

**CITY OF WEST DES MOINES  
STAFF REPORT COMMUNICATION**

**Meeting Date:** August 12, 2024

**ITEM:** Forest Place (formerly known as High Point), Generally north and south of future Stagecoach Drive extension and between S. 81<sup>st</sup> Street and the future extension of S. 85<sup>th</sup> Street – Approve a Preliminary Plat to create 101 lots for Single Family Residential development, 4 Outlots and 5 Street Lots – High Point Group, LLC – PP-006459-2024  
*Continued from July 22, 2024*

**Resolution: Approval of Preliminary Plat**

**Background:** Jared Murray with Civil Design Advantage, on behalf of the applicant and property owner, High Point Group, LLC, requests approval of a Preliminary Plat for the approximately 76-acre property generally located north and south of future Stagecoach Drive extension and between S. 81<sup>st</sup> Street and the future extension of S. 85<sup>th</sup> Street. The applicant proposes to subdivide the property into one hundred and one (101) lots for Single Family residential development, one (1) outlot for future development, one (1) outlot for open space, one (1) outlot for storm water detention, one (1) outlot for Parkland Dedication and five (5) street lots to be dedicated to the city.

In October of 2023, this property was originally preliminary platted as High Point and included an area of medium density residential detached townhomes in the more-less triangular area at the southwest corner of Stagecoach Drive and S 81<sup>st</sup> Street along with single family lots to the south. The developer of the detached townhomes (to have been called Amare Vita) dropped out and the applicant is now proposing single family homes with a cul-de-sac in that portion of the preliminary plat. This new preliminary plat will include this area and now the entire development will be called Forest Place.

The preliminary plat was originally brought forward to the Planning & Zoning Commission on July 22, 2024, however, it was deferred to a later date to allow the developer to have further conversations with the Fire Marshal about access to the site and the allowance of building permits to be issued for the entire development. Those conversations have taken place and are outlined below in the “*Water & Road Extensions Before Building Permits*” section.

**Staff Review & Comment:**

- **Financial Impact:** As has been done with the balance of Stagecoach Drive, the developer and city have established an agreement for reimbursement of Stagecoach Drive construction costs through TIF.
- **Key Development Aspects:**
  1. **Residential Driveway Access to S. 81<sup>st</sup> Street:** S. 81<sup>st</sup> Street is classified as a Major Collector and the only north-south roadway within the Superblock connecting anticipated Riverview Dr (new Booneville Rd) to Mills Civic Parkway. City Code 9-15-6.B.2, “*prohibits the backing or backward movement of vehicles from a driveway...onto a major thoroughfare, including all thoroughfares designated as arterial or major collector streets.*” The anticipated traffic volumes, speeding of vehicles and both horizontal and vertical curves are safety concerns. Those lots

fronting S. 81<sup>st</sup> Street will need to implement a house &/or driveway design in such a manner to allow drivers to utilize a forward movement when entering onto S. 81<sup>st</sup> Street. The developer has indicated that as part of the sale of a lot they will raise awareness of the forward only movement and that the. Notes have been added to the plat drawing. Staff recommends a condition of approval to ensure awareness of this aspect.

2. Parkland Dedication: On October 16, 2023, the City Council approved and accepted a Parkland Dedication Agreement for the then anticipated High Point and Amare Vita developments for an intended 69 single family dwellings and 60 detached townhome dwellings. The townhome portion of the project is no longer occurring, and the developer is changing the townhome area to single family lots. The change in type and number of lots will necessitate the execution of a new Parkland Agreement. The revised Parkland Dedication Agreement has been signed and is proposed to be accepted by the City Council with this preliminary plat request.
3. Trail along S. 81<sup>st</sup> Street: The existing public trail on the west side of S 81<sup>st</sup> Street will be removed to accommodate sewer construction for the new lots along S 81<sup>st</sup> St. Replacement of the existing trail in conformance with City standards is required prior to accepting the public improvements for the subdivision.

The remaining 828 lineal feet of proposed public trail extension on the west side of S 81<sup>st</sup> Street to the south property line will be built by the developer through a 60/40 Trail Agreement being prepared and presented to City Council for approval along with the Parkland Dedication Agreement. Said trail construction in conformance with City standards is required prior to accepting the public improvements for the subdivision and issuance of any building permits for the lots which the trail crosses.

4. Water & Road Extensions Before Building Permits: Stagecoach Drive between S 78<sup>th</sup> Street and S 81<sup>st</sup> Street is being constructed by the city and is almost complete. The developer will be extending Stagecoach Drive from S 81<sup>st</sup> Street to S 85<sup>th</sup> Street and constructing S 85<sup>th</sup> Street south of Stagecoach Drive tying it back into S 81<sup>st</sup> Street. Water lines will be constructed in conjunction with the extension of these roads. The looping of water from its existing location in S. 81<sup>st</sup> Street will be critical for appropriate flows for home sprinkler systems and adequate fire flows. All construction of homes on the single-family lots will be prohibited until the previously identified roads are constructed and water lines are installed and appropriately looped and operational to the Fire Marshal's and WDM Water Works satisfaction. Engineering Services is currently reviewing a plan that shows a temporary access road that will provide access around the intersection of Stagecoach Drive and S. 81<sup>st</sup> Street to provide secondary access to the Forest Place development in the event the intersection is blocked for any reason. Providing fire flows are adequate, the proposed temporary road meets City of West Des Moines Engineering and Fire code requirements, is constructed, and accepted, the Fire Marshal will allow for construction on all proposed single-family lots within the Forest Place development.
- Traffic Impact Study Findings: The site is expected to generate less traffic than previously estimated. The planned roadway geometry is expected to have adequate capacity under full-build conditions. Lane configurations for the major roadways downstream of the site, as recommended in earlier traffic studies, remain adequate.

S 81st Street is a major collector street adjacent to the site. Ultimately, as the area to the south develops in the future, it is expected that S 81st Street will continue south and tie into Riverview Drive. However, since S 85th Street no longer continues south to Riverview Drive as previously planned, S 81st Street is the only north/south street connecting Stagecoach Drive and Riverview Drive. Therefore, more traffic is loaded onto S 81st Street and the street will have higher speeds associated with a higher amount of through traffic. The walkability and bikeability of the area are also reduced with a lower density of streets. The higher traffic volumes and higher speeds through the single-family residential subdivision will likely generate complaints from future residents as properties to the south develop and S 81st Street is extended south. Concerns with individual lot access onto S. 81st Street is noted above.

S 85th Street is a minor collector street that is planned to be extended south from its current terminus. The street is planned to curve to the southeast and intersect with S 81st Street. Due to the curvature of the street, traffic going to/from the northwest may treat S 85th Street as a cut-through to travel between Stagecoach Drive and S 81st Street to avoid the future traffic signal.

- *Developer Responsibilities:* In conjunction with platting of the lots, the developer will be responsible for construction and/or installation of all required public and private infrastructure improvements necessary to support development. The following items are known improvements; additional improvements may be required in response to development proposals:
  1. *Streets:*
    - Stagecoach Drive from S. 81<sup>st</sup> Street to future S. 85<sup>th</sup> Street
    - S. 85<sup>th</sup> Street from the north property line to S. 81<sup>st</sup> Street
    - S 81<sup>st</sup> Street from its current terminus to the south boundary of the Forest Place property, including a temporary turnaround
    - Temporary turnaround (including an easement) at the west terminus of the future extension of Stagecoach Drive. This turnaround is on the adjacent Sunset Company, LC property to the west.
    - All interior roadways
- *Development & Planning Subcommittee:* The “superblock” area between S. Jordan Creek Parkway and S. 88<sup>th</sup> Street and between Booneville Road on the south and Stagecoach Drive on the north, which includes Forest Place (the subject development), and the proposed Village at Sugar Creek and Jordan Ridge developments were discussed at the Development & Planning Subcommittee meetings on June 7, 2021, and July 19, 2021. Residential types and density were the main points of discussion along with the question of entitlement of residential development for the area. Staff indicated a desire to ensure a wide range of housing types and price points would be developed within the area. At the July 19<sup>th</sup> meeting, staff provided a land use plan that met the needs of the pending developers while achieving a range of housing options.

At the August 7, 2023, meeting, staff presented the proposed preliminary plat for informational purposes only as an Upcoming Project. Mr. Miller raised concerns with road connectivity between his property and the development. At the September 18, 2023, meeting, road connections to the Jim Miller property immediately to the west of High Point was discussed. The Subcommittee requested staff facilitate a meeting between the property owners to resolve the matter. After a few meetings, High Point and the Millers were able to come to agreement with a road at the northern end that connects S. 85<sup>th</sup>

Street to S. 88<sup>th</sup> Street across the Miller property. They did not come to an agreement about a connection point at the southern end of the High Point (now Forest Place) property.

At the July 15, 2024, meeting, the trail along the west side of S. 81<sup>st</sup> Street was discussed. At the meeting it was determined the trail should be installed as part of the of the public improvements associated with subdivision construction and prior to any building permit being issued.

- **Plat Validity:** Per City Code, the associated Final Plat must be presented to the City Council for approval within 12 months of the approval of this Preliminary Plat if surety is being posted for Public Improvements; or, within 18 months if Public Improvements are being constructed prior to Final Plat consideration. It is the responsibility of the developer to be aware of these deadlines and request an extension of the Preliminary Plat approval prior to the Preliminary Plat expiration date.

