

**CITY OF WEST DES MOINES
STAFF REPORT COMMUNICATION**

Meeting Date: August 26, 2024

ITEM: Oaks on Grand Phase 2, 5725 Raccoon River Drive – Approve Major Modification to Site Plan to allow construction of an approximately 10,000 square foot office building – JCG Equity, L.L.C. – MaM-006505-2024

Resolution: Approval of Major Modification to Site Plan

Background: The applicant and property owner, JCG Equity, L.L.C., requests approval of the Major Modification to Site Plan for the 7.19-acre property located at 5725 Raccoon River Drive. The applicant proposes to construct an approximately 10,000 square foot office building with associated parking lot.

Staff Review & Comment:

- **Financial Impact:** Pursuant to a development agreement with the owner and as part of an Urban Renewal area, the City installed a traffic signal at the new Raccoon River Drive and Grand Avenue intersection, extended paving from the east end of Booneville Road to the property's west property line, and extended Raccoon River Drive north to Booneville Road with the construction of a new north/south roadway connection between Booneville Road and Grand Avenue. In addition, while not connected with the development of the site, as part of the improvements in the area, the City constructed the south access road of the Glen Oaks development.
- **History:** This property was preliminary platted and final platted in July of 2021. In addition, a site plan was also approved in July of 2021 for the first office building on the site.
- **Key Development Aspects:**
 1. **Building Materials:** The building is proposed to consist of primarily concealed fastener faux wood like metal panel in a black walnut color and the anodized black glass aluminum curtain wall materials. Staff does have concerns with the proposed use of the faux wood look metal panel product on the building exterior. The product is a faux representation of wood cladding and is using a photo-image on metal to suggest wood. While staff has no issues with the use of metal, staff does not feel that the proposed photo created one-dimensional appearance of wood accurately enough reflects a wood product due to the lack of any texturing, grooves and shadowing that is typical of a real wood product. Staff is not opposed to the use of real wood but rather believes that there are composite material choices that would more appropriately present as and feel as real wood cladding, even though it is not real wood.

The second concern with the proposed photo-image metal is with long-term durability of the image. While the metal itself should be durable enough, Staff does not have enough knowledge or experience with the photo-imaging on the metal and has concerns that the image will weather and fade, possibly in a very patchwork manner. Staff further questions where the line is drawn for using the photo-image materials: is a one-dimensional photo created image of brick or stone acceptable?

Please see the attachment for a letter from the design team on the exterior materials and an image of cladding product provided by the applicant.

It is Staff's preference that the applicant continue to work on the building design to find a more realistic wood exterior material or use just plain grey metal for the building cladding. Staff has included a condition of approval recommending this occur prior to issuance of the

building permit for above ground construction. If the Commission agrees with the Staff's stated concerns on the material, the condition should be left as part of the approval.

Alternately, if the Commission agrees with Staff's stated concerns on the material and wishes for further review of a revised exterior design for the building, they do have the ability to defer action on this item and direct the applicant to work with Staff on the building design, returning to the Commission at a future meeting for review of the revised design.

If the Commission is comfortable with the use of the faux wood cladding as proposed, the Commission can make a motion to remove the condition of approval.

- **Development & Planning Subcommittee:** At the August 21, 2024, Development & Planning Subcommittee meeting, staff requested feedback regarding Staff's review of products such as those proposed for this building. The intent of City Code requirements for architecture is to utilize building materials that provide authenticity as well as durability for the life of the structure. The architect for this project is proposing to use a photo-image on metal to provide a wood-look, which staff believes does not sufficiently meet the intent of City Code. There are other products available which provide more texture and variation than a photo-image. Staff raised concern with starting a trend that would allow for brick or stone to also be one-dimensional photo images or comprised of other materials such as vinyl or asphalt which does not realistically reflect as the material it is imitating. The durability of the photo-image product is not known, and Staff would prefer to require a higher quality product at the time of construction rather than enforcing replacement of sub-standard products over time. Council Members were supportive of Staff continuing to guide design professionals and developers to use products which are durable and cost effective.
- **Traffic Impact Study Findings:** The proposed office building is expected to generate less traffic than previously analyzed in earlier traffic studies. Recommendations given in previous studies for the surrounding major roadway network remain adequate. There are no planned changes to the existing site accesses on Raccoon River Drive. The existing geometry is expected to have adequate capacity under full-build conditions.
- **Vesting of Entitlement:** Per City Code, entitlement (approval to construct or implement) shall remain in effect so long as substantial site work has progressed beyond grading and completion of structural foundations and twenty-five percent (25%) of the total building area has occurred above grade within twenty-four (24) months of the effective date of the approval, unless a greater time period is authorized at time of the original entitlement, or by approval of an extension of the original entitlement. It is the responsibility of the developer to be aware of this deadline and request an extension of the approval prior to the expiration date.

