

**CITY OF WEST DES MOINES  
STAFF REPORT COMMUNICATION**

**Meeting Date:** July 22, 2024

**ITEM:** Forest Place (formerly known as High Point), Generally north and south of future Stagecoach Drive extension and between S. 81<sup>st</sup> Street and the future extension of S. 85<sup>th</sup> Street – Approve a Preliminary Plat to create 101 lots for Single Family Residential development, 4 Outlots and 5 Street Lots – High Point Group, LLC – PP-006459-2024

**Resolution: Approval of Preliminary Plat**

**Background:** Jared Murray with Civil Design Advantage, on behalf of the applicant and property owner, High Point Group, LLC, requests approval of a Preliminary Plat for the approximately 76-acre property generally located north and south of future Stagecoach Drive extension and between S. 81<sup>st</sup> Street and the future extension of S. 85<sup>th</sup> Street. The applicant proposes to subdivide the property into one hundred and one (101) lots for Single Family residential development, one (1) outlot for future development, one (1) outlot for open space, one (1) outlot for storm water detention, one (1) outlot for Parkland Dedication and five (5) street lots to be dedicated to the city.

In October of 2023, this property was originally preliminary platted as High Point and included an area of medium density residential detached townhomes in the more-less triangular area at the southwest corner of Stagecoach Drive and S 81<sup>st</sup> Street along with single family lots to the south. The developer of the detached townhomes (to have been called Amare Vita) dropped out and the applicant is now proposing single family homes with a cul-de-sac in that portion of the preliminary plat. This new preliminary plat will include this area and now the entire development will be called Forest Place.

**Staff Review & Comment:**

- **Financial Impact:** As has been done with the balance of Stagecoach Drive, the developer and city have established an agreement for reimbursement of Stagecoach Drive construction costs through TIF.
- **Key Development Aspects:**
  1. **Residential Driveway Access to S. 81<sup>st</sup> Street:** S. 81<sup>st</sup> Street is classified as a Major Collector and the only north-south roadway within the Superblock connecting anticipated Riverview Dr (new Booneville Rd) to Mills Civic Parkway. City Code 9-15-6.B.2, "*prohibits the backing or backward movement of vehicles from a driveway...onto a major thoroughfare, including all thoroughfares designated as arterial or major collector streets.*" The anticipated traffic volumes, speeding of vehicles and both horizontal and vertical curves are safety concerns. Those lots fronting S. 81<sup>st</sup> Street will need to implement a house &/or driveway design in such a manner to allow drivers to utilize a forward movement when entering onto S. 81<sup>st</sup> Street. The developer has indicated that as part of the sale of a lot they will raise awareness of the forward only movement and that the. Notes have been added to the plat drawing. Staff recommends a condition of approval to ensure awareness of this aspect.

2. Parkland Dedication: On October 16, 2023, the City Council approved and accepted a Parkland Dedication Agreement for the then anticipated High Point and Amare Vita developments for an intended 69 single family dwellings and 60 detached townhome dwellings. The townhome portion of the project is no longer occurring, and the developer is changing the townhome area to single family lots. The change in type and number of lots will necessitate the execution of a new Parkland Agreement. This new agreement will be provided to the City Council for approval and acceptance in the next month but separate from the Preliminary Plat.
3. Trail along S. 81<sup>st</sup> Street: The existing public trail on the west side of S 81<sup>st</sup> Street will be removed to accommodate sewer construction for the new lots along S 81<sup>st</sup> St. Replacement of the existing trail in conformance with City standards is required prior to accepting the public improvements for the subdivision.

The remaining 828 lineal feet of proposed public trail extension on the west side of S 81<sup>st</sup> Street to the south property line will be built by the developer through a 60/40 Trail Agreement being prepared and presented to City Council for approval along with the Parkland Dedication Agreement. Said trail construction in conformance with City standards is required prior to accepting the public improvements for the subdivision and issuance of any building permits for the lots which the trail crosses.

4. Water & Road Extensions Before Building Permits: Stagecoach Drive between S 78<sup>th</sup> Street and S 81<sup>st</sup> Street is being constructed by the city and is almost complete. The developer will be extending Stagecoach Drive from S 81<sup>st</sup> Street to S 85<sup>th</sup> Street and constructing S 85<sup>th</sup> Street south of Stagecoach Drive tying it back into S 81<sup>st</sup> Street. Water lines will be constructed in conjunction with the extension of these roads. The looping of water from its existing location in S. 81<sup>st</sup> Street will be critical for appropriate flows for home sprinkler systems and adequate fire flows. All construction of homes on the single-family lots will be prohibited until the previously identified roads are constructed and water lines are installed and appropriately looped and operational to the Fire Marshal's and WDM Water Works satisfaction. Once these roads and the water lines are useable, building permits may be issued for homes in the area bounded by S 85<sup>th</sup> Street, S 81<sup>st</sup> Street, and Stagecoach Drive, as well as corner lots on the south side of S 85<sup>th</sup> Street. No building permits for lots south of S 85<sup>th</sup> Street, except for specific corner lots, will be issued until either Stagecoach Drive from S 85<sup>th</sup> Street to S 88<sup>th</sup> Street is constructed or S 81<sup>st</sup> Street is extended to Riverview Drive and Riverview Dr is constructed to either S 88<sup>th</sup> Street or S Jordan Creek Parkway. (This developer is responsible for extending S 81<sup>st</sup> to the south boundary of the plat. Riverview Drive is located on the adjoining property not owned by this Forest Place development group.)
- Traffic Impact Study Findings: The site is expected to generate less traffic than previously estimated. The planned roadway geometry is expected to have adequate capacity under full-build conditions. Lane configurations for the major roadways downstream of the site, as recommended in earlier traffic studies, remain adequate.

S 81st Street is a major collector street adjacent to the site. Ultimately, as the area to the south develops in the future, it is expected that S 81st Street will continue south and tie into Riverview Drive. However, since S 85th Street no longer continues south to Riverview Drive as previously planned, S 81st Street is the only north/south street connecting

Stagecoach Drive and Riverview Drive. Therefore, more traffic is loaded onto S 81st Street and the street will have higher speeds associated with a higher amount of through traffic. The walkability and bikeability of the area are also reduced with a lower density of streets. The higher traffic volumes and higher speeds through the single-family residential subdivision will likely generate complaints from future residents as properties to the south develop and S 81st Street is extended south. Concerns with individual lot access onto S. 81st Street is noted above.

S 85th Street is a minor collector street that is planned to be extended south from its current terminus. The street is planned to curve to the southeast and intersect with S 81st Street. Due to the curvature of the street, traffic going to/from the northwest may treat S 85th Street as a cut-through to travel between Stagecoach Drive and S 81st Street to avoid the future traffic signal.

- *Developer Responsibilities:* In conjunction with platting of the lots, the developer will be responsible for construction and/or installation of all required public and private infrastructure improvements necessary to support development. The following items are known improvements; additional improvements may be required in response to development proposals:
  1. Streets:
    - Stagecoach Drive from S. 81<sup>st</sup> Street to future S. 85<sup>th</sup> Street
    - S. 85<sup>th</sup> Street from the north property line to S. 81<sup>st</sup> Street
    - S 81<sup>st</sup> Street from its current terminus to the south boundary of the Forest Place property, including a temporary turnaround
    - Temporary turnaround (including an easement) at the west terminus of the future extension of Stagecoach Drive. This turnaround is on the adjacent Sunset Company, LC property to the west.
    - All interior roadways
- *Development & Planning Subcommittee:* The “superblock” area between S. Jordan Creek Parkway and S. 88<sup>th</sup> Street and between Booneville Road on the south and Stagecoach Drive on the north, which includes Forest Place (the subject development), and the proposed Village at Sugar Creek and Jordan Ridge developments were discussed at the Development & Planning Subcommittee meetings on June 7, 2021, and July 19, 2021. Residential types and density were the main points of discussion along with the question of entitlement of residential development for the area. Staff indicated a desire to ensure a wide range of housing types and price points would be developed within the area. At the July 19<sup>th</sup> meeting, staff provided a land use plan that met the needs of the pending developers while achieving a range of housing options.

At the August 7, 2023, meeting, staff presented the proposed preliminary plat for informational purposes only as an Upcoming Project. Mr. Miller raised concerns with road connectivity between his property and the development. At the September 18, 2023, meeting, road connections to the Jim Miller property immediately to the west of High Point was discussed. The Subcommittee requested staff facilitate a meeting between the property owners to resolve the matter. After a few meetings, High Point and the Millers were able to come to agreement with a road at the northern end that connects S. 85<sup>th</sup> Street to S. 88<sup>th</sup> Street across the Miller property. They did not come to an agreement about a connection point at the southern end of the High Point (now Forest Place) property.

At the July 15, 2024, meeting, the trail along the west side of S. 81<sup>st</sup> Street was discussed. At the meeting it was determined the trail should be installed as part of the of the public improvements associated with subdivision construction and prior to any building permit being issued.

- Plat Validity: Per City Code, the associated Final Plat must be presented to the City Council for approval within 12 months of the approval of this Preliminary Plat if surety is being posted for Public Improvements; or, within 18 months if Public Improvements are being constructed prior to Final Plat consideration. It is the responsibility of the developer to be aware of these deadlines and request an extension of the Preliminary Plat approval prior to the Preliminary Plat expiration date.

**Outstanding Issues:** There are no outstanding issues.

Planning and Zoning Commission Action:

Date: July 22, 2024

Vote:

Recommendation:

**Recommendation:** Approve the Preliminary Plat subject to the applicant meeting all City Code requirements, and the following conditions of approval:

1. The applicant/developer acknowledging that the appropriate road network will need to be constructed to support intended development and unless responsibilities are otherwise defined in a development agreement with the City, that the applicant/developer will be responsible for the implementation of the necessary roadways to serve their development. Furthermore, the applicant/developer acknowledging that development of any parcel being created with platting, may be restricted until adequate road and water infrastructure are completed to the satisfaction of the City's Fire Marshal. The restriction includes prohibiting above ground construction until the Fire Marshal determines appropriate accesses and water flows are installed and useable.
2. The developer acknowledging that vehicles backing out onto S. 81<sup>st</sup> Street is prohibited. The developer agrees to inform and require buyers of lots that front to S. 81<sup>st</sup> Street that all turns onto S. 81<sup>st</sup> Street are to be a forward movement, and the developer shall implement measures during the sale of the lot and their approval of a dwelling's layout on the lot to be such to ensure that the design of the garage(s) and driveway allow and promote vehicles to be able to orient for forward movement from the lot onto S. 81<sup>st</sup> Street.
3. The applicant acknowledging that a revised Parkland Dedication Agreement and 60/40 Trail Agreement will need to be executed for the ground within the Forest Place Preliminary Plat area.
4. The applicant acknowledging that the public trail will be constructed as part of the public improvements. The public improvements will need to be approved and accepted by the city prior to issuance of any building permits for lots which the trail crosses.