**Outstanding Issues:** There are no outstanding issues.

**Planning and Zoning Commission Action:**

Date: August 12, 2024

Vote:

Recommendation:

**Recommendation:** Approve the Preliminary Plat subject to the applicant meeting all City Code requirements, and the following conditions of approval:

1. The applicant/developer acknowledging that the appropriate road network will need to be constructed to support intended development and unless responsibilities are otherwise defined in a development agreement with the City, that the applicant/developer will be responsible for the implementation of the necessary roadways to serve their development. Furthermore, the applicant/developer acknowledging that development of any parcel being created with platting, may be restricted until adequate road and water infrastructure are completed to the satisfaction of the City's Fire Marshal. The restriction includes prohibiting above ground construction until the Fire Marshal determines appropriate accesses and water flows are installed and useable.
2. The developer acknowledging that vehicles backing out onto S. 81<sup>st</sup> Street is prohibited. The developer agrees to inform and require buyers of lots that front to S. 81<sup>st</sup> Street that all turns onto S. 81<sup>st</sup> Street are to be a forward movement, and the developer shall implement measures during the sale of the lot and their approval of a dwelling's layout on the lot to be such to ensure that the design of the garage(s) and driveway allow and promote vehicles to be able to orient for forward movement from the lot onto S. 81<sup>st</sup> Street.
3. The applicant acknowledging that a revised Parkland Dedication Agreement and 60/40 Trail Agreement will need to be executed for the ground within the Forest Place Preliminary Plat area.
4. The applicant acknowledging that the public trail will be constructed as part of the public improvements. The public improvements will need to be approved and accepted by the city prior to issuance of any building permits for lots which the trail crosses.

**Lead Staff Member: Brian Portz**

**Approval Meeting Dates:**

Planning and Zoning Commission	August 12, 2024
City Council	

**Staff Report Reviews:**

Planning & Zoning Commission	<input checked="" type="checkbox"/> Development Coordinator (or) <input type="checkbox"/> Director	<input checked="" type="checkbox"/> Legal Department
City Council	<input type="checkbox"/> Director <input type="checkbox"/> Appropriations/Finance	<input type="checkbox"/> Legal Department <input type="checkbox"/> Agenda Acceptance

**Publications (if applicable)**

Published In:	Des Moines Register Community Section
Date(s) Published	n/a
Date(s) of Mailed Notices	n/a

**Council Subcommittee Review (if applicable)**

Subcommittee	Development & Planning
Date Reviewed	6/7/2021, 7/19/2021, 8/7/2023, 9/18/2023, & 7/15/ 2024
Recommendation	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Split

# Location Map



## Current Land Use Map



**Area south of future Stagecoach extension between S 81<sup>st</sup> Street and S 85<sup>th</sup> Street is zoned Single Family Residential (R-1) which is allowed in both the Detached Residential and Mixed Residential land use classification**

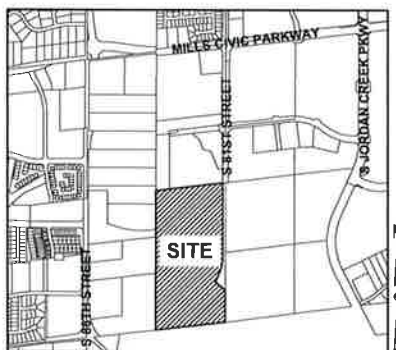
# PRELIMINARY PLAT FOR: FOREST PLACE

WEST DES MOINES, IOWA

PLANS INCLUDED ARE FOR ILLUSTRATIVE PURPOSES ONLY - APPROVED PLANS ON FILE WITH THE CITY

## VICINITY MAP

NOT TO SCALE



### OWNER/APPLICANT

HIGH POINT GROUP, LLC  
CONTACT: JAKE RIED  
6205 MILLS CIVIC PARKWAY, SUITE 200  
PH: (515) 202-5690

### ENGINEER / SURVEYOR

CIVIL DESIGN ADVANTAGE  
CONTACT: JARED MURRAY  
4121 NW URBANDALE DRIVE  
URBANDALE, IOWA 50322  
PH: (515) 369-4400

### DATE OF SURVEY

JULY 29, 2022

### ZONING

R-1: SINGLE-FAMILY RESIDENTIAL DISTRICT  
RH-1B: RESIDENTIAL HIGH DENSITY

### COMPREHENSIVE LAND USE

MR - MIXED RESIDENTIAL

### BULK REGULATIONS

R-1: SINGLE-FAMILY RESIDENTIAL DISTRICT

SETBACKS  
FRONT YARD = 30 FT  
REAR YARD = 35 FT  
SIDE YARD = 7 FT (14 FT TOTAL)

MINIMUM LOT WIDTH = 50 FT (ADDITIONAL 25 FT FOR CORNER LOTS)

MINIMUM LOT FRONTAGE = 40 FT

MINIMUM LOT AREA = 7,500 SF

### BENCHMARKS

WDM BM #87  
3960± FEET WEST OF INTERSECTION OF SOUTH 88TH STREET AND 335TH STREET (DALLAS COUNTY), 3 FEET NORTH OF EAST/WEST FENCE, 10 FEET EAST OF NORTH/SOUTH FENCE, ON 335TH STREET ACROSS FROM THE HOUSE #3307 AND #3309. ELEVATION=167.68

WDM BM #99  
410± FEET WEST OF INTERSECTION OF S. JORDAN CREEK PARKWAY AND BOONEVILLE ROAD, 2 FEET NORTH OF EAST/WEST FENCE, SOUTH SIDE OF BOONEVILLE ROAD. ELEVATION=81.57

### DEVELOPMENT SUMMARY

TOTAL AREA OF SITE = 76.15 ACRES (3,317,089 SF)

## LEGEND

### FEATURES

#### PROPOSED

- GROUND SURFACE CONTOUR
- TYPE SW-501 STORM INTAKE
- TYPE SW-502 STORM INTAKE
- TYPE SW-503 STORM INTAKE
- TYPE SW-505 STORM INTAKE
- TYPE SW-506 STORM INTAKE
- TYPE SW-512 STORM INTAKE
- TYPE SW-513 STORM INTAKE
- TYPE SW-401 STORM MANHOLE
- TYPE SW-402 STORM MANHOLE
- FLARED END SECTION
- TYPE SW-301 SANITARY MANHOLE
- STORM/SANITARY CLEANOUT
- WATER VALVE
- FIRE HYDRANT ASSEMBLY
- SIGN
- DETECTABLE WARNING PANEL
- SANITARY SEWER WITH SIZE
- STORM SEWER
- WATERMAIN WITH SIZE

#### EXISTING

- GROUND SURFACE CONTOUR
- SANITARY MANHOLE
- WATER VALVE BOX
- FIRE HYDRANT
- WATER CURB STOP
- WELL
- STORM SEWER MANHOLE
- STORM SEWER SINGLE INTAKE
- STORM SEWER DOUBLE INTAKE
- FLARED END SECTION
- DECIDUOUS TREE
- CONIFEROUS TREE
- DECIDUOUS SHRUB
- CONIFEROUS SHRUB
- ELECTRIC POWER POLE
- GUY ANCHOR
- STREET LIGHT
- POWER POLE W/ TRANSFORMER
- UTILITY POLE W/ LIGHT
- ELECTRIC BOX
- ELECTRIC TRANSFORMER
- ELECTRIC MANHOLE OR VAULT
- TRAFFIC SIGN
- TELEPHONE JUNCTION BOX
- TELEPHONE MANHOLE/VAULT
- TELEPHONE POLE
- GAS VALVE BOX
- CABLE TV JUNCTION BOX
- CABLE TV MANHOLE/VAULT
- MAIL BOX
- BENCHMARK
- SOIL BORING
- UNDERGROUND TV CABLE
- GAS MAIN
- FIBER OPTIC
- UNDERGROUND TELEPHONE
- OVERHEAD ELECTRIC
- UNDERGROUND ELECTRIC
- FIELD TILE
- SANITARY SEWER W/ SIZE
- STORM SEWER W/ SIZE
- WATER MAIN W/ SIZE

### SURVEY

- SECTION CORNER
- 1/2" REBAR, YELLOW CAP #18680 (UNLESS OTHERWISE NOTED)
- ROW MARKER
- ROW RAIL
- PLATTED DISTANCE
- MEASURED BEARING & DISTANCE
- RECORDED AS
- DEED DISTANCE
- CALCULATED DISTANCE
- CURVE ARC LENGTH
- MINIMUM 100 YEAR FLOOD PROTECTION ELEVATION
- CENTERLINE
- SECTION LINE
- 1/4 SECTION LINE
- 1/4 1/4 SECTION LINE
- EASEMENT LINE
- LOT LINE
- RIGHT OF WAY
- BUILDING SETBACK
- PLAT BOUNDARY

### FOUND

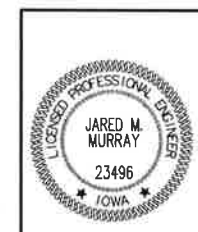
- SECTION CORNER
- 1/2" REBAR, YELLOW CAP #18680 (UNLESS OTHERWISE NOTED)
- ROW MARKER
- ROW RAIL
- PLATTED DISTANCE
- MEASURED BEARING & DISTANCE
- RECORDED AS
- DEED DISTANCE
- CALCULATED DISTANCE
- CURVE ARC LENGTH
- MINIMUM 100 YEAR FLOOD PROTECTION ELEVATION
- CENTERLINE
- SECTION LINE
- 1/4 SECTION LINE
- 1/4 1/4 SECTION LINE
- EASEMENT LINE
- LOT LINE
- RIGHT OF WAY
- BUILDING SETBACK
- PLAT BOUNDARY

### SET

- SECTION CORNER
- 1/2" REBAR, YELLOW CAP #18680 (UNLESS OTHERWISE NOTED)
- ROW MARKER
- ROW RAIL
- PLATTED DISTANCE
- MEASURED BEARING & DISTANCE
- RECORDED AS
- DEED DISTANCE
- CALCULATED DISTANCE
- CURVE ARC LENGTH
- MINIMUM 100 YEAR FLOOD PROTECTION ELEVATION
- CENTERLINE
- SECTION LINE
- 1/4 SECTION LINE
- 1/4 1/4 SECTION LINE
- EASEMENT LINE
- LOT LINE
- RIGHT OF WAY
- BUILDING SETBACK
- PLAT BOUNDARY

## PROPERTY DESCRIPTION

THE EAST HALF OF THE NORTHWEST QUARTER OF SECTION 23, TOWNSHIP 78 NORTH, RANGE 26 WEST OF THE FIFTH PRINCIPAL MERIDIAN EXCEPT LOT 'A' AND OUTLOT 'W', FOREST POINTE PLAT 1, AN OFFICIAL PLAT AND EXCEPT LOT 'A', LOT 1 AND OUTLOT 'Z', FOREST POINTE PLAT 2, AN OFFICIAL PLAT, ALL IN THE CITY OF WEST DES MOINES, DALLAS COUNTY, IOWA.