Outstanding Issues: There are no outstanding issues other than staff's request for the Commission to provide a direction on the appropriateness of the proposed building cladding as noted in the Key Development Aspects: Building Materials section above.

Planning and Zoning Commission Action:

Date: August 26, 2024

Vote:

Recommendation:

Recommendation: Approve the Major Modification to Site Plan request, subject to the applicant meeting all City Code requirements, and the following conditions of approval:

1. Prior to issuance of a building permit for above ground construction, the Applicant continue to work with City Staff to find an agreeable exterior cladding material selection that provides authenticity of material.

Lead Staff Member: Brian Portz

Approval Meeting Dates:

Planning and Zoning Commission	August 26, 2024
City Council	

Staff Report Reviews:

Planning & Zoning Commission	<input checked="" type="checkbox"/> Development Coordinator (or) <input checked="" type="checkbox"/> Director	<input checked="" type="checkbox"/> Legal Department
City Council	<input type="checkbox"/> Director <input type="checkbox"/> Appropriations/Finance	<input type="checkbox"/> Legal Department <input type="checkbox"/> Agenda Acceptance

Publications (if applicable)

Published In:	Des Moines Register Community Section
Date(s) Published	n/a
Date(s) of Mailed Notices	n/a

Council Subcommittee Review (if applicable)

Subcommittee	Development & Planning
Date Reviewed	July 1, 2024 & August 19, 2024
Recommendation	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Split

From: [Michael Wahlert](#)
To: [Brian Portz](#)
Subject: [EXT] FW: Oaks on Grand Phase 2
Date: Monday, August 12, 2024 6:15:05 PM

Brian,

Please see below per your request.

Regards,



Michael Wahlert PE, ICCSPPI

Orca Consulting LLC.

3512 Richland Road

Van Meter, Iowa 50261

michael@orcaconsulting.biz

www.orcaconsulting.biz

(515) 778-6609

From: Josh Ridgely <jridgely@downingconstruct.com>

Sent: Monday, August 12, 2024 3:42 PM

To: Michael Wahlert <michael@orcaconsulting.biz>; Alex Gross <alexg@downingconstruct.com>

Subject: RE: Oaks on Grand Phase 2

Michael,
Here is our response:

The building design is intended to compliment the original Oaks on Grand building 1 with the following architectural elements:

- Long, rectangular facades on each face of the building that extend from a level ground plane to a level soffit. These facades are accentuated with a simple material palette of glazed-aluminum curtain (glass and frame to match building 1) and prefinished, concealed-fastener, vertically-oriented metal panels to compliment the gray, large-format metal panels of building 1.
- With the smaller scale of building 2, it is appropriate to simplify the material palette. The prefinished, concealed-fastener, vertically-oriented metal panels were specifically chosen as a nod to the building 1 façade elements of wood and large-format metal panels. In lieu of blonde-wood color (as seen on building 1), the darker color was selected to harmonize with the darker tones of building 2.

The surrounding character of the district includes sleek and restrained contemporary architecture in a natural setting. The prefinished, concealed-fastener, vertically-oriented metal panels are intended as a compliment to both.

The proposed prefinished, concealed-fastener, vertically-oriented metal panels are an accurate representation of a true wood façade, specifically Shou Sugi Ban (charred wood) cladding. The

metal panel finish varies in color from black to gray, and has a grain pattern produced in varying colors and sheens to mimic the random grain structure of real wood. The metal panels are fabricated and packaged to allow for a random appearance of darker and lighter tones, similar to a real wood façade. See images below showing both products for comparison.

Proposed cladding (MAC Metals – Harrywood Black Walnut)



Proposed cladding (MAC Metals – Harrywood Black Walnut)



Shou Sugi Ban example



Thanks,

JOSH RIDGELY, AIA
DIRECTOR OF DESIGN

M: 515-290-3424

www.downing-studio.com

DESIGN. BUILD. **SUCCESS.**

From: Michael Wahlert <michael@orcaconsulting.biz>

Sent: Monday, August 12, 2024 2:30 PM

To: Alex Gross <alexg@downingconstruct.com>; Josh Ridgely <jridgely@downingconstruct.com>

Subject: FW: Oaks on Grand Phase 2

Alex/Josh –

Please see below.