**Lead Staff Member: Brian Portz**

**Approval Meeting Dates:**

Planning and Zoning Commission	July 22, 2024
City Council	

**Staff Report Reviews:**

Planning & Zoning Commission	<input checked="" type="checkbox"/> Development Coordinator (or) <input checked="" type="checkbox"/> Director	<input checked="" type="checkbox"/> Legal Department
City Council	<input type="checkbox"/> Director <input type="checkbox"/> Appropriations/Finance	<input type="checkbox"/> Legal Department <input type="checkbox"/> Agenda Acceptance

**Publications (if applicable)**

Published In:	Des Moines Register Community Section
Date(s) Published	n/a
Date(s) of Mailed Notices	n/a

**Council Subcommittee Review (if applicable)**

Subcommittee	Development & Planning
Date Reviewed	6/7/2021, 7/19/2021, 8/7/2023, 9/18/2023, & 7/15/ 2024
Recommendation	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Split

# Location Map



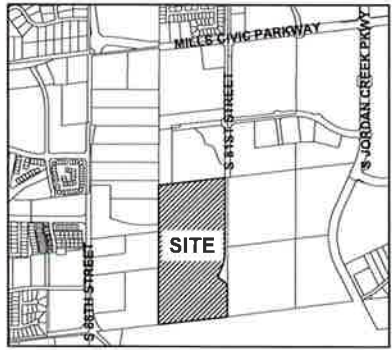


# PRELIMINARY PLAT FOR: FOREST PLACE

WEST DES MOINES, IOWA

PLANS INCLUDED ARE FOR ILLUSTRATIVE PURPOSES ONLY - APPROVED PLANS ON FILE WITH THE CITY

VICINITY MAP  
NOT TO SCALE



OWNER/APPLICANT

HIGH POINT GROUP, LLC  
CONTACT: JAKE RIED  
6205 MILLS CIVIC PARKWAY, SUITE 200  
PH: (515) 202-5690

ENGINEER / SURVEYOR

CIVIL DESIGN ADVANTAGE  
CONTACT: JARED MURRAY  
4121 NW URBANDALE DRIVE  
URBANDALE, IOWA 50322  
PH. (515) 369-4400

DATE OF SURVEY

JULY 29, 2022

ZONING

R-1: SINGLE-FAMILY RESIDENTIAL DISTRICT  
RH-1B: RESIDENTIAL HIGH DENSITY

COMPREHENSIVE LAND USE

MR - MIXED RESIDENTIAL

BULK REGULATIONS

R-1: SINGLE-FAMILY RESIDENTIAL DISTRICT

SETBACKS  
FRONT YARD = 30 FT  
REAR YARD = 35 FT  
SIDE YARD = 7 FT (14 FT TOTAL)

MINIMUM LOT WIDTH = 50 FT (ADDITIONAL 25 FT FOR CORNER LOTS)

MINIMUM LOT FRONTAGE = 40 FT

MINIMUM LOT AREA = 7,500 SF

BENCHMARKS

WDM\_BM\_#87  
3960± FEET WEST OF INTERSECTION OF SOUTH 88TH STREET AND 335TH STREET (DALLAS COUNTY), 3 FEET NORTH OF EAST/WEST FENCE, 10 FEET EAST OF NORTH/SOUTH FENCE, ON 335TH STREET ACROSS FROM THE HOUSE #3307 AND #3309. ELEVATION=167.68

WDM\_BM\_#88  
410± FEET WEST OF INTERSECTION OF S. JORDAN CREEK PARKWAY AND BOONEVILLE ROAD, 2 FEET NORTH OF EAST/WEST FENCE, SOUTH SIDE OF BOONEVILLE ROAD. ELEVATION=81.57

DEVELOPMENT SUMMARY

TOTAL AREA OF SITE = 76.15 ACRES (3,317,089 SF)

LEGEND

FEATURES

PROPOSED

- GROUND SURFACE CONTOUR
- TYPE SW-501 STORM INTAKE
- TYPE SW-502 STORM INTAKE
- TYPE SW-503 STORM INTAKE
- TYPE SW-505 STORM INTAKE
- TYPE SW-506 STORM INTAKE
- TYPE SW-512 STORM INTAKE
- TYPE SW-513 STORM INTAKE
- TYPE SW-401 STORM MANHOLE
- TYPE SW-402 STORM MANHOLE
- FLARED END SECTION
- TYPE SW-301 SANITARY MANHOLE
- STORM/SANITARY CLEANOUT
- WATER VALVE
- FIRE HYDRANT ASSEMBLY
- SIGN
- DETECTABLE WARNING PANEL
- SANITARY SEWER WITH SIZE
- STORM SEWER
- WATERMAIN WITH SIZE

EXISTING

- GROUND SURFACE CONTOUR
- SANITARY MANHOLE
- WATER VALVE BOX
- FIRE HYDRANT
- WATER CURB STOP
- WELL
- STORM SEWER MANHOLE
- STORM SEWER SINGLE INTAKE
- STORM SEWER DOUBLE INTAKE
- FLARED END SECTION
- DECIDUOUS TREE
- CONIFEROUS TREE
- DECIDUOUS SHRUB
- CONIFEROUS SHRUB
- ELECTRIC POWER POLE
- GUY ANCHOR
- STREET LIGHT
- POWER POLE W/ TRANSFORMER
- UTILITY POLE W/ LIGHT
- ELECTRIC BOX
- ELECTRIC TRANSFORMER
- ELECTRIC MANHOLE OR VAULT
- TRAFFIC SIGN
- TELEPHONE JUNCTION BOX
- TELEPHONE MANHOLE/VAULT
- TELEPHONE POLE
- GAS VALVE BOX
- CABLE TV JUNCTION BOX
- CABLE TV MANHOLE/VAULT
- MAIL BOX
- BENCHMARK
- SOIL BORING
- UNDERGROUND TV CABLE
- GAS MAIN
- FIBER OPTIC
- UNDERGROUND TELEPHONE
- OVERHEAD ELECTRIC
- UNDERGROUND ELECTRIC
- FIELD TILE
- SANITARY SEWER W/ SIZE
- STORM SEWER W/ SIZE
- WATER MAIN W/ SIZE

SURVEY

- SECTION CORNER
- 1/2" REBAR, YELLOW CAP #18680 (UNLESS OTHERWISE NOTED)
- ROW MARKER
- ROW RAIL
- PLATTED DISTANCE
- MEASURED BEARING & DISTANCE
- RECORDED AS
- DEED DISTANCE
- CALCULATED DISTANCE
- CURVE ARC LENGTH
- MINIMUM 100 YEAR FLOOD PROTECTION ELEVATION
- SECTION LINE
- 1/4 SECTION LINE
- 1/4 SECTION LINE
- EASEMENT LINE
- LOT LINE
- RIGHT OF WAY
- BUILDING SETBACK
- PLAT BOUNDARY

PROPERTY DESCRIPTION

THE EAST HALF OF THE NORTHWEST QUARTER OF SECTION 23, TOWNSHIP 78 NORTH, RANGE 26 WEST OF THE FIFTH PRINCIPAL MERIDIAN EXCEPT LOT 'A' AND OUTLOT 'W', FOREST POINTE PLAT 1, AN OFFICIAL PLAT AND EXCEPT LOT 'A', LOT 1 AND OUTLOT 'Z', FOREST POINTE PLAT 2, AN OFFICIAL PLAT, ALL IN THE CITY OF WEST DES MOINES, DALLAS COUNTY, IOWA.

JAMES & DEBORAH MILLER  
1390 S 88TH ST  
WEST DES MOINES, IA 50266

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1390 S 88TH ST  
WEST DES MOINES, IA 50266

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WEST DES MOINES, IA 50266

HOPE DEVELOPMENT & REALTY, LLC  
4500 WESTOWN PKWY STE 277  
WEST DES MOINES, IA 50266

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WEST DES MOINES, IA 50266

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4500 WESTOWN PKWY STE 277  
WEST DES MOINES, IA 50266

HOPE DEVELOPMENT & REALTY, LLC  
4500 WESTOWN PKWY STE 277  
WEST DES MOINES, IA 50266

SM CASCADES LLC  
2540 73RD ST  
URBANDALE, IA 50222

THE CASCADES AT JORDAN CREEK CONDOS  
8150 CASCADE HWY  
WEST DES MOINES, IA 50266

DR BOONVILLE, LLC  
2585 SE ENCOMPASS DR, SUITE 200  
WAUKEG, IA 50263

JORDAN RIDGE, LLC  
611 MONTICELLO DR  
BURLINGTON, IA 52601

JORDAN RIDGE, LLC  
8531 LONGMEADOW CT  
WEST DES MOINES, IA 50266

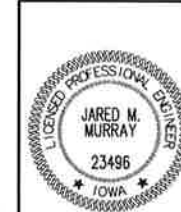
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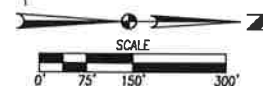
ETHEL ROBERT F LIVING TRUST  
1851 ASHWORTH RD  
WEST DES MOINES, IA 50265