I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

*Jared Murray*  
JARED M. MURRAY, P.E.  
DATE: 07/18/2024

LICENSE NUMBER 23496  
MY LICENSE RENEWAL DATE IS DECEMBER 31, 2025  
PAGES OR SHEETS COVERED BY THIS SEAL:  
ALL SHEETS



REVISIONS	FINAL SUBMITTAL	4TH SUBMITTAL	3RD SUBMITTAL	2ND SUBMITTAL	1ST SUBMITTAL

4121 NW URBANDALE DRIVE  
URBANDALE, IA 50322  
PHONE: (515) 369-4400

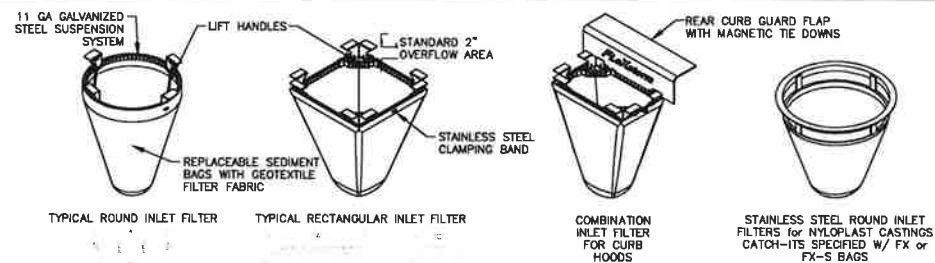
TECH: JDS  
ENGINEER: JMM



**FOREST PLACE**  
PRELIMINARY PLAT







**11 GA GALVANIZED STEEL SUSPENSION SYSTEM**

**REAR CURB GUARD FLAP WITH MAGNETIC TIE DOWNS**

**STAINLESS STEEL ROUND INLET FILTERS FOR NYLOPLAST CASTINGS CATCH-ITS SPECIFIED W/ FX or FX-S BAGS**

**INSTALLATION:**

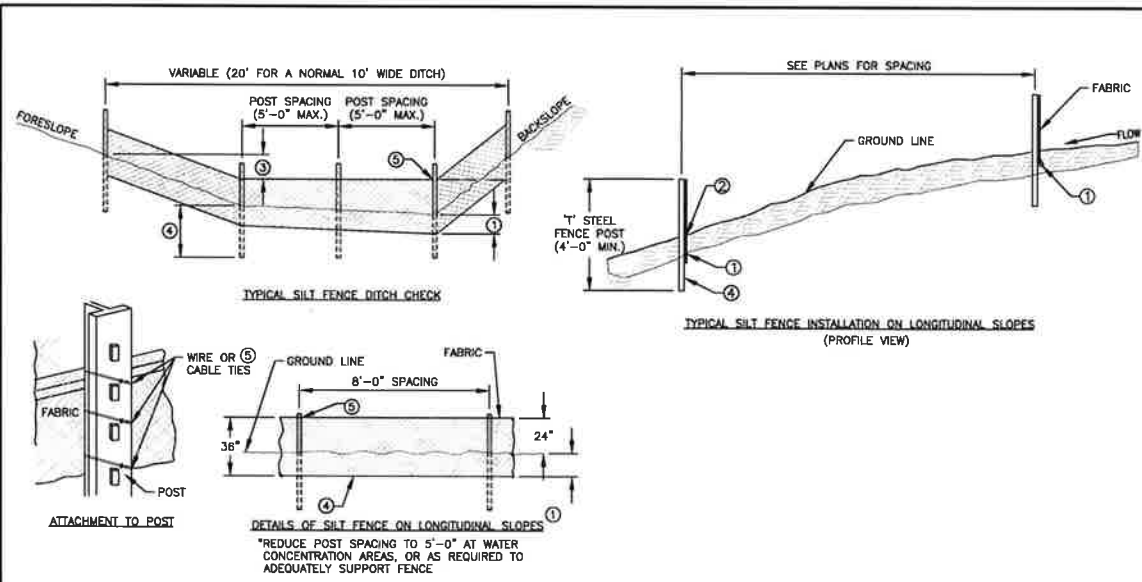
- REMOVE GRATE
- DROP FLEXSTORM INLET FILTER ONTO LOAD BEARING UP OF CASTING OR CONCRETE STRUCTURE
- REPLACE GRATE

**NOTES:**

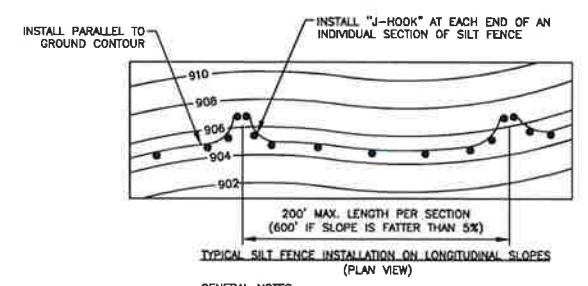
- ALL FRAMING IS CONSTRUCTED OF CORROSION RESISTANT STEEL (ZINC PLATED OR GALVANIZED) FOR 7 YEAR MINIMUM SERVICE LIFE.
- UPON ORDERING CONFIRMATION OF THE DOT CALLOUT, PRECAST OR CASTING MAKE AND MODEL OR DETAILED DIMENSIONAL FORMS MUST BE PROVIDED TO CONFIGURE AND ASSEMBLE YOUR CUSTOMIZED FLEXSTORM INLET FILTER. PART NUMBER ALONE IS NOT SUFFICIENT.
- FOR WRITTEN SPECIFICATIONS AND MAINTENANCE GUIDELINES VISIT [WWW.INLETFILTERS.COM](http://WWW.INLETFILTERS.COM)

ALL PRODUCTS MANUFACTURED BY INLET & PIPE PROTECTION, INC. A DIVISION OF ADS, INC. [WWW.INLETFILTERS.COM](http://WWW.INLETFILTERS.COM) (866) 287-8655 PH (620) 355-3477 FX [INFO@INLETFILTERS.COM](mailto:INFO@INLETFILTERS.COM)

**FLEXSTORM CATCH-IT FILTERS FOR TEMPORARY INLET PROTECTION PRODUCT SELECTION AND SPECIFICATION DRAWING**  
NOT TO SCALE



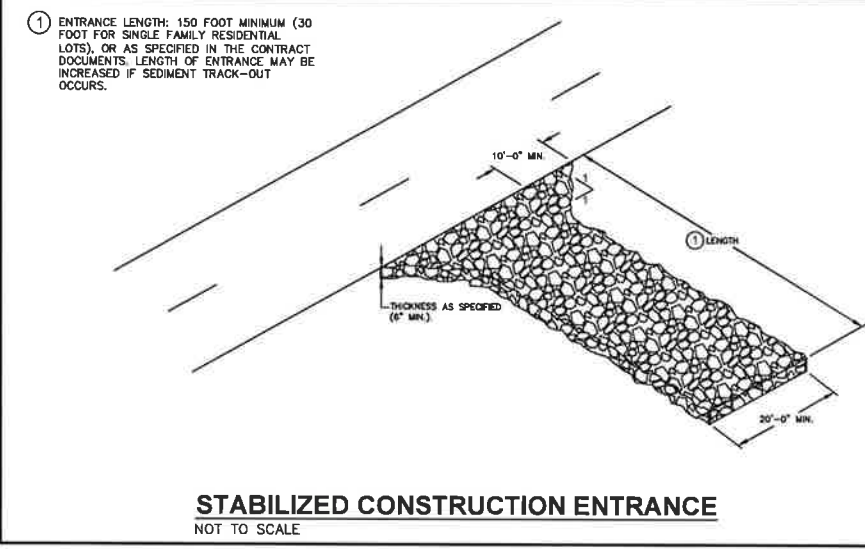
**SILT FENCE**  
NOT TO SCALE



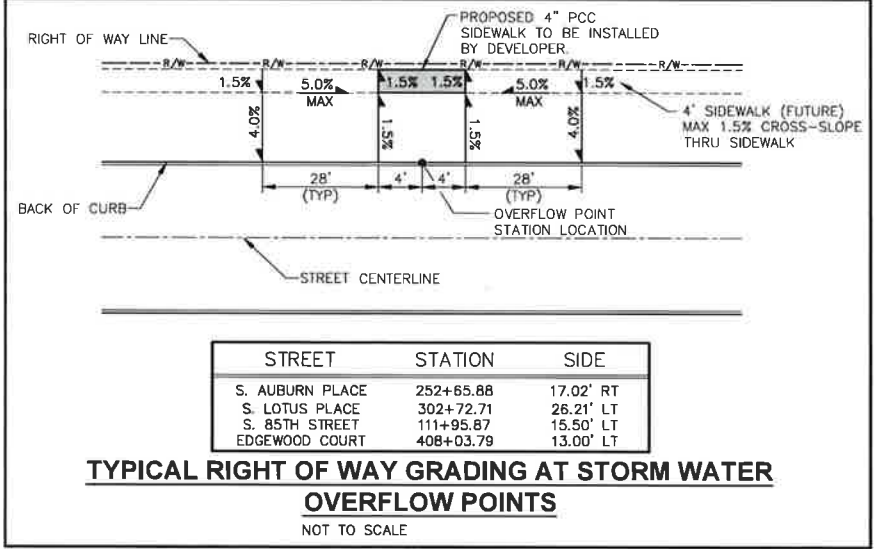
**GENERAL NOTES:**

INSTALL SILT FENCE ACCORDING TO THE REQUIREMENTS OF THE PROJECT SPECIFICATIONS AND AT LOCATIONS SHOWN IN THE CONTRACT DOCUMENTS OR AS DIRECTED BY THE JURISDICTIONAL ENGINEER.