Regards,



Michael Wahlert PE, ICCSPPI

Orca Consulting LLC.

3512 Richland Road

Van Meter, Iowa 50261

michael@orcaconsulting.biz

www.orcaconsulting.biz

(515) 778-6609

From: Brian Portz <Brian.Portz@wdm.iowa.gov>

Sent: Monday, August 12, 2024 2:27 PM

To: Michael Wahlert <michael@orcaconsulting.biz>

Subject: Oaks on Grand Phase 2

Michael,

We have the following Oaks on Grand Phase 2 remaining comment for architecture. Please have the architect provide a written response as the second red colored comment requests.

1. Does the proposed MAC Metal panel have an applied wood image or is the product textured with a wood like grain finish? The city has not typically permitted materials with an applied image finish. If possible, can a product sample be provided for staff review?

Applicant Response: THE PROPOSED MAC METAL PANEL HAS AN APPLIED WOOD IMAGE AND VARYING SHEEN TO REPLICATE STAINED/SEALED

WOOD (SEE EXAMPLE IMAGE BELOW FROM MAC METALS WEBSITE SHOWING THIS SPECIFIC PRODUCT). PHYSICAL SAMPLES SHOWING THE COLOR AND TEXTURE HAVE BEEN SUBMITTED FOR REVIEW.

Staff Comment: As provided in an email from staff on July 16th, staff is not opposed to a metal material for the project, however, there is concern and past history regarding the use of a photo like applied finish metal products. The city has not allowed the use of metal products that have a photo like applied finish to mimic wood or other like products. The city has always looked for a wood simulated product to provide a textured finish to resemble the real feel/texture of real wood grain. Are there other options that would still provide the metal option for the project but that have a more realistic wood texture to provide the wood grain effect for the building?

Applicant Response: EXTERIOR METAL PANEL STYLE/FINISH IS BEING REVIEWED DIRECTLY WITH WDM PLANNING STAFF. DOWNING STUDIO WILL PROVIDE UPDATES TO ORCA AS THIS IS RESOLVED.

Staff Comment: As noted in the email from staff on July 31st, if the applicant wishes to proceed forward with the materials as proposed, against staff recommendation, there will be an opportunity to present to the Commission. Prior to the Commission/Council meetings, provide in writing a brief description and reason on how you feel the proposed building design and material choices comply with the district, the surrounding character of the area and how the materials provide an accurate representation of the intended appearance of wood cladding.

EXTERIOR MATERIAL SELECTIONS

ROOFING:
PER SPECIFICATIONS
- TPO
- WHITE

ROOFING: COPING
PER SPECIFICATIONS
- MATTE BLACK

CFMWP (CONCEALED FASTENER FORMED-METAL WALL PANELS)
MAC METAL ARCHITECTURAL
- HARRYWOOD PLUS
- BLACK WALNUT
- ORIENTATION: VERTICAL

GACW (GLAZED ALUMINUM CURTAIN WALL)
PER SPECIFICATIONS
- ANODIZED BLACK

TRANSPARENT INSULATING GLASS (IG):
PER SPECIFICATIONS

INSULATING SPANDREL GLASS (ISG):
PER SPECIFICATIONS

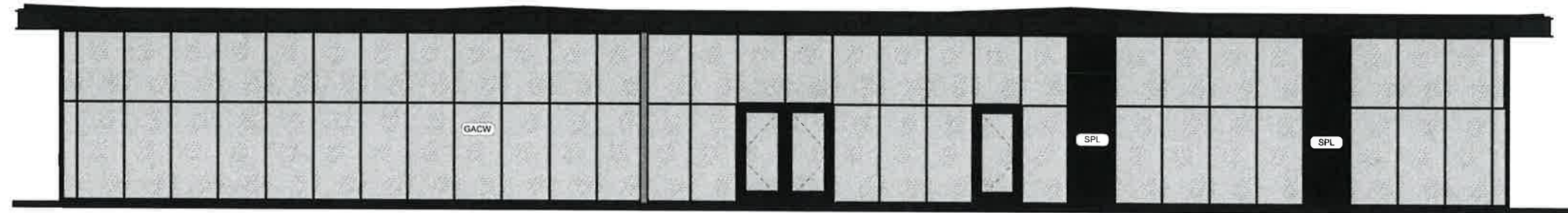
NEED PRODUCT INFO

THIS PLAN IS THE PROPERTY OF DOWNING CONSTRUCTION INTL.

