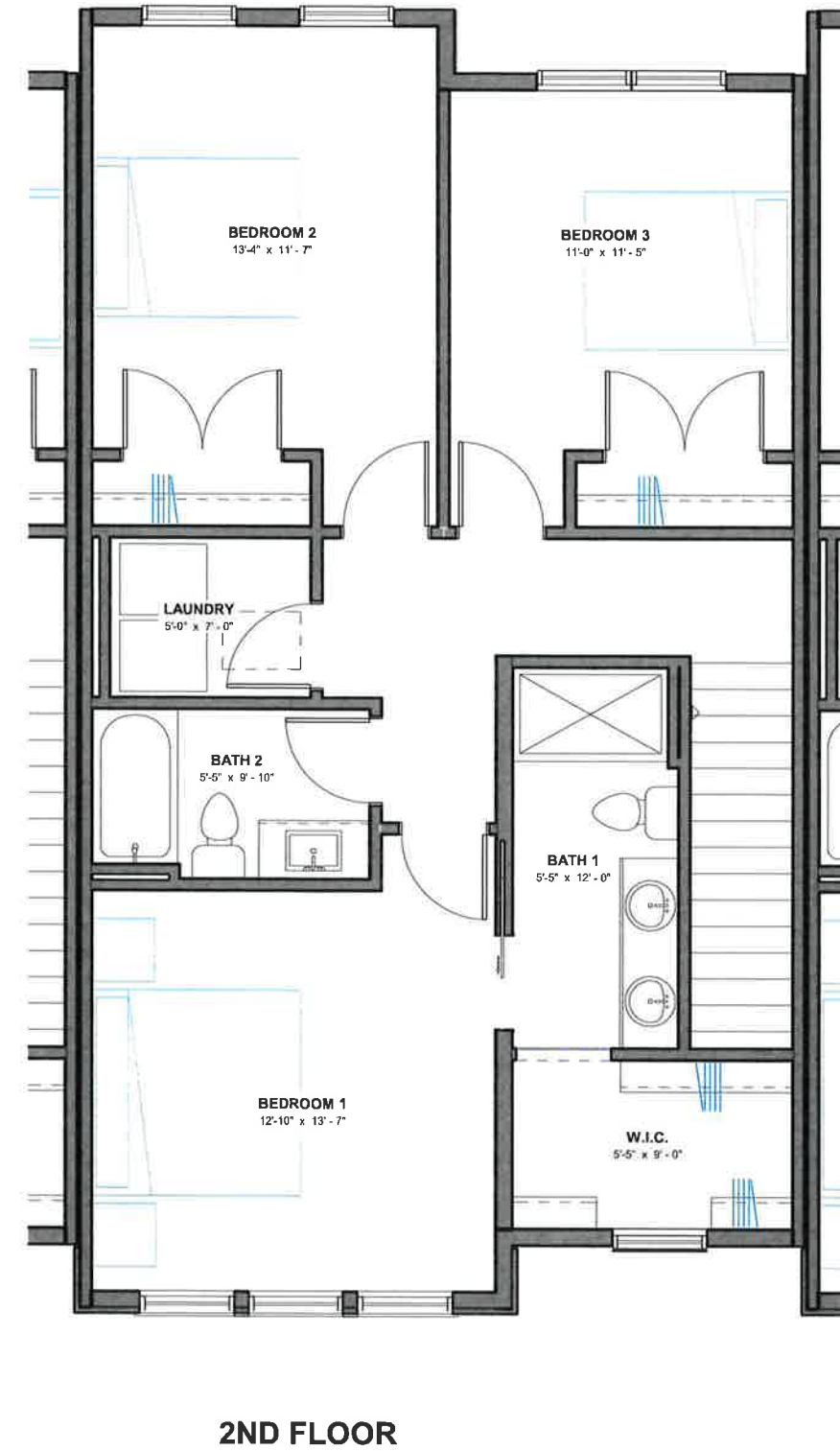
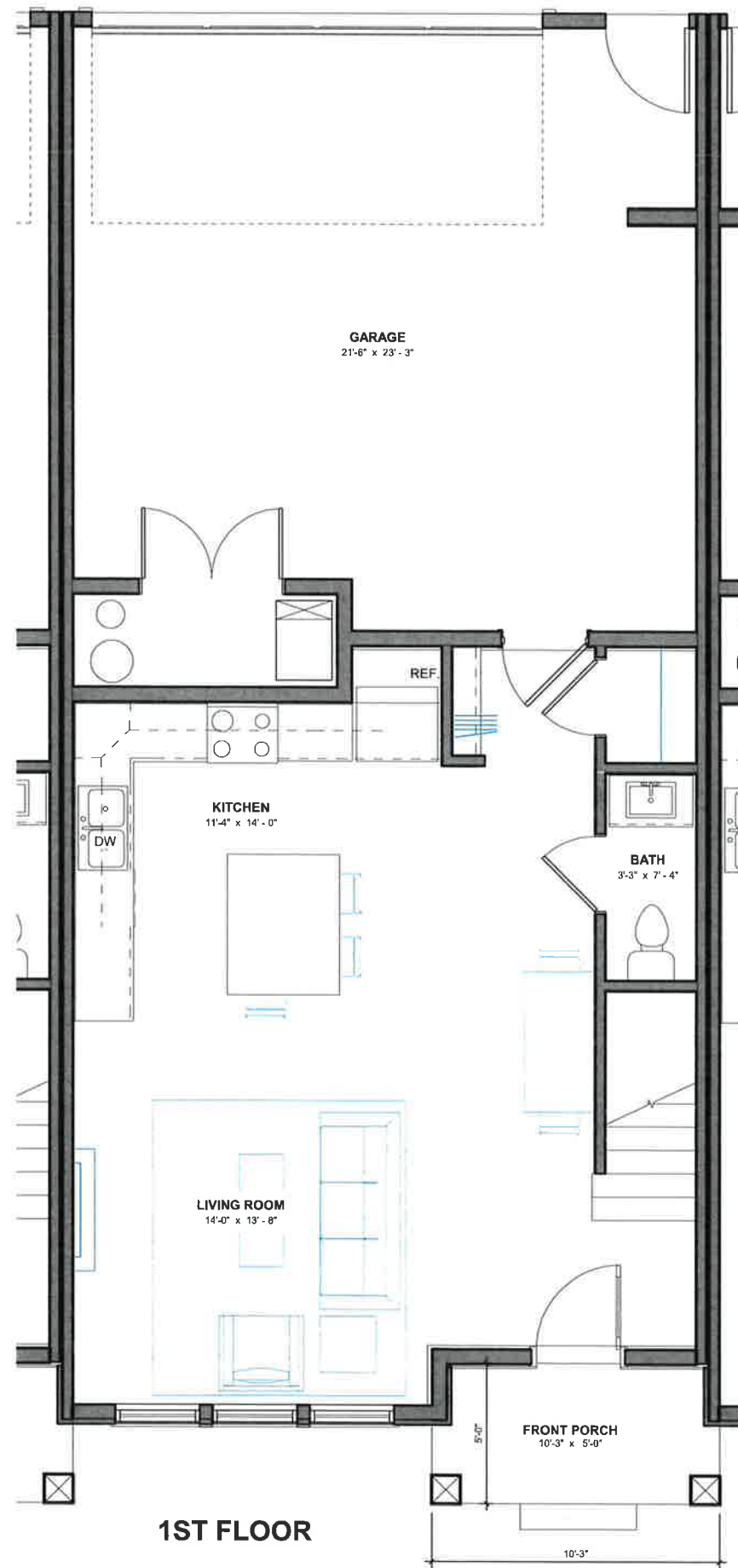