I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

*Jared Murray*  
JARED M. MURRAY, P.E.  
DATE: 07/18/2024

LICENSE NUMBER 23496  
MY LICENSE RENEWAL DATE IS DECEMBER 31, 2025  
PAGES OR SHEETS COVERED BY THIS SEAL:  
ALL SHEETS



REVISIONS
FINAL SUBMITTAL
4TH SUBMITTAL
3RD SUBMITTAL
2ND SUBMITTAL
1ST SUBMITTAL

4121 NW URBANDALE DRIVE  
URBANDALE, IA 50322  
PHONE: (515) 369-4400

TECH: JDS  
ENGINEER: JMM



FOREST PLACE  
PRELIMINARY PLAT

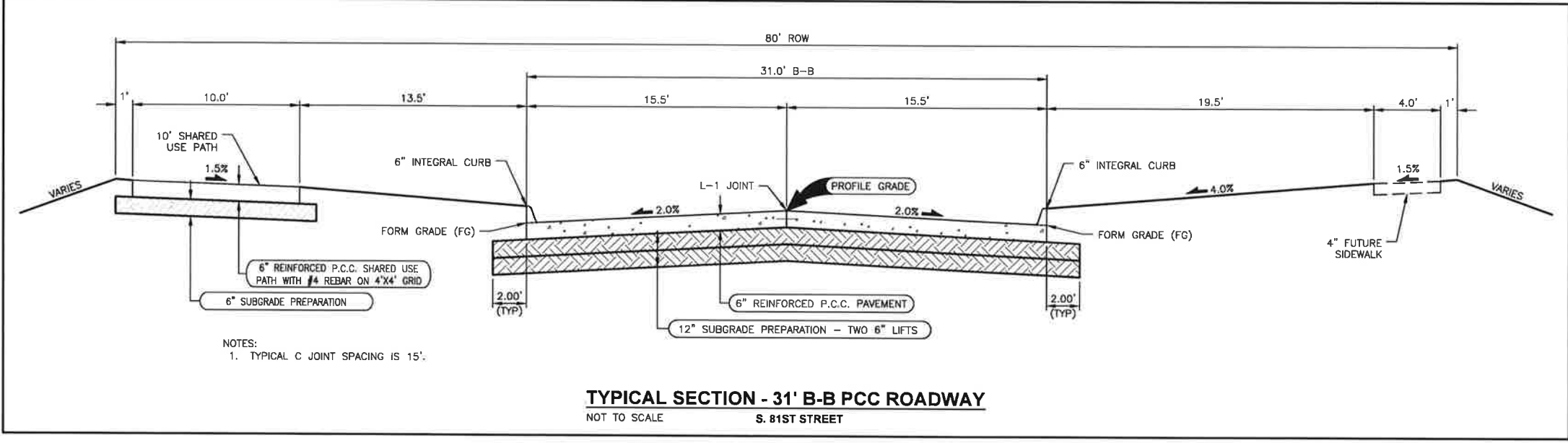
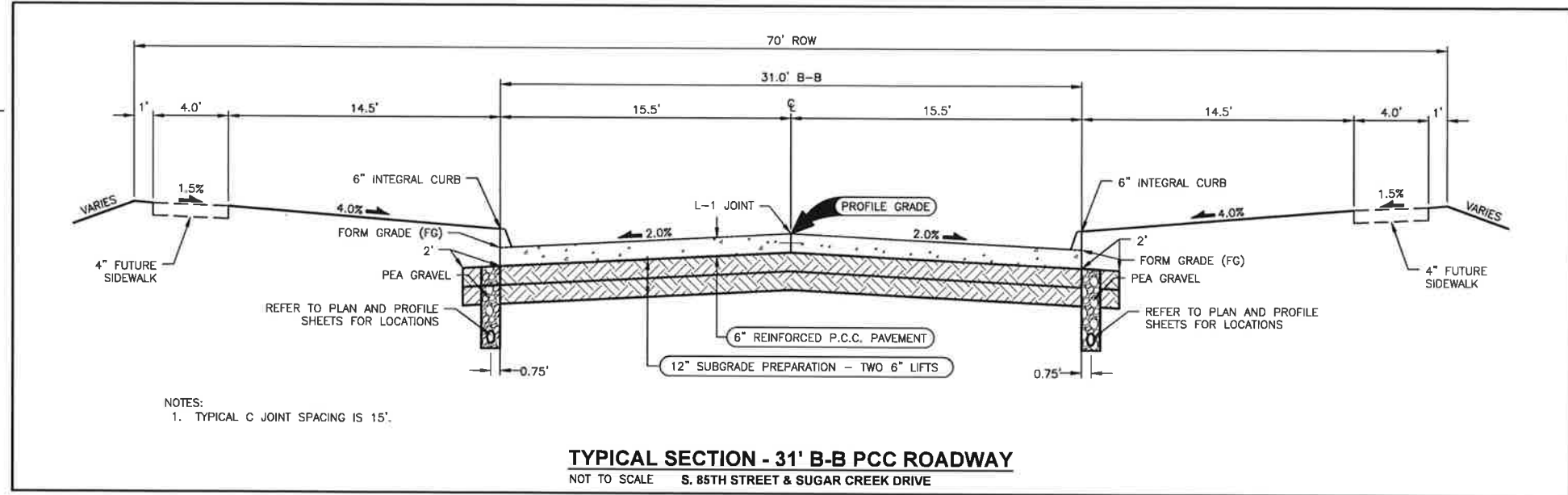
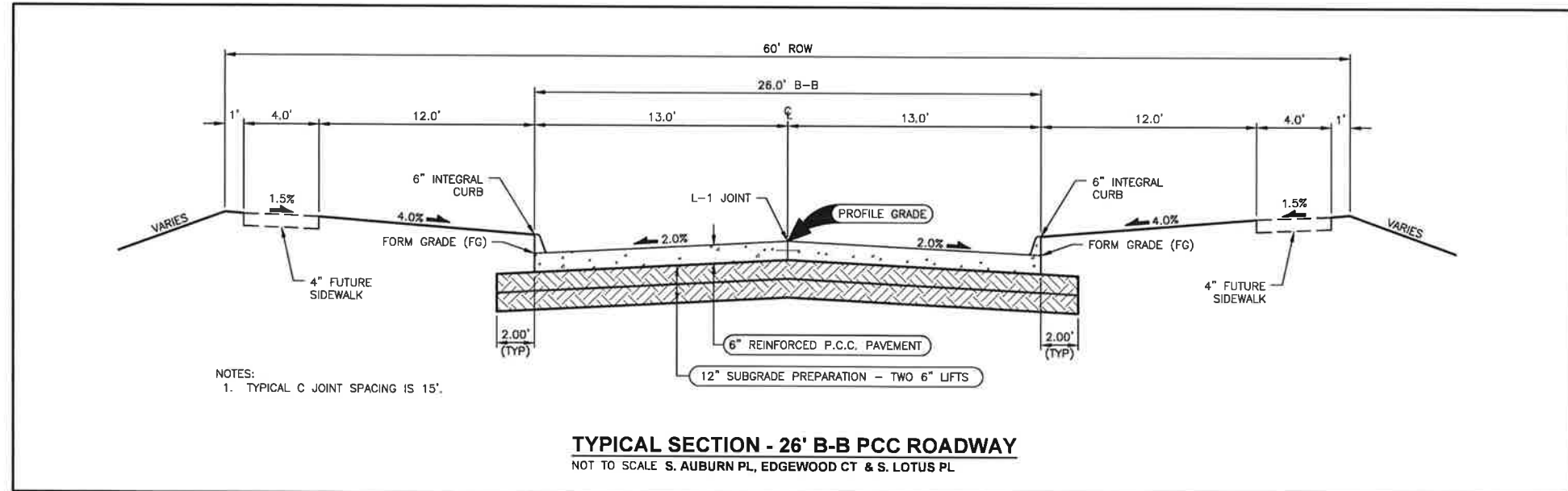


**NOTES**

- ALL WATER WORK, PUBLIC OR PRIVATE, SHALL BE DONE IN ACCORDANCE WITH THE 2023 EDITION OF WEST DES MOINES WATER WORKS STANDARD SPECIFICATIONS.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK OF ALL SUBCONTRACTOR(S) INVOLVED IN THE PROJECT.
- CONTACT BUILDING INSPECTION (515-222-3630) A MINIMUM OF 24 HOURS IN ADVANCE FOR PRIVATE UTILITY INSTALLATION INSPECTIONS.
- NO STRUCTURES, INCLUDING SHEDS, PLAY STRUCTURES, DECKS, GAZEBOS, ETC. MAY BE LOCATED WITHIN A BUFFER PARK.
- ALL CONSTRUCTION WITHIN PUBLIC R.O.W./EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH THE WEST DES MOINES STANDARD CONSTRUCTION SPECIFICATIONS FOR SUBDIVISIONS, DSM METRO DESIGN STANDARDS AND WDM ADDENDUMS.
- ALL WATER MAIN, SANITARY SEWER AND STORM SEWER ARE PUBLIC UNLESS OTHERWISE NOTED.
- ALL CONNECTIONS TO THE PUBLIC SEWERS SHALL BE CORE DRILLED.
- AT LEAST ONE WEEK PRIOR TO ANY CONSTRUCTION WITHIN PUBLIC R.O.W./EASEMENTS AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, THE CONTRACTOR SHALL CONTACT THE WDM ENGINEERING SERVICES (222-3475) TO SCHEDULE ANY REQUIRED INSPECTIONS. R.O.W. EXCAVATION PERMITS CAN BE OBTAINED AT THE PUBLIC SERVICES FACILITY (222-3480). IT IS IMPORTANT TO NOTE CITY APPROVAL OF THIS PLAN IS SUBJECT TO THE APPLICANT OBTAINING ALL NECESSARY EASEMENTS/AGREEMENTS AND APPLICABLE PERMITS.
- PRIOR TO CONSTRUCTION ANY PUBLIC IMPROVEMENTS ASSOCIATED WITH THIS SUBDIVISION, CONSTRUCTION PLANS FOR SAID IMPROVEMENTS NEED TO BE SUBMITTED TO AND APPROVED BY THE CITY ENGINEER.
- PROPERTY OWNER/DEVELOPER(S) WILL BE RESPONSIBLE FOR THE INSTALLATION OF SIDEWALKS ADJACENT TO ALL PUBLIC STREETS BORDERING THE PROPERTY.
- OUTLOTS ARE UNBUILDABLE AND WILL BE REPLATTED ONCE FUTURE DEVELOPMENT OCCURS.
- DISCHARGES FROM DEWATERING ACTIVITIES, INCLUDING DISCHARGES FROM DEWATERING OF TRENCHES AND EXCAVATIONS, ARE PROHIBITED UNLESS MANAGED BY APPROPRIATE CONTROLS.
- STABILIZATION OF DISTURBED AREAS MUST, AT A MINIMUM, BE INITIATED IMMEDIATELY WHENEVER ANY CLEARING, GRADING, EXCAVATING OR OTHER EARTH DISTURBING ACTIVITIES HAVE PERMANENTLY CEASED ON ANY PORTION OF THE SITE OR TEMPORARILY CEASED ON ANY PORTION OF THE SITE AND WILL NOT RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS. IN DROUGHT-STRIKEN AREAS AND AREAS THAT HAVE RECENTLY RECEIVED SUCH HIGH AMOUNTS OF RAIN THAT SEEDING WITH FIELD EQUIPMENT IS IMPOSSIBLE AND INITIATING VEGETATIVE STABILIZATION IMMEDIATELY IS INFEASIBLE, ALTERNATIVE STABILIZATION MEASURES MUST BE EMPLOYED AS SPECIFIED BY THE DEPARTMENT. IN LIMITED CIRCUMSTANCES, STABILIZATION MAY NOT BE REQUIRED IF THE INTENDED FUNCTION OF A SPECIFIC AREA OF THE SITE NECESSITATES THAT IF REMAIN DISTURBED.
- OFF-SITE VEHICLE TRACKING OF SEDIMENTS SHALL BE MINIMIZED.
- BACKING ONTO STAGECOACH DRIVE, S. 85TH STREET NORTH OF STAGECOACH DRIVE, OR S. 81ST STREET IS NOT ALLOWED.
- ANY MODIFICATIONS TO THE EXISTING 10' TRAIL ALONG OUTLOT 'W' AND LOTS 11-13 AND LOTS 91-94 WILL NEED CONNECTIONS/REPAIRS REPLACED BACK TO WEST DES MOINES CITY STANDARDS AS PART OF PLAT IMPROVEMENTS.
- CROSS SLOPES OF ALL TRAILS SHOULD NOT EXCEED 2%.
- HOMES 8,000 GROSS SQUARE FEET AND BIGGER REQUIRE FIRE SPRINKLER SYSTEMS IN ACCORDANCE WITH WEST DES MOINES FIRE CODE AND ADDENDUMS. GROSS SQUARE FOOTAGE IS MEASURED FROM THE OUTSIDE WALL OF THE ENTIRE STRUCTURE AND INCLUDES ALL LEVELS OF THE HOME INCLUDING THE GARAGE, ATTACHED CANOPIES, COVERED PORCHES AND STRUCTURES WITHIN 20 FEET.