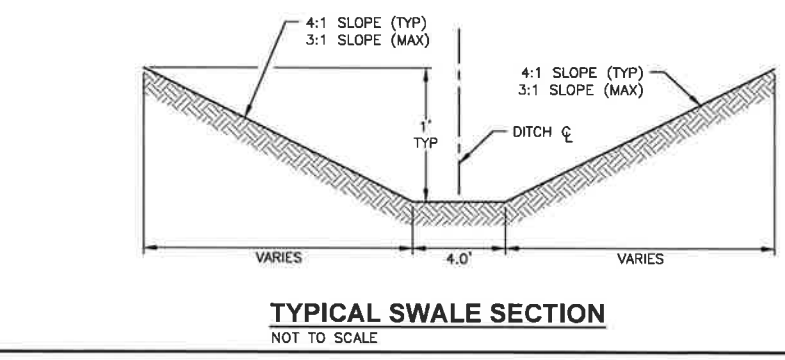
- INSERT 12 IN. OF FABRIC A MINIMUM OF 6 IN. DEEP (FABRIC MAY BE FOLDED BELOW THE GROUND LINE)
- COMPACT GROUND BY DRIVING ALONG EACH SIDE OF THE SILT FENCE AS REQUIRED TO SUFFICIENTLY SECURE THE FABRIC IN THE TRENCH TO PREVENT PULLOUT AND FLOW UNDER THE FENCE.
- IN DITCHES, EXTEND SILT FENCE UP SIDE SLOPE SO THE BOTTOM ELEVATION AT THE END OF THE FENCE IS A MINIMUM OF 2 IN. HIGHER THAN THE TOP OF THE FENCE IN THE LOW POINT OF THE DITCH.
- STEEL POSTS TO BE EMBEDDED 20 IN. UNLESS OTHERWISE ALLOWED BY THE JURISDICTIONAL ENGINEER.
- SECURE TOP OF ENGINEERING FABRIC TO STEEL POSTS USING WIRE OR PLASTIC TIES (50 LB. MIN.). SEE DETAILS OF "ATTACHMENT TO POSTS."



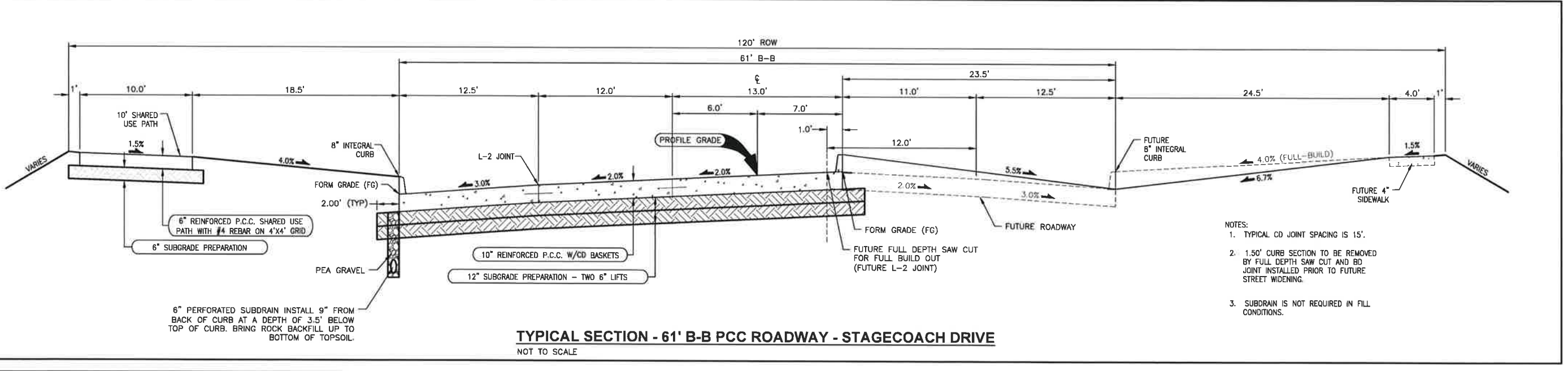
**STABILIZED CONSTRUCTION ENTRANCE**  
NOT TO SCALE



**TYPICAL RIGHT OF WAY GRADING AT STORM WATER OVERFLOW POINTS**  
NOT TO SCALE



**TYPICAL SWALE SECTION**  
NOT TO SCALE



**TYPICAL SECTION - 61' B-B PCC ROADWAY - STAGECOACH DRIVE**  
NOT TO SCALE

**NOTES:**

- TYPICAL CD JOINT SPACING IS 15'.
- 1.50' CURB SECTION TO BE REMOVED BY FULL DEPTH SAW CUT AND BD JOINT INSTALLED PRIOR TO FUTURE STREET WIDENING.
- SUBDRAIN IS NOT REQUIRED IN FILL CONDITIONS.

**GA**

DATE: 07/18/2024, 07/15/2024, 06/20/2024, 06/05/2024, 05/16/2024

REVISIONS: FINAL SUBMITTAL, 4TH SUBMITTAL, 3RD SUBMITTAL, 2ND SUBMITTAL, 1ST SUBMITTAL

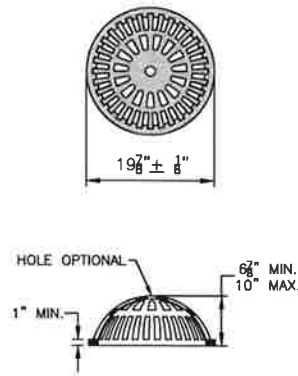
4121 NW URBANDALE DRIVE  
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PHONE: (515) 369-4400

TECH: JDS  
ENGINEER: JMM

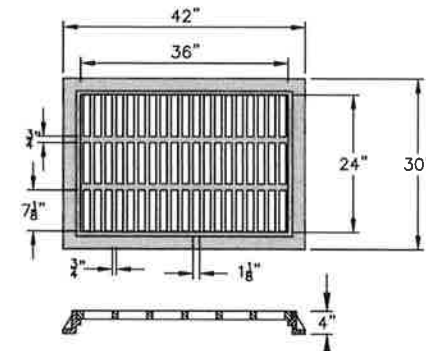
**ESA**  
CIVIL DESIGN ADVANTAGE  
WEST DES MOINES, IOWA

**FOREST PLACE**  
TYPICAL SECTIONS AND DETAILS

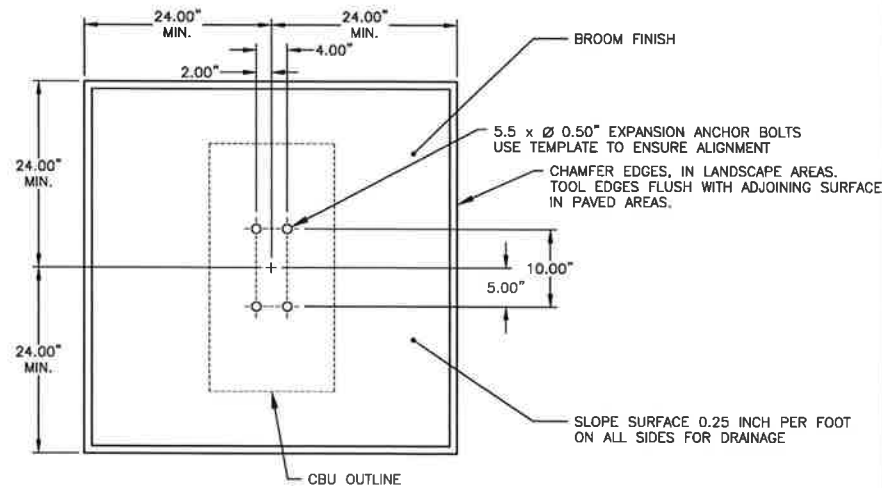
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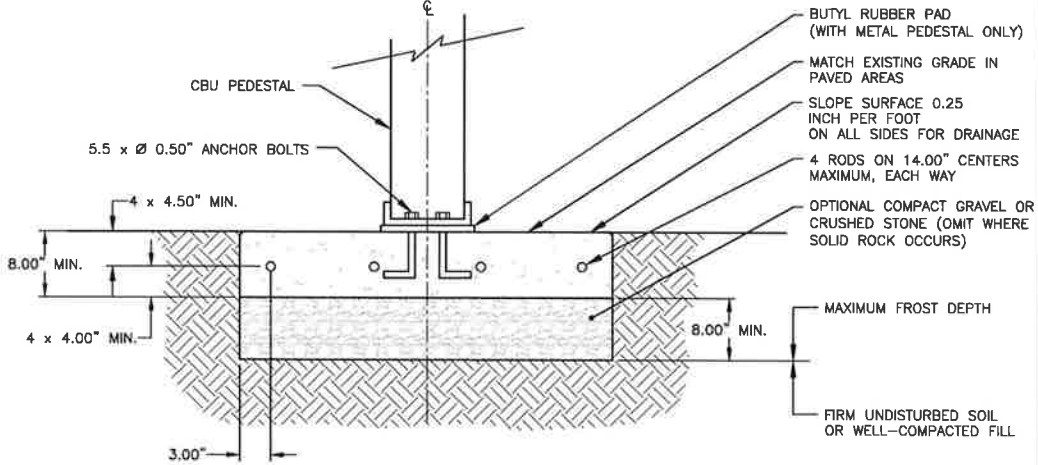
**SW-604 TYPE 3A CASTING DETAIL**  
NOT TO SCALE