2 2ND FLOOR PLAN
SCALE: 3/16" = 1'-0"



1 1ST FLOOR PLAN
SCALE: 3/16" = 1'-0"



A RESOLUTION OF THE PLANNING AND ZONING COMMISSION

NO. PZC-24-033

WHEREAS, pursuant to the provisions of Title 9, Zoning and Title 10, Subdivision Regulations of the West Des Moines Municipal Code, the applicant and property owner, JLP Holdings, LLC, requests approval of a Preliminary Plat for the purpose of subdividing that approximately 4.78-acre property located at 930 76th Street as depicted on the location map included in the staff report. The applicant proposes the creation of 38 footprint lots for multi-family townhome development, 4 outlots for common areas, 2 outlots for private streets, and 2 outlots for stormwater management; and

WHEREAS, additionally, pursuant to the provisions of Title 9, Zoning of the West Des Moines Municipal Code, the applicant and property owner, JLP Holdings, LLC, requests approval of the Site Plan for the 4.78-acre property located at 930 76th Street for the purpose of constructing a 38-unit multi-family townhome development and associated site improvements; and

WHEREAS, the Preliminary Plat complies with Iowa Code Chapters 354 and 414, the Comprehensive Plan and City Code; and

WHEREAS, the Site Plan complies with the findings stated in the applicable provisions of Title 9, Chapter 1, the Comprehensive Plan and City Code.

NOW THEREFORE, the Planning and Zoning Commission of the City of West Des Moines recommends the City Council approve the Preliminary Plat and Site Plan (PPSP-006320-2024), subject to compliance with all the conditions of approval as stated in the staff report, including conditions added at the meeting, and attached hereto as Exhibit "A", if applicable.

PASSED AND ADOPTED on July 8, 2024.

Tina Shaw, Chair
Planning and Zoning Commission

I HEREBY CERTIFY that the foregoing resolution was duly adopted by the Planning and Zoning Commission of the City of West Des Moines, Iowa, at a regular meeting on July 8, 2024, by the following vote:

AYES:

NAYS:

ABSTENTIONS:

ABSENT:

ATTEST:

Recording Secretary

Exhibit A: Conditions of Approval

1. The Parkland Dedication Agreement shall be executed by the developer and provided to staff for consideration by City Council with the associated Final Plat.