**WEST DES MOINES WATER WORKS STANDARD NOTES:**

- ALL WATER WORK, PUBLIC OR PRIVATE, SHALL BE DONE IN ACCORDANCE WITH WEST DES MOINES WATER WORKS STANDARD SPECIFICATIONS.
- ANY WATER USE FROM A HYDRANT, PUBLIC OR PRIVATE, REQUIRES THE USE OF A WEST DES MOINES WATER WORKS HYDRANT METER. CALL 515-222-3465 TO RESERVE A METER.
- CONTRACTOR SHALL NOTIFY WEST DES MOINES WATER WORKS (515-222-3465) AT LEAST ONE WEEK PRIOR TO BUILDING CONSTRUCTION.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE WEST DES MOINES WATER WORKS AND THE CITY'S CROSS CONNECTION CONTROL/CONTAINMENT PROVISIONS.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER INSTALLATION OF AN APPROVED BACKFLOW PREVENTION ASSEMBLY(IES) FOR CONTAINMENT IN ALL NEW CONSTRUCTION. BACKFLOW PREVENTION TO BE INSTALLED PER CITY ORDINANCE 1297, 54-1998. CONTRACTOR SHALL NOTIFY THEIR PROJECT'S WEST DES MOINES WATER WORKS ENGINEERING TECHNICIAN (515-222-3465) A MINIMUM OF 24 HOURS AFTER INSTALLATION AND TESTING OF ALL BACKFLOW DEVICES TO SCHEDULE FINAL INSPECTION.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING STATIC WATER PRESSURE AND, WHERE REQUIRED BY THE CITY OF WEST DES MOINES PLUMBING CODE, SHALL INSTALL A PRESSURE REDUCING VALVE(S) WITH EXPANSION TANK(S). WHERE REQUIRED, PRESSURE REDUCING VALVE(S) AND TANK(S) SHALL BE INSTALLED DOWNSTREAM OF THE WATER METER(S) AND BACKFLOW PREVENTION ASSEMBLY(IES) SERVING THE SITE.



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 COMDWT: JMS  
 FILE DATE: 7/11/24  
 DATE PLOTTED: 7/11/2024 2:46 PM  
 PLOTTED BY: JARED MURRAY

DATE	07/18/2024
FINAL SUBMITTAL	07/15/2024
4TH SUBMITTAL	06/20/2024
3RD SUBMITTAL	06/05/2024
2ND SUBMITTAL	05/15/2024
1ST SUBMITTAL	