**SW-604 TYPE 6 CASTING DETAIL**  
NOT TO SCALE



**MAILBOX CLUSTER PAD DETAIL**

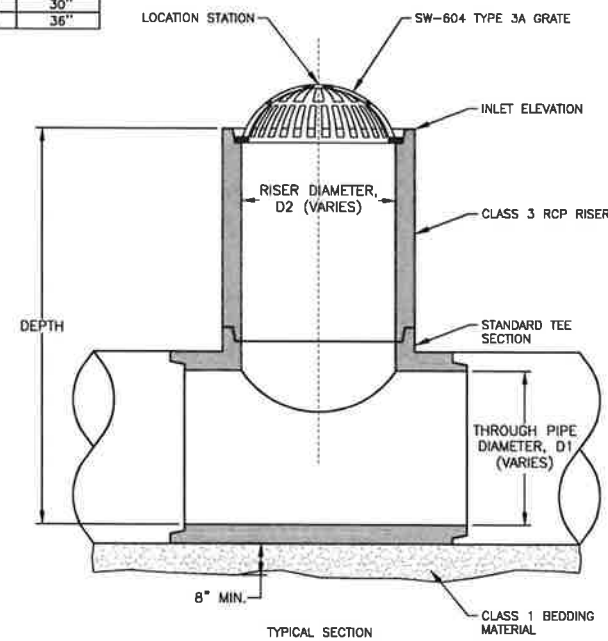


- NOTES:**
- CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS, CONTAIN 4% MIN. - 6% MAX. AIR ENTRAINMENT AND BE PLACED WITH A 3.50" - 4.00" SLUMP IN ACCORDANCE WITH ACI 301.
  - REINFORCING STEEL RODS SHALL CONFORM TO ASTM A615, GRADE 60.
  - EXPANSION BOLTS SHALL BE EQUIVALENT TO THE FOLLOWING PROVIDERS:
    - A. HILTI KWIK BOLT (WWW.US.HILTI.COM) II-1/2" DIAMETER X 5-1/2" OVERALL LENGTH GALVANIZED, CATALOG #: 000-453-696 KB II 12-512, STAINLESS STEEL; CATALOG #: 000-454-744, ENSURE THAT THE MIN. EMBEDMENT IN CONCRETE IS AT LEAST 3-1/2".
    - B. ITW RAMSET REDHEAD TRUBOLT (WWW.RAMSET-REDHEAD.COM) GALVANIZED, 3/8" DIAMETER X 7" OVERALL LENGTH; CATALOG NUMBER: WS-1270G, ENSURE THAT THE MIN. EMBEDMENT IN CONCRETE IS AT LEAST 4-1/8".
    - C. RAWL STUD (WWW.RAWL.COM) GALVANIZED, 3/8" DIAMETER X 5-1/2" OVERALL LENGTH; CATALOG NUMBER: 7724, ENSURE THAT THE MIN EMBEDMENT IN CONCRETE IS AT LEAST 4".

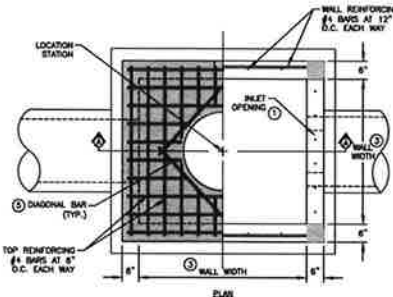
① MINIMUM RISER DIAMETER IS 18 INCHES

**INTAKE SIZE - CASE 2**

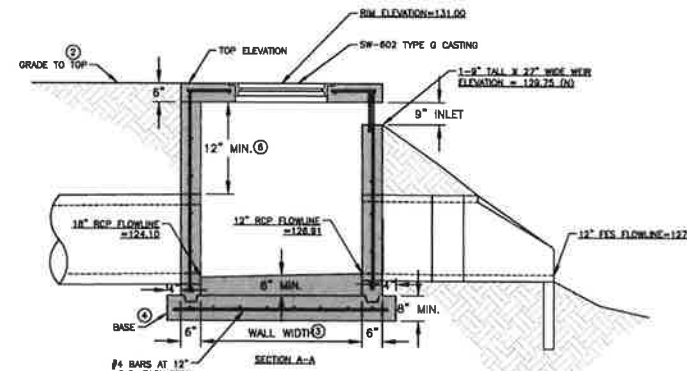
THROUGH PIPE DIAMETER, D1	MAXIMUM RISER DIAMETER, D2
18"	18"
21"	18"
24"	24"
27"	24"
30"	30"
36"	36"



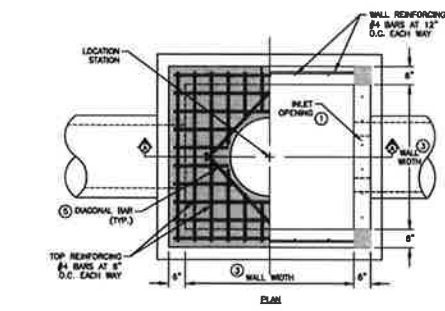
**SW-512 CIRCULAR AREA INTAKE (CASE 2)**  
NOT TO SCALE



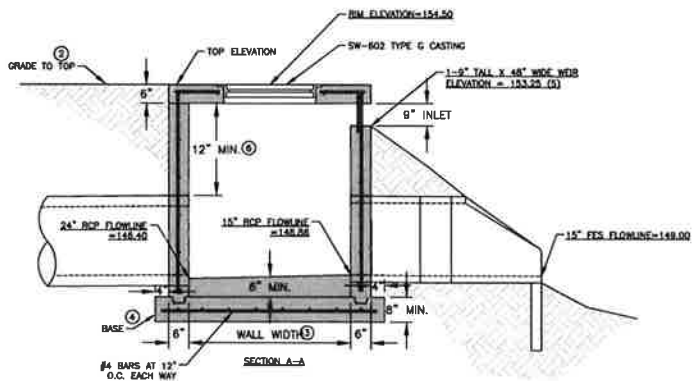
- STRUCTURE MAY BE BUILT WITH OPENINGS ON ANY OR ALL SIDES. PROVIDE OPENINGS AND OVERHEADS AS SPECIFIED IN THE CONTRACT DOCUMENTS.
- ADJACENT WALLS MAY HAVE DIFFERENT WIDTHS BASED UPON PIPE CONFIGURATION, BUT STRUCTURE MUST BE RECTANGULAR.
- CONSTRUCT INLET OPENINGS WITH 1/2-INCH (4) EPXY-COATED BARS AT 8 INCHES ON CENTER. SAVED BARS A MINIMUM OF 3 INCHES INTO WALLS AND TOP AT ALL OPENINGS.
  - GRADE TO TOP ELEVATION ON CLOSED SIDES.
  - WALL WIDTHS VARY WITH PIPE DIAMETER. PROVIDE 8 INCHES OF WALL WITH MINIMUM 1/2" SIZE OF PIPE OPENING. MINIMUM WALL WIDTH IS 28 INCHES. MAXIMUM WALL WIDTH IS 72 INCHES.
  - CAST-IN-PLACE BASE SHOWING. IF BASE IS PRECAST INTERNAL WITH WALLS, THE FOOTPRINT OF BASE IS NOT REQUIRED TO EXTEND BEYOND THE OUTER SIDE OF THE WALLS.
  - INSTALL FOUR (4) DIAGONAL BARS AT ALL PIPE OPENINGS.
  - 1" MINIMUM WALL HEIGHT ABOVE ALL PIPES.



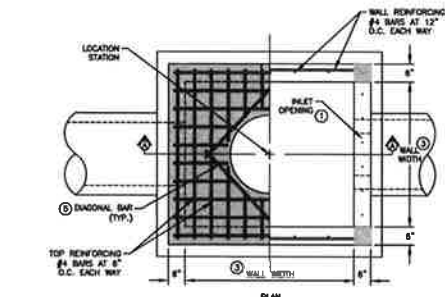
**4'X4' M-G INTAKE: ST-3**  
NOT TO SCALE



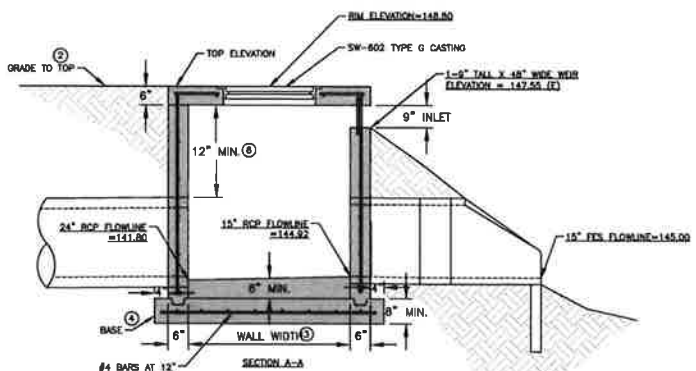
- STRUCTURE MAY BE BUILT WITH OPENINGS ON ANY OR ALL SIDES. PROVIDE OPENINGS AND OVERHEADS AS SPECIFIED IN THE CONTRACT DOCUMENTS.
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  - INSTALL FOUR (4) DIAGONAL BARS AT ALL PIPE OPENINGS.
  - 1" MINIMUM WALL HEIGHT ABOVE ALL PIPES.