ANY USE WITHOUT WRITTEN PERMISSION IS STRICTLY PROHIBITED!



509 East Scenic Valley Ave.
Indianola, Iowa 50325
p: 515.961.5386
f: 515.961.0466
www.downingconstruction.com
www.downingplanroom.com

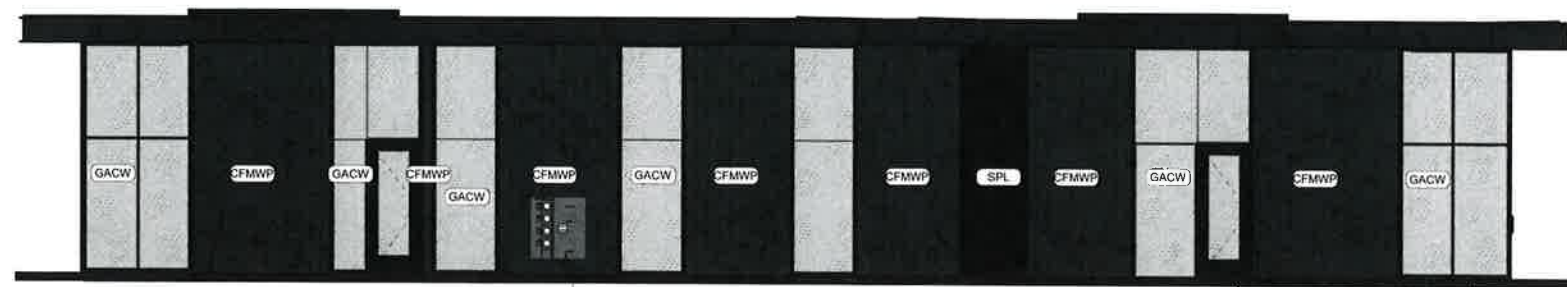


1 COLOR - SOUTH ELEVATION

SCALE: 3/16" = 1'-0"

VENEER CALCULATIONS:

MATERIAL	AREA	PERCENTAGE
NORTH ELEVATION:		
MAC METAL HARRYWOOD PLUS	691.25 SF	42%
GLAZING	950.25 SF	58%
SPANDREL PANEL	0 SF	0%
TOTAL:	1,641.5 SF	100%
SOUTH ELEVATION:		
MAC METAL HARRYWOOD PLUS	0 SF	0%
GLAZING	1534.17 SF	93%
SPANDREL PANEL	107.33 SF	7%
TOTAL:	1,641.5 SF	100%
EAST ELEVATION:		
MAC METAL HARRYWOOD PLUS	618.33 SF	51%
GLAZING	589.17 SF	49%
SPANDREL PANEL	0 SF	0%
TOTAL:	1,207.5 SF	100%
WEST ELEVATION:		
MAC METAL HARRYWOOD PLUS	618.33 SF	51%
GLAZING	533.17 SF	44%
SPANDREL PANEL	56 SF	5%
TOTAL:	1,207.5 SF	100%



2 COLOR - WEST ELEVATION

SCALE: 3/16" = 1'-0"

OAKS ON GRAND PHASE 2

5725 RACCOON RIVER DR
WEST DES MOINES, IA 50266

BID SET - NOT FOR CONSTRUCTION
DISCOVER/ANALYZE | DEVELOP | DELIVER

PROJECT
DESIGNER-INTERIOR
I/R / TBD

ISSUED DATE:
7/22/2024

REVISIONS

REV #	DESCP.	DATE

PLAN NO. = 90-200

DWG. LIST

COLOR EXTERIOR
ELEVATIONS

SHEET NO.

A-203

7/22/2024 2:27 PM C:\Users\jngardner\OneDrive\Documents\Projects\1246_1246_28_1246.rvt

THE OAKS ON GRAND 5725 RACCOON RIVER DRIVE

SHEET INDEX:

- C0.1 COVER SHEET
- C2.1 LAYOUT PLAN
- C3.1 GRADING PLAN
- C4.1 UTILITY PLAN
- C5.1 LANDSCAPE PLAN
- C6.1 DETAILS
- C7.1 SWPPP

GENERAL NOTES:

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH SUDAS STANDARD SPECIFICATIONS AND ANY AND ALL CITY/COUNTY SUPPLEMENTAL SPECIFICATIONS. THE CITY OF WEST DES MOINES, IOWA MUST BE NOTIFIED BY ALL CONTRACTORS 48 HOURS PRIOR TO COMMENCING WORK.
2. IN EVENT OF A DISCREPANCY BETWEEN THE QUANTITY ESTIMATES AND THE DETAILED PLANS, THE DETAILED PLANS SHALL GOVERN.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL UTILITIES. ANY DAMAGE TO SAID UTILITIES SHALL BE REPAIRED AT THE CONTRACTORS EXPENSE.
4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CURRENT O.S.H.A. CODES AND STANDARDS. NOTHING INDICATED ON THESE PLANS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH THE APPROPRIATE SAFETY REGULATIONS.
5. ALL NECESSARY CONSTRUCTION SIGNS, BARRICADES AND OTHER TRAFFIC CONTROL DEVICES REQUIRED DURING CONSTRUCTION WILL BE FURNISHED BY THE CONTRACTOR. SIGNS, BARRICADES AND OTHER TRAFFIC CONTROL DEVICES MUST BE IN CONFORMANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS."
6. ORCA CONSULTING SHALL NOT BE LIABLE FOR ANY INJURIES THAT HAPPEN ON SITE. THIS SHALL INCLUDE BUT NOT BE LIMITED TO TRENCH COLLAPSES FROM VARYING SOIL CONDITIONS OR INJURIES CAUSED BY UNDERGROUND UTILITIES INCLUDING UTILITIES THAT ARE NOT SHOWN ON PLAN.
7. THE CONTRACTOR IS LIABLE FOR ALL DAMAGES TO PUBLIC OR PRIVATE PROPERTY CAUSED BY THEIR ACTION OR INACTION IN PROVIDING FOR STORM WATER FLOW DURING CONSTRUCTION. DO NOT RESTRICT FLOWS IN EXISTING DRAINAGE CHANNELS, STORM SEWER, OR FACILITIES.
8. THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER A SCHEDULE FOR PERFORMANCE OF WORK ITEMS. THIS SCHEDULE SHALL BE PROVIDED BY THE CONTRACTOR AT THE PROJECT PRECONSTRUCTION CONFERENCE. NO WORK SHALL BEGIN UNTIL A SCHEDULE HAS BEEN SUBMITTED AND ACCEPTED. THE CONTRACTOR SHALL THEN PERFORM WORK TO CONFORM TO THE ACCEPTED SCHEDULE.
9. LABORATORY TESTS SHALL BE PERFORMED BY THE OWNER UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL PROVIDE SAMPLES OF MATERIAL REQUIRED FOR LABORATORY TESTS AND TESTING IN ACCORDANCE WITH THE URBAN STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS.
10. SOIL IMPORT OR EXPORT ON THIS PROJECT SHALL BE CONSIDERED INCIDENTAL AND WILL NOT BE MEASURED OR PAID FOR SEPARATELY.
11. THE CONTRACTOR SHALL PROTECT ALL STRUCTURES NOT SHOWN AS REMOVALS ON THE PLANS.
12. THE CONTRACTOR SHALL OBTAIN ANY AND ALL NECESSARY PERMITS PRIOR TO ANY CONSTRUCTION. CONTRACTOR SHALL WORK WITH OWNER OR OWNERS REPRESENTATIVE ON ALL REQUIRED STORM WATER DISCHARGE PERMITS FROM THE IOWA DEPARTMENT OF NATURAL RESOURCES AND THE CITY OF WEST DES MOINES, IOWA.
13. GRADING AND EROSION CONTROL SHALL BE DONE IN ACCORDANCE WITH THE APPROVED GRADING PLAN, SWPPP, NPDES DOCUMENTS, AND IOWA DEPARTMENT OF NATURAL RESOURCES REQUIREMENTS.
14. THE CONTRACTOR SHALL PICK UP ANY DEBRIS SPILLED ONTO THE ADJACENT RIGHT OF WAY OR ADJUTING PROPERTIES AS THE RESULT OF CONSTRUCTION, AT THE END OF EACH WORK DAY.
15. THE CONTRACTOR IS RESPONSIBLE FOR THE PROMPT REMOVAL OF ALL MUD THAT HAS BEEN TRACKED OR WASHED UNTO ADJACENT PROPERTY OR RIGHT OF WAY UNTIL SUCH TIME THAT PERMANENT VEGETATION HAS BEEN ESTABLISHED.
16. DISPOSE OF ALL EXCESS MATERIALS AND TRASH IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REQUIREMENTS. PROVIDE WASTE AREAS OR DISPOSAL SITES FOR EXCESS MATERIALS NOT DESIRABLE FOR INCORPORATION INTO THE PROJECT.
17. THIS SITE SHALL BE MAINTAINED IN COMPLIANCE WITH ALL CITY CODE APPLICABLE ON THE DATE OF THE SITE PLAN APPROVAL.
18. ALL ROOFTOP MECHANICAL EQUIPMENT MUST BE SCREENED ON ALL SIDES WITH ARCHITECTURAL SCREENING EQUAL TO THE HEIGHT OF THE EQUIPMENT.
19. MECHANICAL EQUIPMENT SHALL NOT BE LOCATED IN THE FRONT YARD OR STREET SIDE YARD AND SHALL BE SCREENED FROM VIEW FROM ANY PUBLIC WAY WITH LANDSCAPING, FENCING, OR WALLS CONSISTENT WITH THE BUILDING DESIGN, COLORS, AND MATERIALS.
20. ANY AMENDMENTS OR CHANGES TO THE PROJECT SITE THAT DO NOT MEET WHAT IS SHOWN ON THIS SITE PLAN NEED TO BE APPROVED WITH THE PERMIT AND DEVELOPMENT CENTER PRIOR TO INSTALLATION/CONSTRUCTION.
21. LIGHTING MUST BE LOW GLARE CUTOFF TYP FIXTURES TO REDUCE THE GLARE OF LIGHT POLLUTION ON THE SURROUNDING PROPERTIES.
22. THE REQUIRE LANDSCAPING, BOTH EXISTING AND PROPOSED, SHALL BE MAINTAINED FOR THE LIFE OF THE CERTIFICATE OF OCCUPANCY.
23. ALL DISTURBED AREAS SHOULD BE RESTORED BY SEEDING OR SODDING.
24. ALL PLANTING BEDS SHALL INCLUDE NON-LIVING PERMEABLE MATERIALS SUCH AS MULCH, AND NOT INCLUDING ROCK.
25. ALL REQUIRED PERMITTING IS THE BE CONDUCTED BY THE GENERAL CONTRACTOR AND WILL NOT BE A RESPONSIBILITY OF ORCA CONSULTING LLC.
26. SIGNING, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES ON THE DRIVEWAY APPROACHES TO PUBLIC STREETS SHALL BE IN CONFORMANCE WITH THE FEDERAL HIGHWAY ADMINISTRATIONS'S MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).