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**ESA**  
 CIVIL DESIGN ADVANTAGE  
 WEST DES MOINES, IOWA

**FOREST PLACE**  
 TYPICAL SECTIONS AND DETAILS

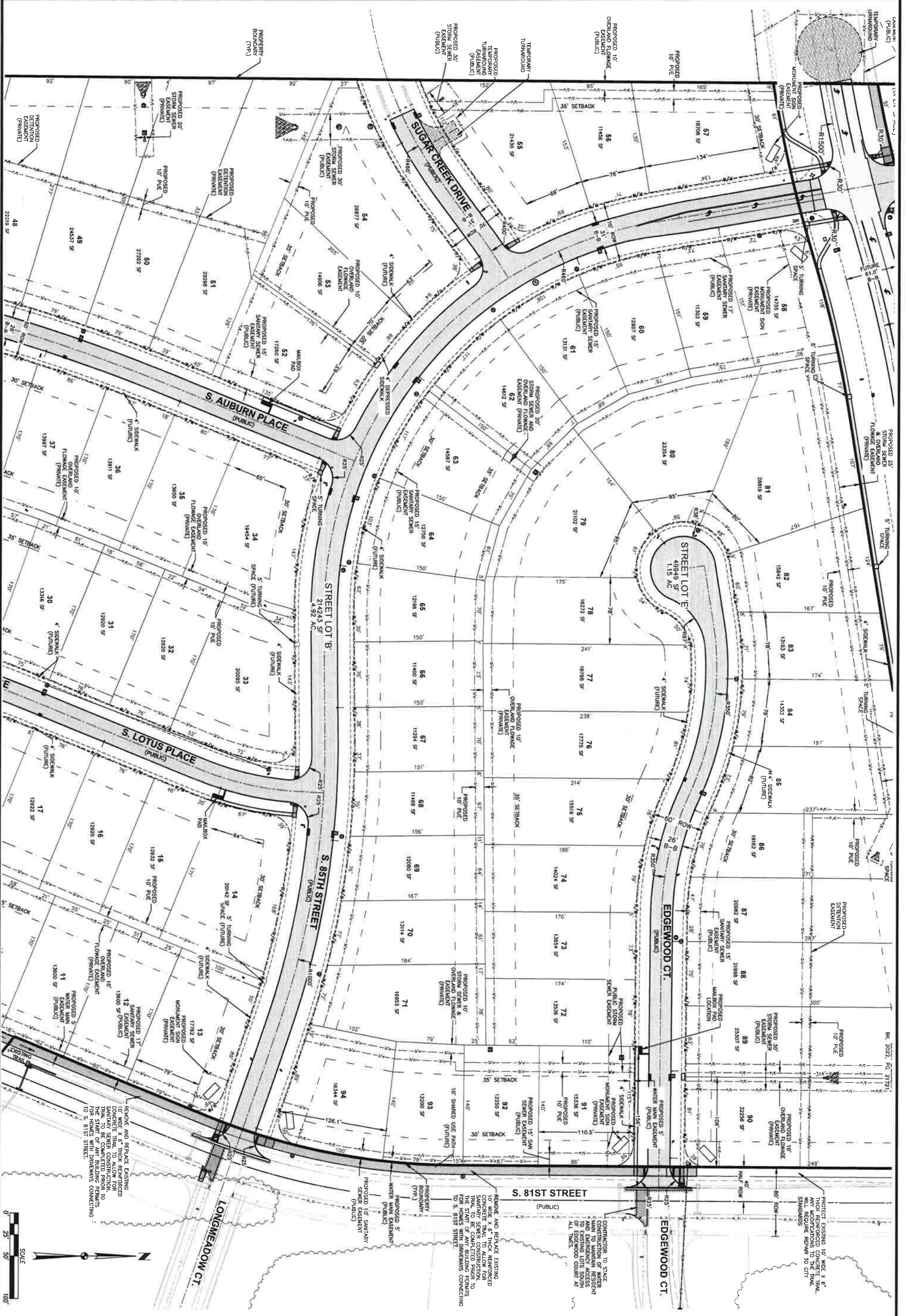
TECH: JDS  
 ENGINEER: JMM

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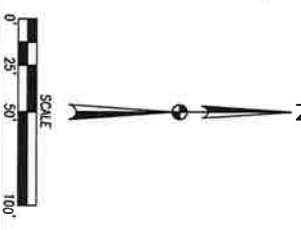
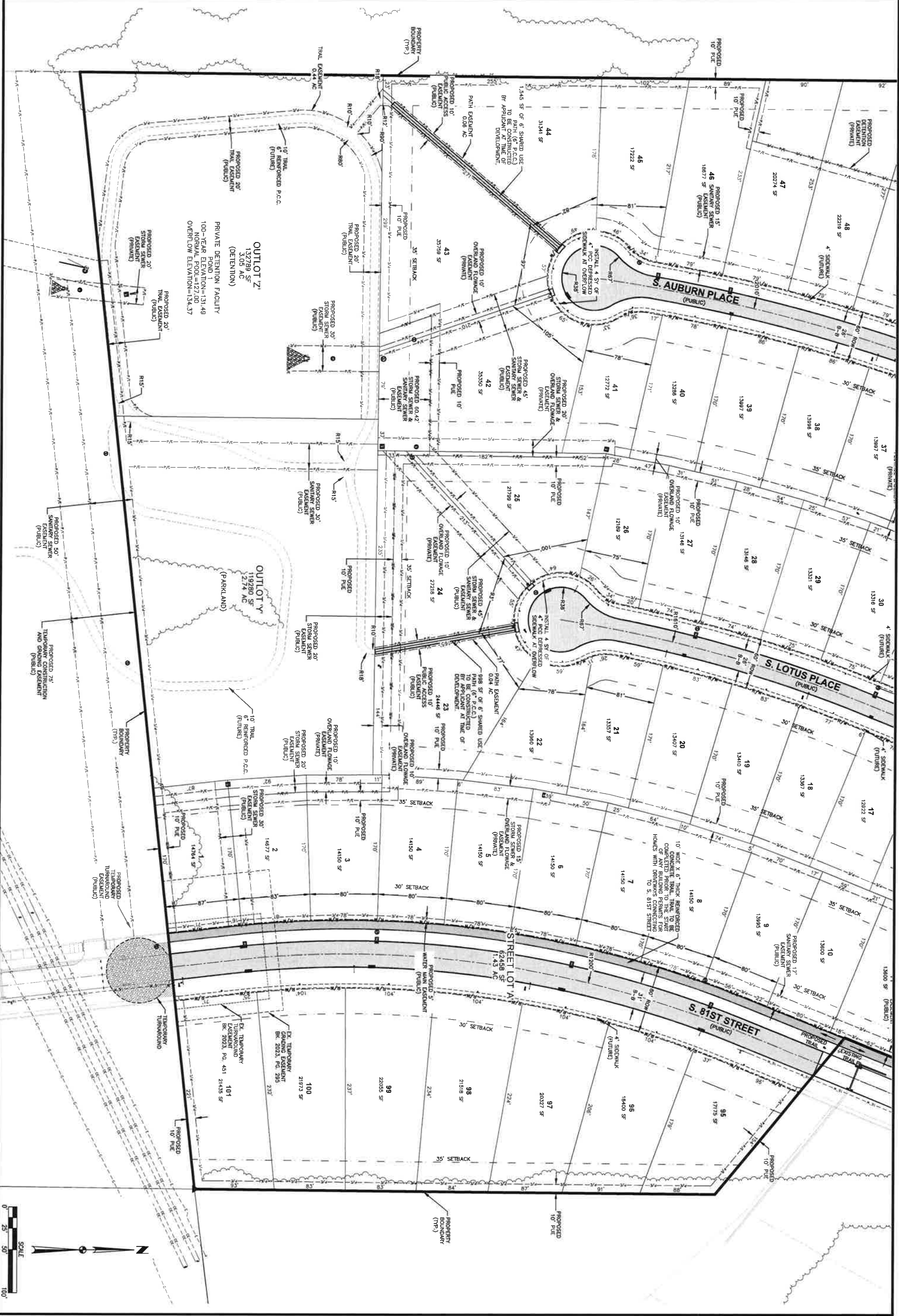
REMOVE AND REPLACE EXISTING CONCRETE 8" THICK REINFORCED SANITARY SEWER CONSTRUCTION. TRAIL TO BE COMPLETED PRIOR TO FOR HOME WITH DRAINAGE CONNECTING TO S. 81ST STREET.

REMOVE AND REPLACE EXISTING 10" WIDE X 6" THICK REINFORCED SANITARY SEWER CONSTRUCTION. TRAIL TO BE COMPLETED PRIOR TO THE START OF ANY BUILDING PERMITS TO S. 81ST STREET.

CONTRACTOR TO STAGE AND MAINTAIN ACCESS TO EXISTING LOTS SOUTH OF EDGEMOOD COURT AT ALL TIMES.

PROTECT EXISTING 10" WIDE X 6" SANITARY SEWER. ANY ADJUSTMENTS TO THE TRAIL WILL REQUIRE REPAIR TO CITY STORMWATER.

REVISIONS	DATE
FINAL SUBMITTAL	07/18/2024
4TH SUBMITTAL	07/15/2024
3RD SUBMITTAL	06/20/2024
2ND SUBMITTAL	06/05/2024
1ST SUBMITTAL	05/16/2024



**FOREST PLACE**  
**DIMENSION PLAN**

WEST DES MOINES, IOWA



CIVIL DESIGN ADVANTAGE

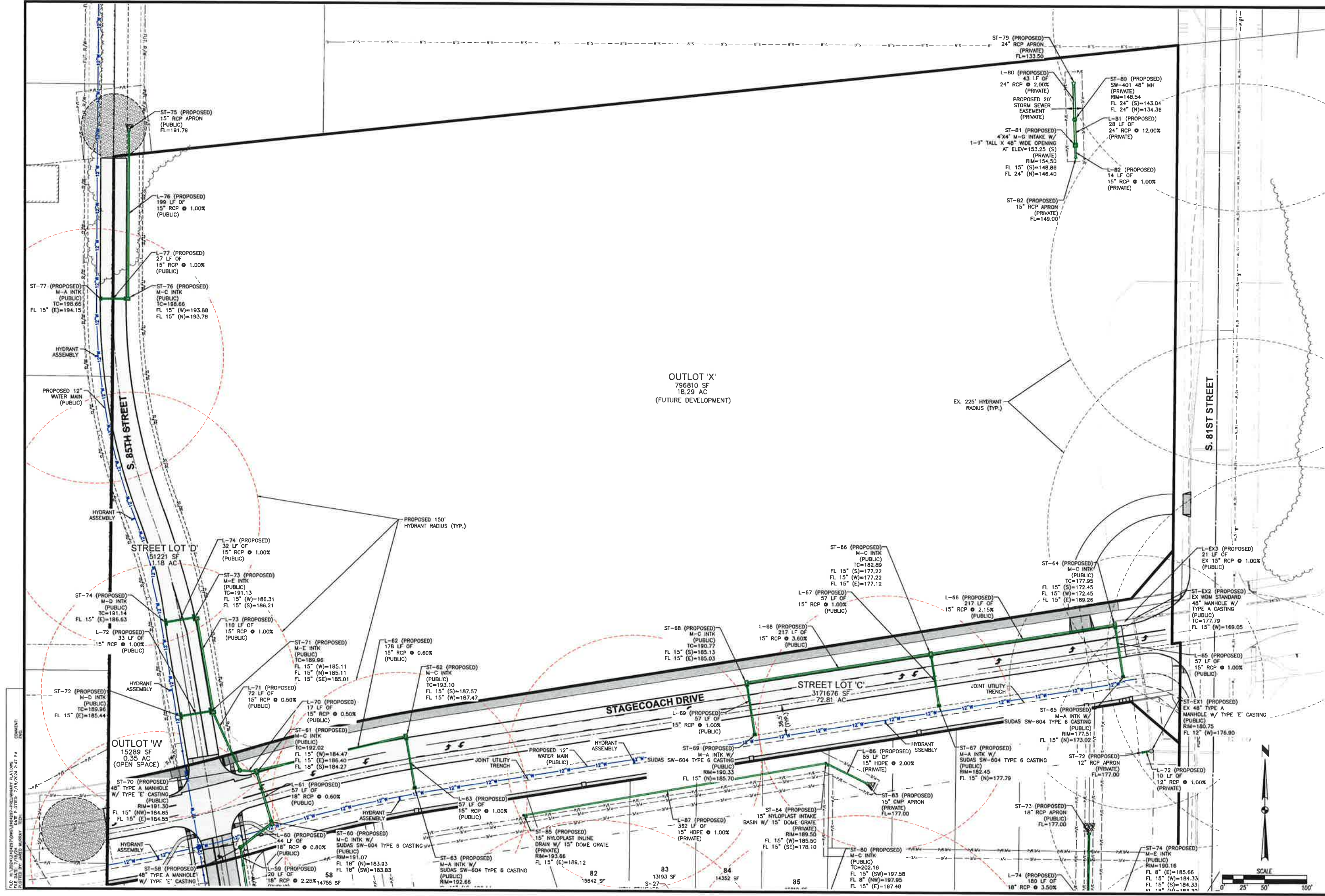
4121 NW URBANDALE DRIVE  
 URBANDALE, IA 50322  
 PHONE: (515) 369-4400

ENGINEER: JMM

TECH: JDS

REVISIONS	DATE
FINAL SUBMITTAL	07/18/2024
4TH SUBMITTAL	07/15/2024
3RD SUBMITTAL	06/20/2024
2ND SUBMITTAL	06/05/2024
1ST SUBMITTAL	05/16/2024

7/14  
 2404297



DATE	REVISIONS
07/18/2024	FINAL SUBMITTAL
07/15/2024	4TH SUBMITTAL
06/20/2024	3RD SUBMITTAL
06/05/2024	2ND SUBMITTAL
05/15/2024	1ST SUBMITTAL