**4'X4' M-G INTAKE: ST-81**  
NOT TO SCALE



- STRUCTURE MAY BE BUILT WITH OPENINGS ON ANY OR ALL SIDES. PROVIDE OPENINGS AND OVERHEADS AS SPECIFIED IN THE CONTRACT DOCUMENTS.
- ADJACENT WALLS MAY HAVE DIFFERENT WIDTHS BASED UPON PIPE CONFIGURATION, BUT STRUCTURE MUST BE RECTANGULAR.
- CONSTRUCT INLET OPENINGS WITH 1/2-INCH (4) EPXY-COATED BARS AT 8 INCHES ON CENTER. SAVED BARS A MINIMUM OF 3 INCHES INTO WALLS AND TOP AT ALL OPENINGS.
  - GRADE TO TOP ELEVATION ON CLOSED SIDES.
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  - CAST-IN-PLACE BASE SHOWING. IF BASE IS PRECAST INTERNAL WITH WALLS, THE FOOTPRINT OF BASE IS NOT REQUIRED TO EXTEND BEYOND THE OUTER SIDE OF THE WALLS.
  - INSTALL FOUR (4) DIAGONAL BARS AT ALL PIPE OPENINGS.
  - 1" MINIMUM WALL HEIGHT ABOVE ALL PIPES.



**4'X4' M-G INTAKE: ST-39**  
NOT TO SCALE

ALL DIMENSIONS UNLESS OTHERWISE SPECIFIED ARE IN INCHES.  
 FILE NAME: 20240429.DWG DATE PLOTTED: 2/16/2024 2:46 PM COMMAND: END  
 PLOTTED BY: JAMES MARRAS, TECH

**REVISIONS**

DATE	DESCRIPTION
07/18/2024	FINAL SUBMITTAL
07/15/2024	4TH SUBMITTAL
06/20/2024	3RD SUBMITTAL
06/05/2024	2ND SUBMITTAL
05/16/2024	1ST SUBMITTAL

4121 NW URBANDALE DRIVE  
URBANDALE, IA 50322  
PHONE: (515) 369-4400

ENGINEER: JMM  
TECH: JDS

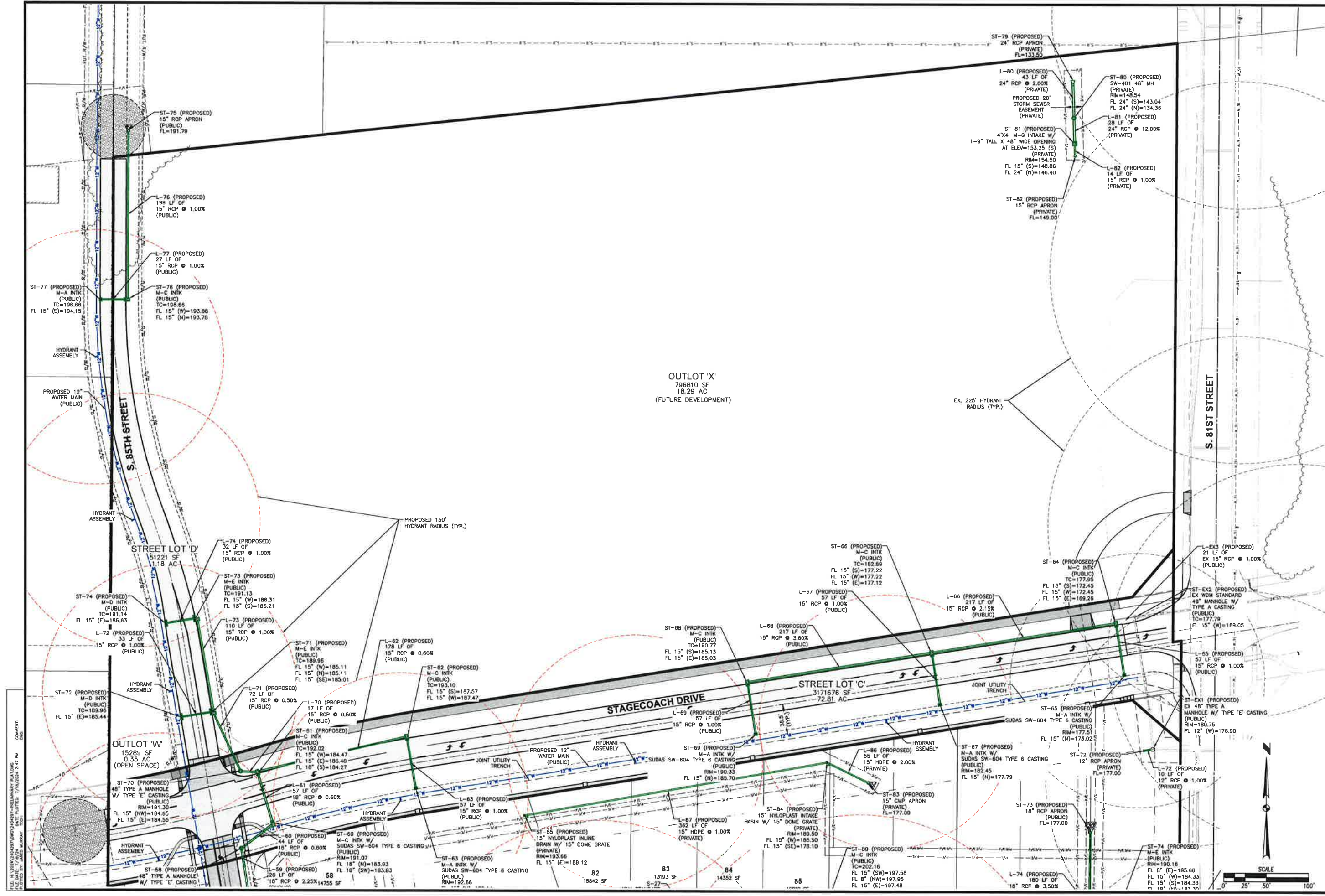


**FOREST PLACE**  
TYPICAL SECTIONS AND DETAILS  
WEST DES MOINES, IOWA









DATE	REVISIONS
07/19/2024	FINAL SUBMITTAL
07/15/2024	4TH SUBMITTAL
06/20/2024	3RD SUBMITTAL
06/05/2024	2ND SUBMITTAL
05/16/2024	1ST SUBMITTAL

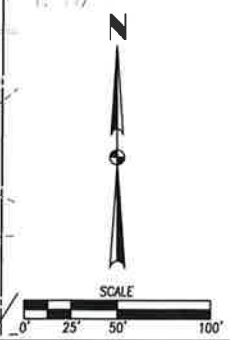
4121 NW URBANDALE DRIVE  
 URBANDALE, IA 50322  
 PHONE: (515) 369-4400

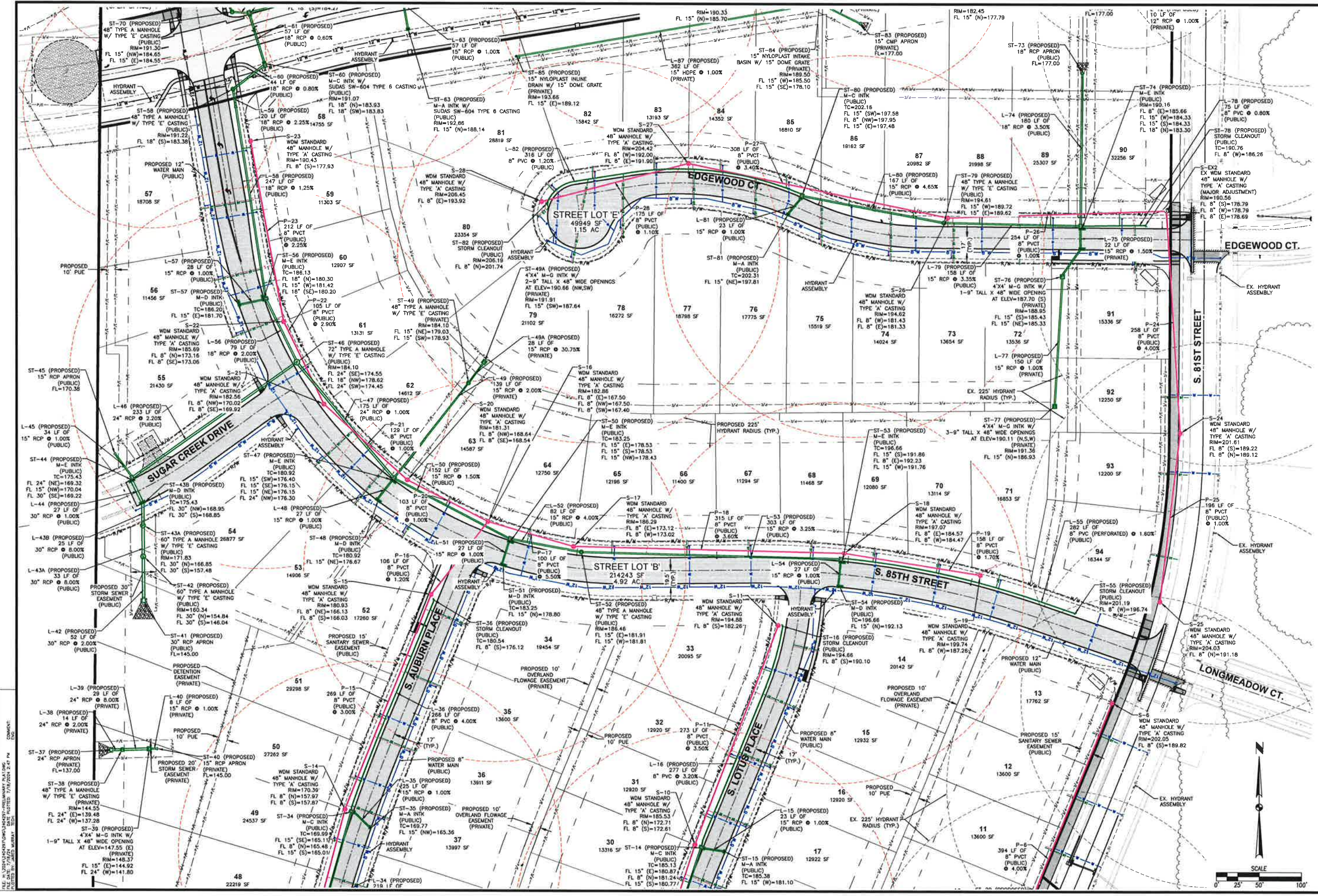


# FOREST PLACE UTILITY PLAN

TECH: JDS  
 ENGINEER: JMM

WEST DES MOINES, IOWA





DATE	REVISIONS
07/18/2024	FINAL SUBMITTAL
07/15/2024	4TH SUBMITTAL
06/20/2024	3RD SUBMITTAL
06/05/2024	2ND SUBMITTAL
05/16/2024	1ST SUBMITTAL