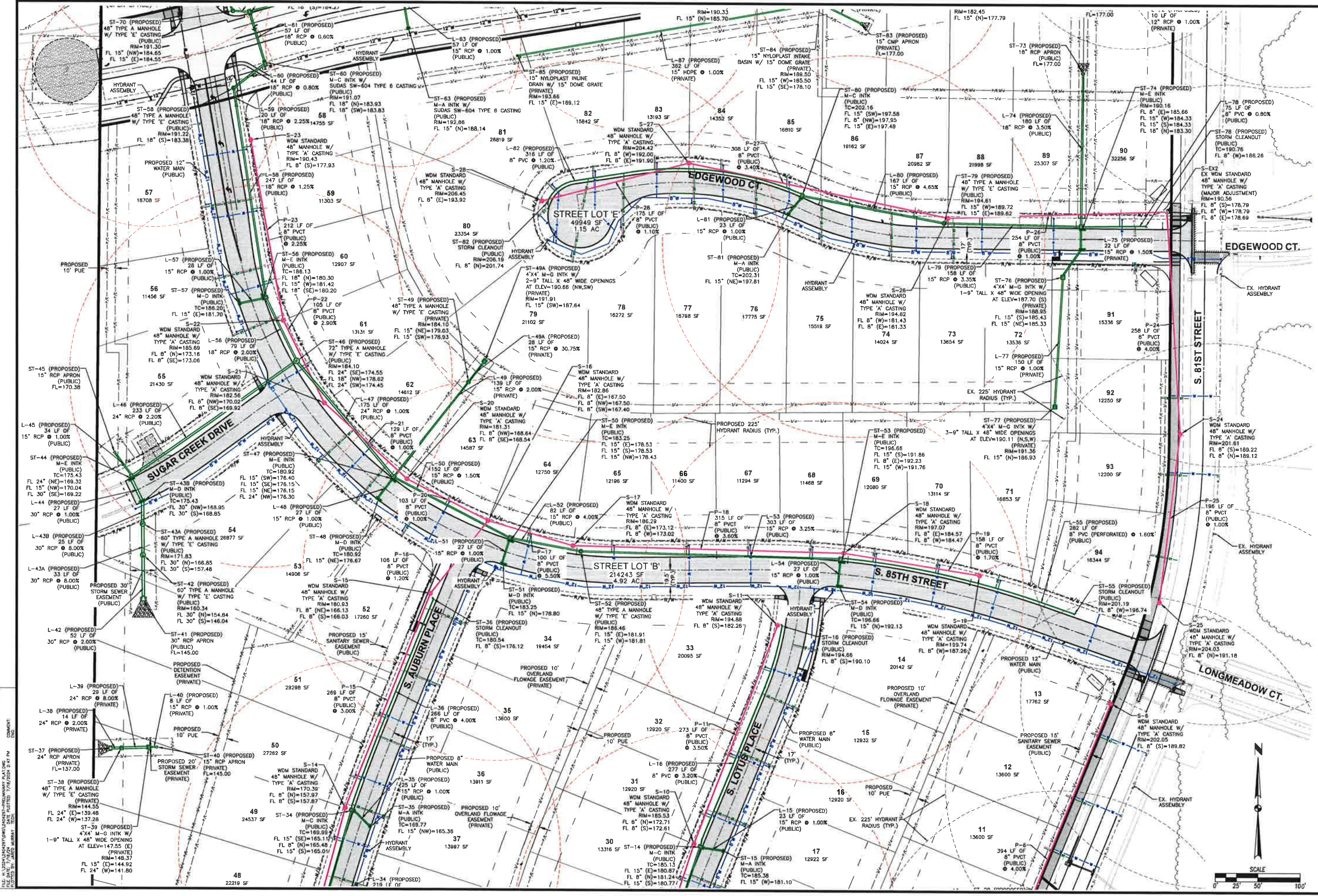
4121 NW URBANDALE DRIVE  
 URBANDALE, IA 50322  
 PHONE: (515) 369-4400



CIVIL DESIGN ADVANTAGE  
 ENGINEER: JMM  
 TECH: JDS

WEST DES MOINES, IOWA

**8**  
**14**  
 2404.297



DATE	REVISIONS
07/18/2024	FINAL SUBMITTAL
07/15/2024	4TH SUBMITTAL
06/20/2024	3RD SUBMITTAL
06/05/2024	2ND SUBMITTAL
05/16/2024	1ST SUBMITTAL

4121 NW URBANDALE DRIVE  
 URBANDALE, IA 50322  
 PHONE: (515) 369-4400



CIVIL DESIGN ADVANTAGE  
 WEST DES MOINES, IOWA

# FOREST PLACE UTILITY PLAN

9  
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TECH: JDS  
 ENGINEER: JMM



COMMENTS:  
 1. ALL UTILITIES SHOWN ARE BASED ON THE LATEST AVAILABLE RECORD DRAWINGS.  
 2. FIELD SURVEY WAS CONDUCTED ON 7/16/2024 BY JMM.  
 3. PLOTTED BY JMM.  
 4. DATE PLOTTED: 7/18/2024 2:45 PM  
 5. PLOTTED BY: JMM







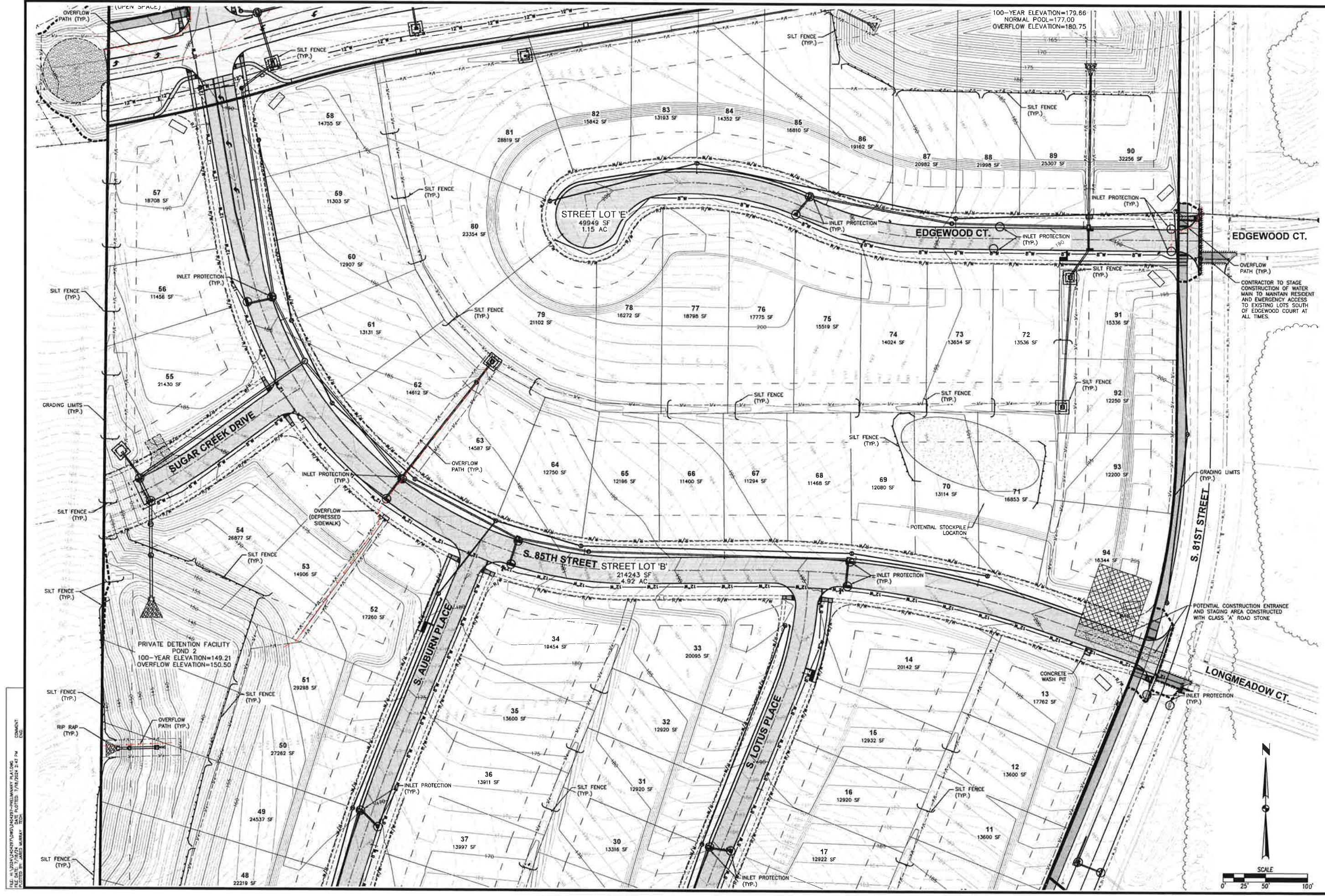
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**FOREST PLACE**  
**GRADING / EROSION CONTROL PLAN**  
 WEST DES MOINES, IOWA



4121 NW URBANDALE DRIVE  
 URBANDALE, IA 50322  
 PHONE: (515) 369-4400  
 ENGINEER: JMM  
 TECH: JDS

REVISIONS	DATE
FINAL SUBMITTAL	07/18/2024
4TH SUBMITTAL	07/15/2024
3RD SUBMITTAL	06/20/2024
2ND SUBMITTAL	06/05/2024
1ST SUBMITTAL	05/16/2024



FILE: \\S:\WORK\PROJECTS\FOREST PLACE\DWG\1214243.PLT  
 FILE: \\S:\WORK\PROJECTS\FOREST PLACE\DWG\1214243.PLT  
 PLOTTED BY: JAMES MURPHY, TECH  
 DATE: 05/16/2024 2:42 PM  
 COMMENT: NONE

REVISIONS	DATE
FINAL SUBMITTAL	07/18/2024
4TH SUBMITTAL	07/15/2024
3RD SUBMITTAL	06/05/2024
2ND SUBMITTAL	06/05/2024
1ST SUBMITTAL	05/16/2024