4121 NW URBANDALE DRIVE  
 URBANDALE, IA 50322  
 PHONE: (515) 369-4400

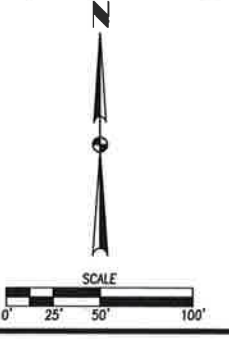


**FOREST PLACE**  
 UTILITY PLAN

9/14  
 2404.297

TECH: JDS  
 ENGINEER: JMM

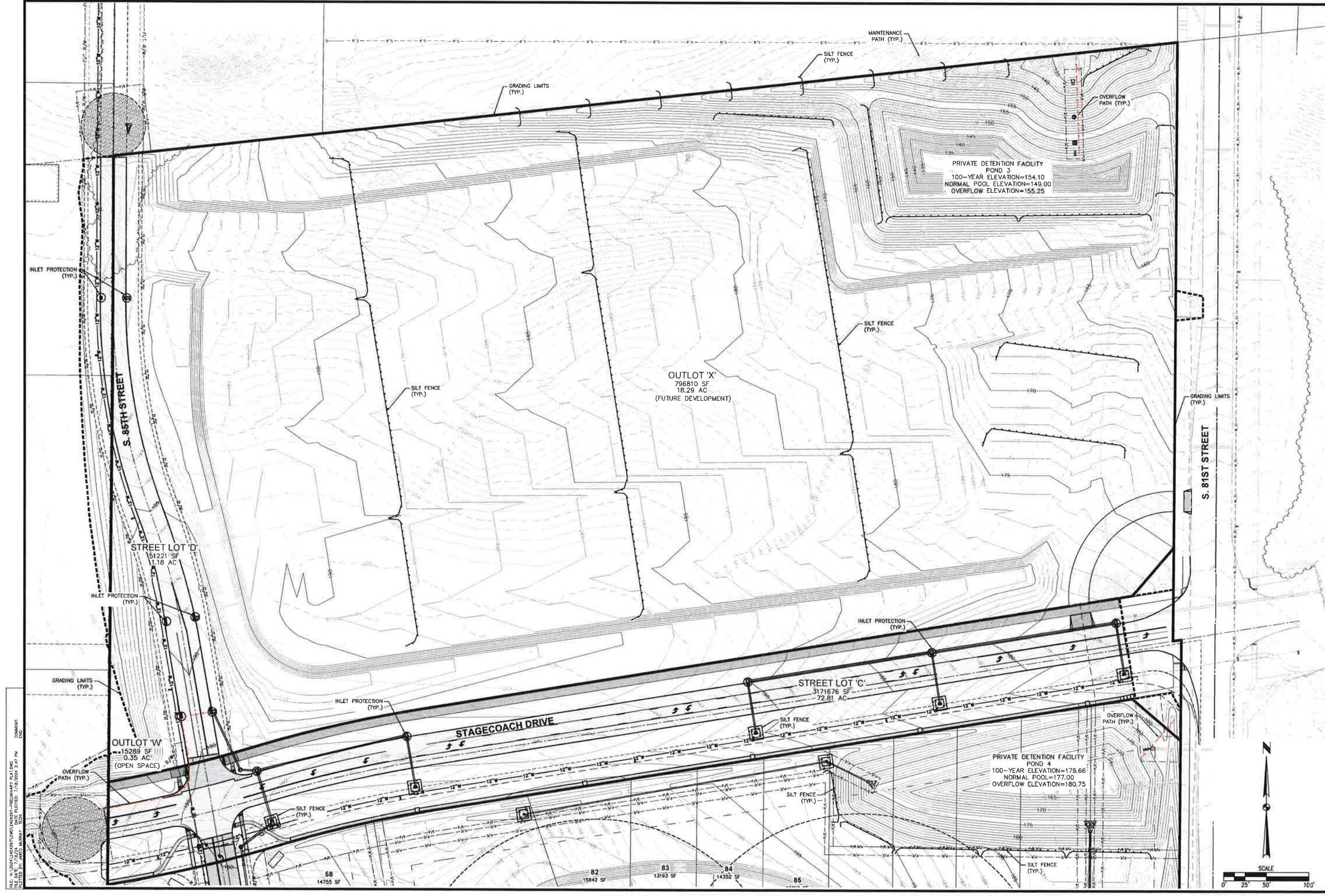
CIVIL DESIGN ADVANTAGE  
 WEST DES MOINES, IOWA



COMMENTS:  
 1. ALL SANITARY SEWER AND STORM SEWER INSTALLATIONS SHALL BE IN ACCORDANCE WITH THE IOWA DEPARTMENT OF NATURAL RESOURCES (IDNR) DIVISION OF WATER QUALITY CONTROL (DWC) REGULATIONS.  
 2. ALL WATER MAINS SHALL BE INSTALLED IN ACCORDANCE WITH THE IOWA DEPARTMENT OF NATURAL RESOURCES (IDNR) DIVISION OF WATER QUALITY CONTROL (DWC) REGULATIONS.  
 3. ALL GAS LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE IOWA DEPARTMENT OF NATURAL RESOURCES (IDNR) DIVISION OF WATER QUALITY CONTROL (DWC) REGULATIONS.  
 4. ALL ELECTRICAL LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE IOWA DEPARTMENT OF NATURAL RESOURCES (IDNR) DIVISION OF WATER QUALITY CONTROL (DWC) REGULATIONS.  
 5. ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE IOWA DEPARTMENT OF NATURAL RESOURCES (IDNR) DIVISION OF WATER QUALITY CONTROL (DWC) REGULATIONS.  
 6. ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE IOWA DEPARTMENT OF NATURAL RESOURCES (IDNR) DIVISION OF WATER QUALITY CONTROL (DWC) REGULATIONS.  
 7. ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE IOWA DEPARTMENT OF NATURAL RESOURCES (IDNR) DIVISION OF WATER QUALITY CONTROL (DWC) REGULATIONS.  
 8. ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE IOWA DEPARTMENT OF NATURAL RESOURCES (IDNR) DIVISION OF WATER QUALITY CONTROL (DWC) REGULATIONS.  
 9. ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE IOWA DEPARTMENT OF NATURAL RESOURCES (IDNR) DIVISION OF WATER QUALITY CONTROL (DWC) REGULATIONS.  
 10. ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE IOWA DEPARTMENT OF NATURAL RESOURCES (IDNR) DIVISION OF WATER QUALITY CONTROL (DWC) REGULATIONS.







PLOT BY: JAMES MURPHY, P.E. DATE: 7/16/2024 2:47 PM  
 FILE: 111717A24 DATE PLOTTED: 7/16/2024 2:47 PM  
 COMMENT: ENG

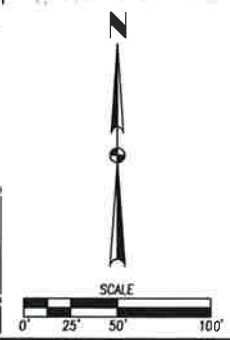
REVISIONS	DATE
FINAL SUBMITTAL	07/16/2024
4TH SUBMITTAL	07/15/2024
3RD SUBMITTAL	06/20/2024
2ND SUBMITTAL	06/05/2024
1ST SUBMITTAL	05/16/2024

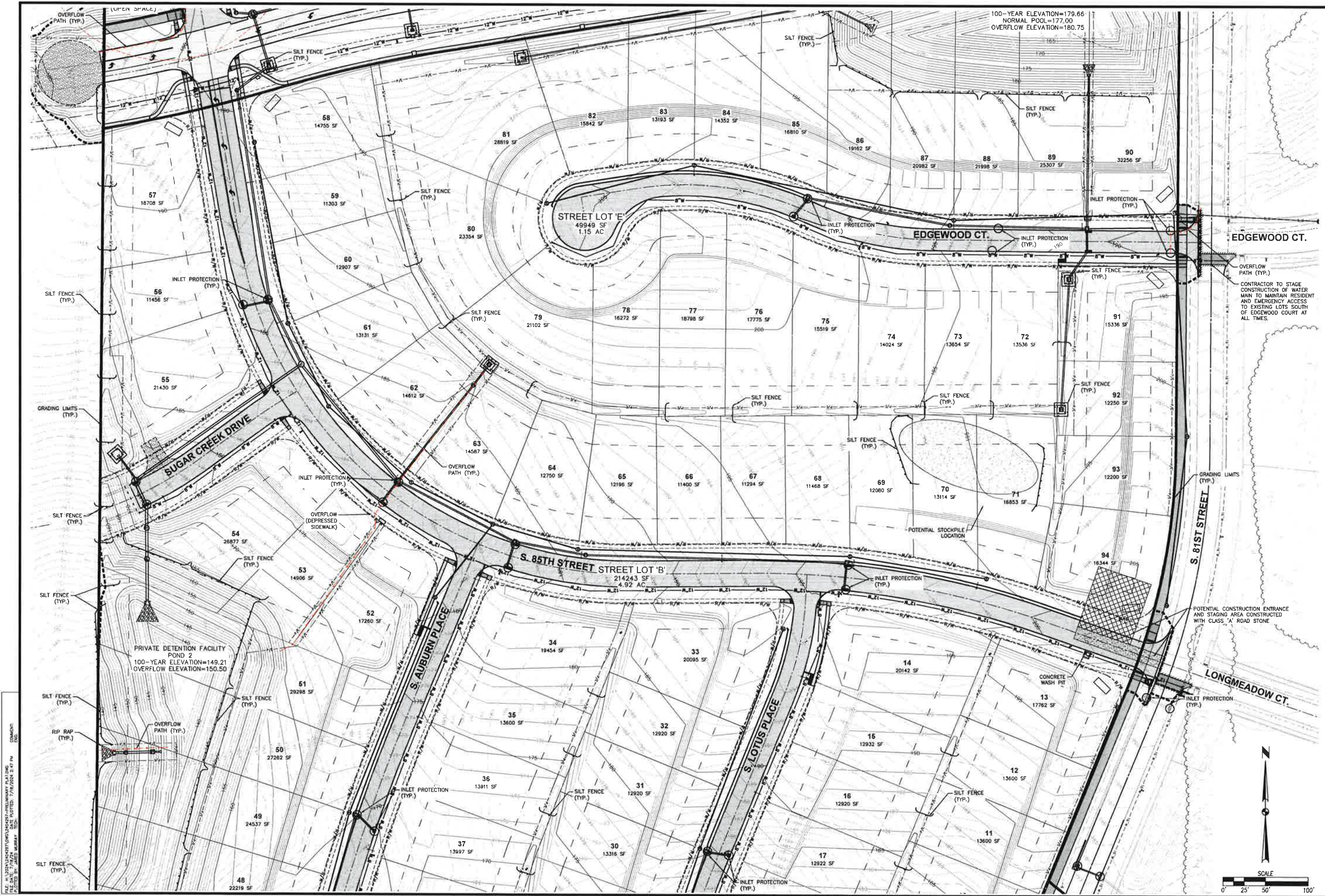
4121 NW URBANDALE DRIVE  
 URBANDALE, IA 50322  
 PHONE: (515) 369-4400  
 ENGINEER: JMM  
 TECH: JDS