4121 NW URBANDALE DRIVE  
 URBANDALE, IA 50322  
 PHONE: (515) 369-4400



CIVIL DESIGN ADVANTAGE  
 WEST DES MOINES, IOWA

**FOREST PLACE**  
**GRADING / EROSION CONTROL PLAN**

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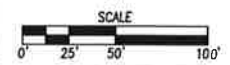
ENGINEER: JMM  
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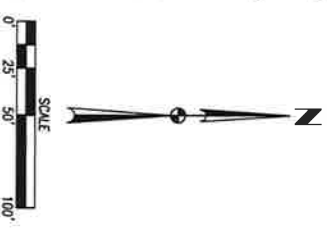
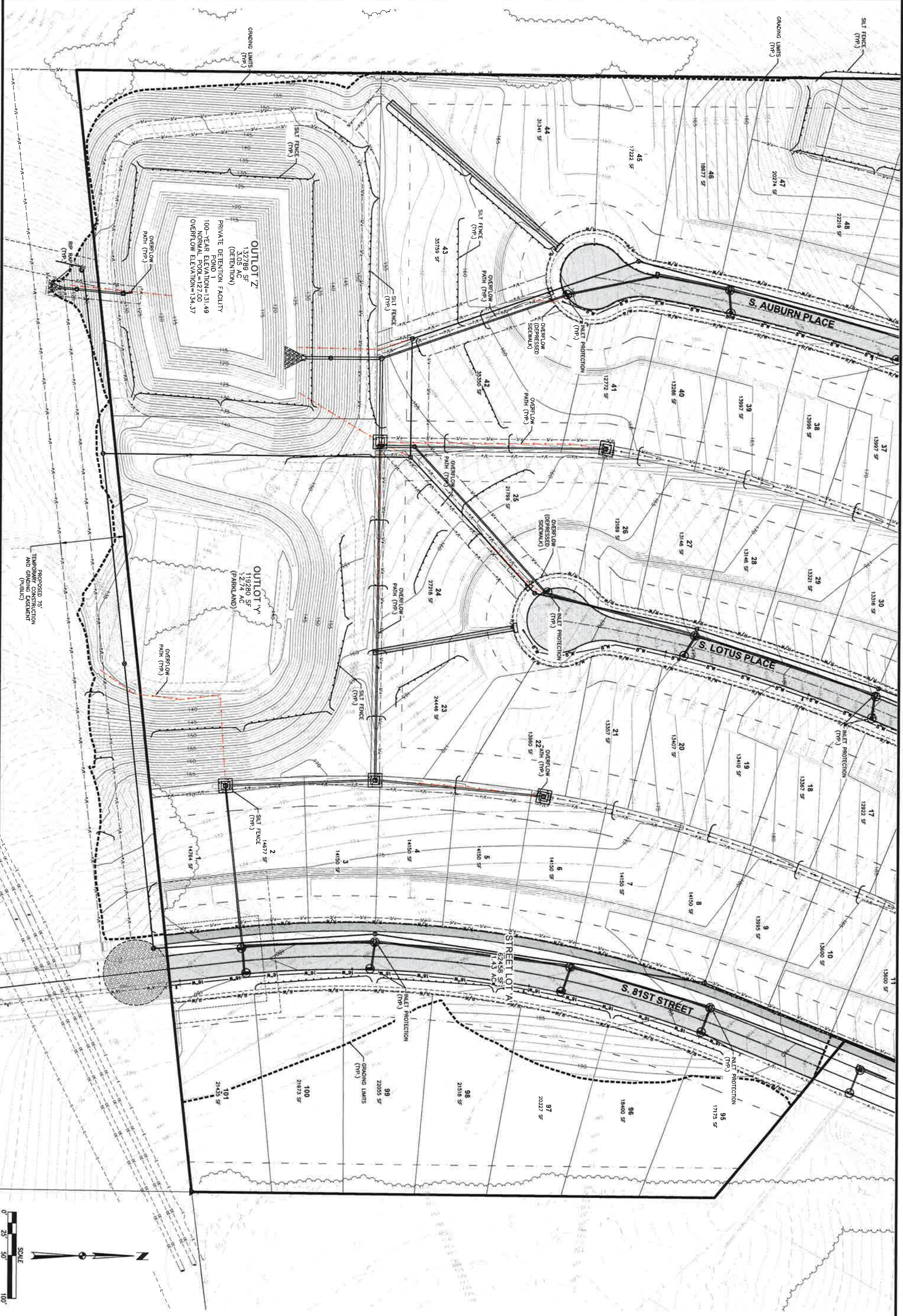
CONTRACTOR TO STAGE CONSTRUCTION OF WATER MAIN TO MAINTAIN RESIDENT AND EMERGENCY ACCESS TO EXISTING LOTS SOUTH OF EDGEWOOD COURT AT ALL TIMES.

POTENTIAL CONSTRUCTION ENTRANCE AND STAGING AREA CONSTRUCTED WITH CLASS "A" ROAD STONE

100-YEAR ELEVATION=179.66  
 NORMAL POOL=177.00  
 OVERFLOW ELEVATION=180.75

PRIVATE DETENTION FACILITY POND 2  
 100-YEAR ELEVATION=149.21  
 OVERFLOW ELEVATION=150.50





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**2404.297**

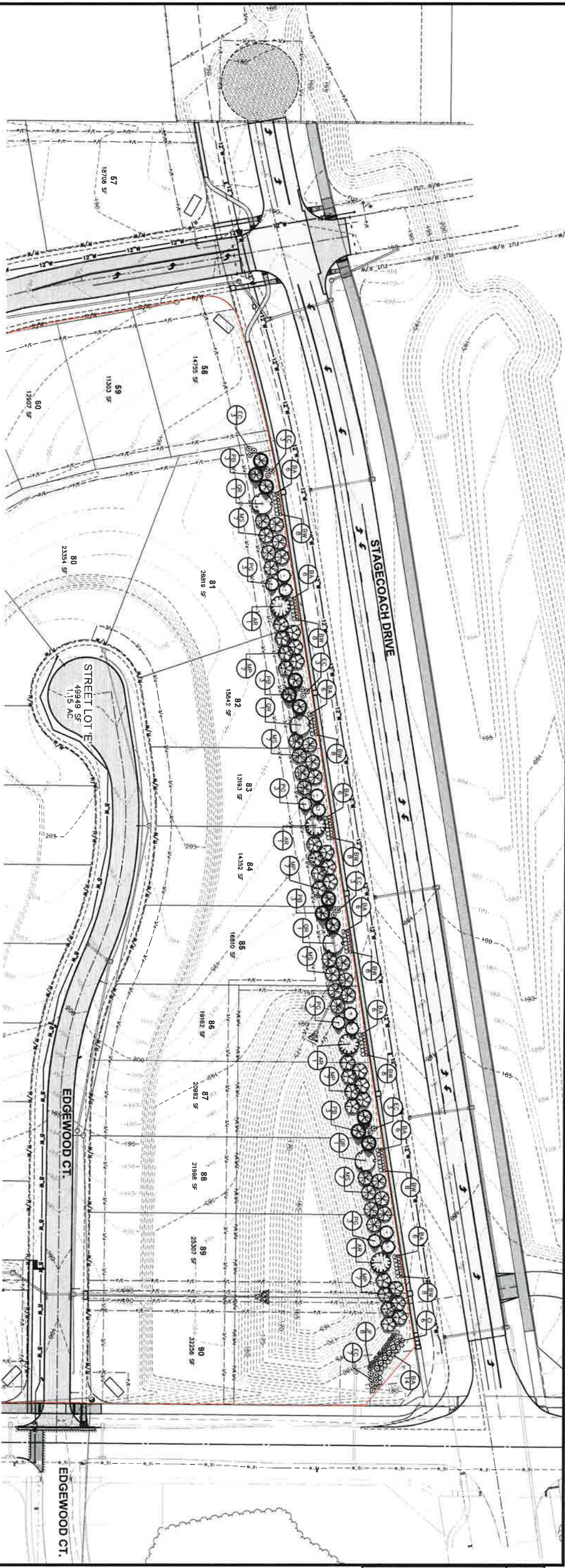
**FOREST PLACE**  
**GRADING / EROSION CONTROL PLAN**  
 WEST DES MOINES, IOWA



4121 NW URBANDALE DRIVE  
 URBANDALE, IA 50322  
 PHONE: (515) 369-4400

ENGINEER: JMM  
 TECH: JDS

REVISIONS	DATE
FINAL SUBMITTAL	07/18/2024
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2ND SUBMITTAL	06/05/2024
1ST SUBMITTAL	05/16/2024



**LANDSCAPE NOTES**

1. LOCATE ALL UTILITIES BEFORE ANY PLANTING BEGINS.
2. ALL CONSTRUCTION SHALL CONFORM TO THE MOST RECENT EDITION OF THE WEST DES MOINES STANDARDS FOR CONSTRUCTION.
3. STANDARDS FOR CONSTRUCTION OF PLANT MATERIAL SHALL CONFORM TO THE MOST CURRENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1.
4. ALL PLANT MATERIAL SHALL BE HEALTHY SPECIMENS WITHOUT DEFOLIATION, VIDS AND OPEN CHARACTER OF GROWTH OF THE SPECIES AND VARIETY.
5. SOO ALL AREAS ADJACENT TO BUILDINGS, SEED (TYPE 1) OR SOO ALL OTHER DISTURBED AREAS AS DIRECTED BY OWNER.
6. BACKFILL TO TOP OF CURB (MINUS 1 1/2" FOR SOO, IF REQD).
7. MULCHING IN ALL PLANTING BEDS PER MANUFACTURER'S RECOMMENDATIONS AND IN ALL PLANTING BEDS TO A (MIN) DEPTH OF 3". ALL GROUPS OF MORE THAN ONE SHRUB SHALL BE MULCHED IN A CONTINUOUS BED.
8. MULCHING IN ALL PLANTING BEDS PER MANUFACTURER'S RECOMMENDATIONS AND IN ALL PLANTING BEDS TO A (MIN) DEPTH OF 3". ALL GROUPS OF MORE THAN ONE SHRUB SHALL BE MULCHED IN A CONTINUOUS BED.
9. ALL PLANT QUANTITIES ARE SHOWN FOR INFORMATION ONLY. THE DRAWING SHALL PREVAIL, IF ANY CONFLICTS ARISE.
10. ALL DEBERS SPALLED IN THE PUBLIC ROW SHALL BE PICKED UP BY THE CONTRACTOR AT THE END OF INSTALLATION.
11. CONTRACTOR SHALL WARRANT ALL PLANT MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF INSTALLATION.
12. CONTRACTOR SHALL BE PLANTED IN ANY CITY OF WEST DES MOINES PUBLIC UTILITY EASEMENT.

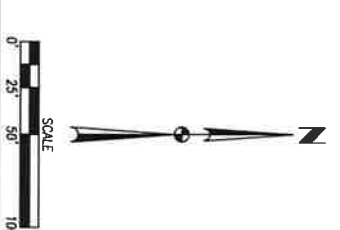
**30' BUFFER REQUIREMENTS**

- A LANDSCAPED AND BOUND AREA OF NOT LESS THAN THIRTY FEET (30') IN WIDTH COMPRISED OF LANDSCAPE PLANTINGS.
- THE EQUIVALENT OF ONE OVERSTORY TREE OR UPRIGHT EVERGREEN TREE, TWO (2) UNDERSTORY TREES AND SIX (6) SHRUBS SHALL BE PROVIDED PER THIRTY FIVE (35) SQUARE FEET OF BUFFER AREA.
- OF THE REQUIRED NUMBER OF TREES WITHIN A BUFFER, A MINIMUM OF FIFTY PERCENT (50%) SHALL BE EVERGREEN.