**FOREST PLACE**  
**GRADING / EROSION CONTROL PLAN**  
 WEST DES MOINES, IOWA

11/14  
 2404.297





FILE: I:\PROJECTS\FOREST PLACE\DWG\GRADING\GRADING.PLT  
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 DATE: 07/18/2024 2:42 PM  
 COMMENT:

REVISIONS	DATE
FINAL SUBMITTAL	07/18/2024
4TH SUBMITTAL	07/15/2024
3RD SUBMITTAL	06/20/2024
2ND SUBMITTAL	06/05/2024
1ST SUBMITTAL	05/16/2024

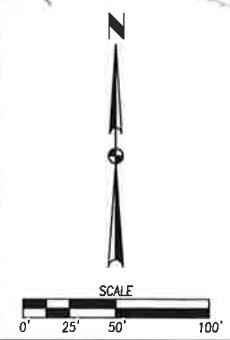
4121 NW URBANDALE DRIVE  
 URBANDALE, IA 50322  
 PHONE: (515) 369-4400



**FOREST PLACE**  
**GRADING / EROSION CONTROL PLAN**  
 WEST DES MOINES, IOWA

12/14  
 2404.297

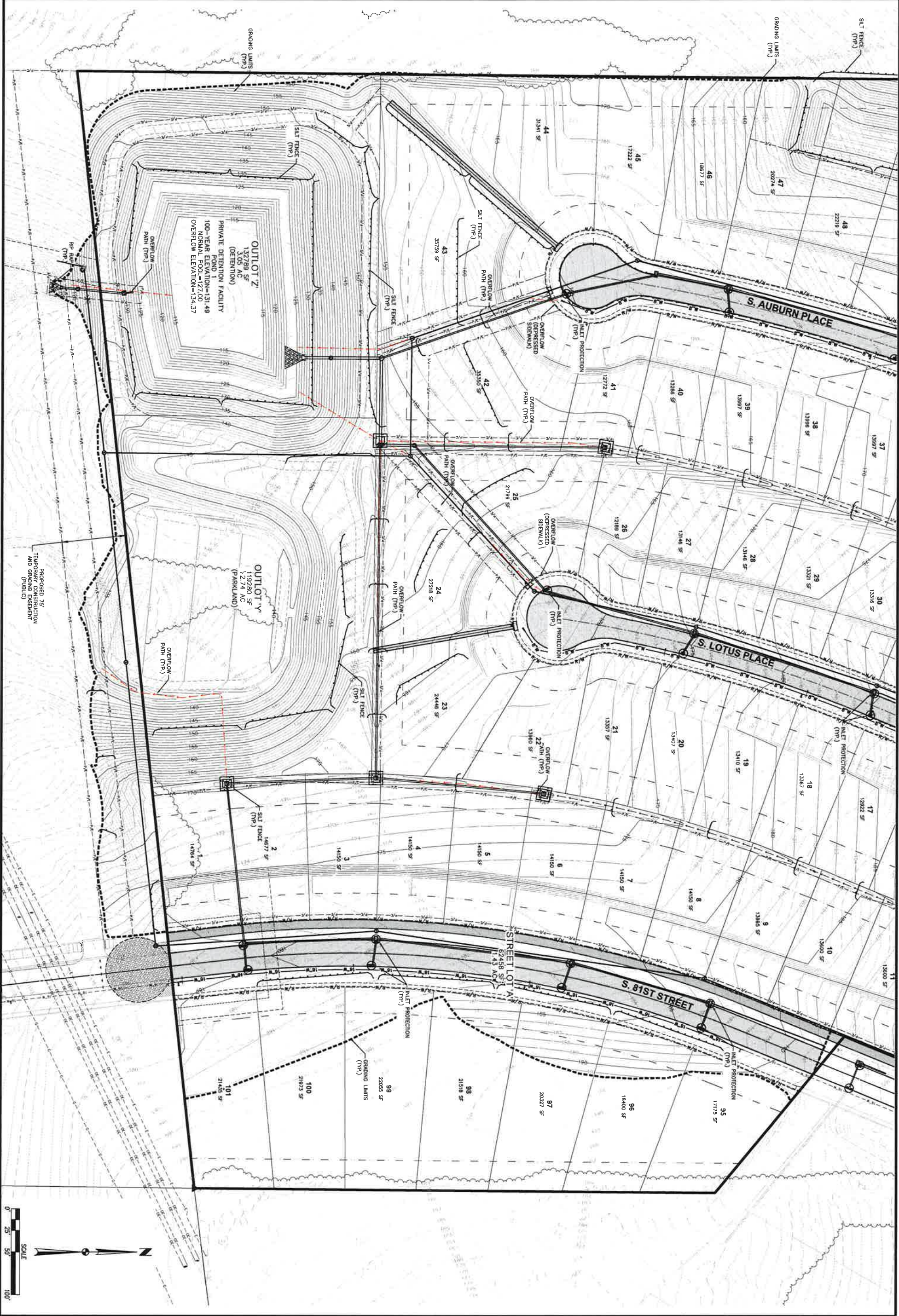
ENGINEER: JMM  
 TECH: JDS



CONTRACTOR TO STAGE  
 CONSTRUCTION OF WATER  
 MAIN TO MAINTAIN RESIDENT  
 AND EMERGENCY ACCESS  
 TO EXISTING LOTS SOUTH  
 OF EDGEWOOD COURT AT  
 ALL TIMES.

POTENTIAL CONSTRUCTION ENTRANCE  
 AND STAGING AREA CONSTRUCTED  
 WITH CLASS 'A' ROAD STONE

100-YEAR ELEVATION=179.66  
 NORMAL POOL=177.00  
 OVERFLOW ELEVATION=180.75



13/14  
2404.297

**FOREST PLACE**  
**GRADING / EROSION CONTROL PLAN**  
 WEST DES MOINES, IOWA



4121 NW URBANDALE DRIVE  
 URBANDALE, IA 50322  
 PHONE: (515) 369-4400  
 ENGINEER: JMM  
 TECH: JDS

REVISIONS	DATE
FINAL SUBMITTAL	07/18/2024
4TH SUBMITTAL	07/15/2024
3RD SUBMITTAL	06/20/2024
2ND SUBMITTAL	06/05/2024
1ST SUBMITTAL	05/16/2024



**A RESOLUTION OF THE PLANNING AND ZONING COMMISSION**

**NO. PZC-24-038**

**WHEREAS**, pursuant to the provisions of Title 9, Zoning and Title 10, Subdivision Regulations of the West Des Moines Municipal Code, the applicant and property owner, High Point Group, LLC, requests approval of the Forest Place Preliminary Plat for the purpose of subdividing that approximately 76-acre property generally located north and south of future Stagecoach Drive extension and between S. 81<sup>st</sup> Street and the future extension of S. 85<sup>th</sup> Street as depicted on the location map included in the staff report. The applicant proposes the creation of one-hundred and one (101) lots for Single Family development, one (1) outlot for future development, one (1) outlot for open space, one (1) outlot for storm water detention, one (1) outlot for Parkland Dedication and five (5) street lots to be dedicated to the city; and

**WHEREAS**, the Preliminary Plat complies with Iowa Code Chapters 354 and 414, the Comprehensive Plan and City Code.

**NOW THEREFORE**, the Planning and Zoning Commission of the City of West Des Moines recommends the City Council approve the Forest Place Preliminary Plat (PP-006459-2024) subject to compliance with all the conditions of approval as stated in the staff report, including conditions added at the meeting, and attached hereto as Exhibit "A", if applicable.

**PASSED AND ADOPTED** on August 12, 2024.

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Tina Shaw, Chair  
Planning and Zoning Commission

I HEREBY CERTIFY that the foregoing resolution was duly adopted by the Planning and Zoning Commission of the City of West Des Moines, Iowa, at a regular meeting held on August 12, 2024, by the following vote:

AYES:

NAYS:

ABSTENTIONS:

ABSENT:

ATTEST:

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Recording Secretary