**30' BUFFER REQUIREMENTS**

- 166 LF OF BUFFER
- REQUIRED:  
 OVERSTORY OR EVERGREEN TREES = 27 TREES  
 UNDERSTORY TREES = 54 TREES  
 SHRUBS = 162 SHRUBS
- PROVIDED:  
 OVERSTORY OR EVERGREEN TREES = 32 TREES  
 UNDERSTORY TREES = 56 TREES  
 SHRUBS = 162 SHRUBS
- PLANT SUBSTITUTIONS**
- (2) ORNAMENTAL TREES = (1) OVERSTORY TREE OR EVERGREEN
  - (10) SHRUBS = (1) UNDERSTORY TREE
- NO MORE THAN ONE OF THE REQUIRED PLANT TYPE MAY BE SUBSTITUTED.

PLANT SCHEDULE	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONDITION AND SIZE
OVERSTORY TREES	57	1	Black Hills Spruce	<i>Picea glauca densata</i>	18" H, 6" HEIGHT
OVERSTORY TREES	58	1	Colorado Blue Spruce	<i>Picea pungens</i>	18" H, 6" HEIGHT
OVERSTORY TREES	59	1	Spring Snow Crab Apple	<i>Malus x 'Spring Snow'</i>	18" H, 1.5" CALIPER
OVERSTORY TREES	60	1	Spring Snow Crab Apple	<i>Malus x 'Spring Snow'</i>	18" H, 1.5" CALIPER
OVERSTORY TREES	81	1	Red Oak	<i>Quercus rubra</i>	18" H, 2" CALIPER
OVERSTORY TREES	82	1	Red Oak	<i>Quercus rubra</i>	18" H, 2" CALIPER
OVERSTORY TREES	83	1	White Pine	<i>Pinus strobus</i>	18" H, 1.5" CALIPER
OVERSTORY TREES	84	1	White Pine	<i>Pinus strobus</i>	18" H, 1.5" CALIPER
OVERSTORY TREES	85	1	White Pine	<i>Pinus strobus</i>	18" H, 1.5" CALIPER
OVERSTORY TREES	86	1	White Pine	<i>Pinus strobus</i>	18" H, 1.5" CALIPER
OVERSTORY TREES	87	1	White Pine	<i>Pinus strobus</i>	18" H, 1.5" CALIPER
OVERSTORY TREES	88	1	White Pine	<i>Pinus strobus</i>	18" H, 1.5" CALIPER
OVERSTORY TREES	89	1	White Pine	<i>Pinus strobus</i>	18" H, 1.5" CALIPER
OVERSTORY TREES	90	1	White Pine	<i>Pinus strobus</i>	18" H, 1.5" CALIPER
UNDERSTORY TREES	101	1	Red Oak	<i>Quercus rubra</i>	18" H, 2" CALIPER
UNDERSTORY TREES	102	1	Red Oak	<i>Quercus rubra</i>	18" H, 2" CALIPER
UNDERSTORY TREES	103	1	Red Oak	<i>Quercus rubra</i>	18" H, 2" CALIPER
UNDERSTORY TREES	104	1	Red Oak	<i>Quercus rubra</i>	18" H, 2" CALIPER
UNDERSTORY TREES	105	1	Red Oak	<i>Quercus rubra</i>	18" H, 2" CALIPER
UNDERSTORY TREES	106	1	Red Oak	<i>Quercus rubra</i>	18" H, 2" CALIPER
UNDERSTORY TREES	107	1	Red Oak	<i>Quercus rubra</i>	18" H, 2" CALIPER
UNDERSTORY TREES	108	1	Red Oak	<i>Quercus rubra</i>	18" H, 2" CALIPER
UNDERSTORY TREES	109	1	Red Oak	<i>Quercus rubra</i>	18" H, 2" CALIPER
UNDERSTORY TREES	110	1	Red Oak	<i>Quercus rubra</i>	18" H, 2" CALIPER
UNDERSTORY TREES	111	1	Red Oak	<i>Quercus rubra</i>	18" H, 2" CALIPER
UNDERSTORY TREES	112	1	Red Oak	<i>Quercus rubra</i>	18" H, 2" CALIPER
UNDERSTORY TREES	113	1	Red Oak	<i>Quercus rubra</i>	18" H, 2" CALIPER
UNDERSTORY TREES	114	1	Red Oak	<i>Quercus rubra</i>	18" H, 2" CALIPER
UNDERSTORY TREES	115	1	Red Oak	<i>Quercus rubra</i>	18" H, 2" CALIPER
UNDERSTORY TREES	116	1	Red Oak	<i>Quercus rubra</i>	18" H, 2" CALIPER
UNDERSTORY TREES	117	1	Red Oak	<i>Quercus rubra</i>	18" H, 2" CALIPER
UNDERSTORY TREES	118	1	Red Oak	<i>Quercus rubra</i>	18" H, 2" CALIPER
UNDERSTORY TREES	119	1	Red Oak	<i>Quercus rubra</i>	18" H, 2" CALIPER
UNDERSTORY TREES	120	1	Red Oak	<i>Quercus rubra</i>	18" H, 2" CALIPER
UNDERSTORY TREES	121	1	Red Oak	<i>Quercus rubra</i>	18" H, 2" CALIPER
UNDERSTORY TREES	122	1	Red Oak	<i>Quercus rubra</i>	18" H, 2" CALIPER
UNDERSTORY TREES	123	1	Red Oak	<i>Quercus rubra</i>	18" H, 2" CALIPER
UNDERSTORY TREES	124	1	Red Oak	<i>Quercus rubra</i>	18" H, 2" CALIPER
UNDERSTORY TREES	125	1	Red Oak	<i>Quercus rubra</i>	18" H, 2" CALIPER
UNDERSTORY TREES	126	1	Red Oak	<i>Quercus rubra</i>	18" H, 2" CALIPER
UNDERSTORY TREES	127	1	Red Oak	<i>Quercus rubra</i>	18" H, 2" CALIPER
UNDERSTORY TREES	128	1	Red Oak	<i>Quercus rubra</i>	18" H, 2" CALIPER
UNDERSTORY TREES	129	1	Red Oak	<i>Quercus rubra</i>	18" H, 2" CALIPER
UNDERSTORY TREES	130	1	Red Oak	<i>Quercus rubra</i>	18" H, 2" CALIPER
UNDERSTORY TREES	131	1	Red Oak	<i>Quercus rubra</i>	18" H, 2" CALIPER
UNDERSTORY TREES	132	1	Red Oak	<i>Quercus rubra</i>	18" H, 2" CALIPER
UNDERSTORY TREES	133	1	Red Oak	<i>Quercus rubra</i>	18" H, 2" CALIPER
UNDERSTORY TREES	134	1	Red Oak	<i>Quercus rubra</i>	18" H, 2" CALIPER
UNDERSTORY TREES	135	1	Red Oak	<i>Quercus rubra</i>	18" H, 2" CALIPER
UNDERSTORY TREES	136	1	Red Oak	<i>Quercus rubra</i>	18" H, 2" CALIPER
UNDERSTORY TREES	137	1	Red Oak	<i>Quercus rubra</i>	18" H, 2" CALIPER
UNDERSTORY TREES	138	1	Red Oak	<i>Quercus rubra</i>	18" H, 2" CALIPER
UNDERSTORY TREES	139	1	Red Oak	<i>Quercus rubra</i>	18" H, 2" CALIPER
UNDERSTORY TREES	140	1	Red Oak	<i>Quercus rubra</i>	18" H, 2" CALIPER
UNDERSTORY TREES	141	1	Red Oak	<i>Quercus rubra</i>	18" H, 2" CALIPER
UNDERSTORY TREES	142	1	Red Oak	<i>Quercus rubra</i>	18" H, 2" CALIPER
UNDERSTORY TREES	143	1	Red Oak	<i>Quercus rubra</i>	18" H, 2" CALIPER
UNDERSTORY TREES	144	1	Red Oak	<i>Quercus rubra</i>	18" H, 2" CALIPER
UNDERSTORY TREES	145	1	Red Oak	<i>Quercus rubra</i>	18" H, 2" CALIPER
UNDERSTORY TREES	146	1	Red Oak	<i>Quercus rubra</i>	18" H, 2" CALIPER
UNDERSTORY TREES	147	1	Red Oak	<i>Quercus rubra</i>	18" H, 2" CALIPER
UNDERSTORY TREES	148	1	Red Oak	<i>Quercus rubra</i>	18" H, 2" CALIPER
UNDERSTORY TREES	149	1	Red Oak	<i>Quercus rubra</i>	18" H, 2" CALIPER
UNDERSTORY TREES	150	1	Red Oak	<i>Quercus rubra</i>	18" H, 2" CALIPER



**A RESOLUTION OF THE PLANNING AND ZONING COMMISSION**

**NO. PZC-24-038**

**WHEREAS**, pursuant to the provisions of Title 9, Zoning and Title 10, Subdivision Regulations of the West Des Moines Municipal Code, the applicant and property owner, High Point Group, LLC, requests approval of the Forest Place Preliminary Plat for the purpose of subdividing that approximately 76-acre property generally located north and south of future Stagecoach Drive extension and between S. 81<sup>st</sup> Street and the future extension of S. 85<sup>th</sup> Street as depicted on the location map included in the staff report. The applicant proposes the creation of one-hundred and one (101) lots for Single Family development, one (1) outlot for future development, one (1) outlot for open space, one (1) outlot for storm water detention, one (1) outlot for Parkland Dedication and five (5) street lots to be dedicated to the city; and

**WHEREAS**, the Preliminary Plat complies with Iowa Code Chapters 354 and 414, the Comprehensive Plan and City Code.

**NOW THEREFORE**, the Planning and Zoning Commission of the City of West Des Moines recommends the City Council approve the Forest Place Preliminary Plat (PP-006459-2024) subject to compliance with all the conditions of approval as stated in the staff report, including conditions added at the meeting, and attached hereto as Exhibit "A", if applicable.

**PASSED AND ADOPTED** on July 22, 2024.

---

Tina Shaw, Chair  
Planning and Zoning Commission

I HEREBY CERTIFY that the foregoing resolution was duly adopted by the Planning and Zoning Commission of the City of West Des Moines, Iowa, at a regular meeting held on July 22, 2024, by the following vote:

AYES:  
NAYS:  
ABSTENTIONS:  
ABSENT:

ATTEST:

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Recording Secretary