PROPERTY DESCRIPTION:

(QUIT CLAIM DEED BOOK 18002, PAGE 437)
A TRACT OF LAND LOCATED IN THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 19, TOWNSHIP 78 NORTH, RANGE 25 WEST OF THE 5TH P.M., AND THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 30, TOWNSHIP 78 NORTH, RANGE 25 WEST OF THE 5TH P.M., AND OUTLOT "Y" IN WEST GRAND BUSINESS PARK PLAT 1, AN OFFICIAL PLAT, NOW INCLUDED IN AND FORMING A PART OF THE CITY OF WEST DES MOINES, POLK COUNTY IOWA IS DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF SAID OUTLOT "Y" THENCE SOUTH 59°09'23" EAST, A DISTANCE OF 191.49 FEET ALONG THE NORTH LINE OF SAID OUTLOT "Y"; THENCE NORTH 24°00'04" EAST, A DISTANCE OF 30.21 FEET; THENCE SOUTH 59°09'58" EAST, A DISTANCE OF 545.83 FEET; THENCE SOUTH 51°02'50" WEST, A DISTANCE OF 47.19 FEET; THENCE SOUTH 74°37'10" WEST, A DISTANCE OF 38.51 FEET; THENCE ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 475.00 FEET, A DELTA OF 49°58'14", AN ARC LENGTH OF 414.27 FEET, A CHORD WHICH BEARS SOUTH 01°27'53" WEST HAVING A CHORD LENGTH OF 401.27 FEET; THENCE SOUTH 33°45'42" EAST, A DISTANCE OF 35.30 FEET; THENCE ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 550.00 FEET, A DELTA OF 19°17'45", AN ARC LENGTH OF 185.23 FEET, A CHORD WHICH BEARS SOUTH 10°07'19" EAST HAVING A CHORD LENGTH OF 184.35 FEET; THENCE SOUTH 55°11'28" EAST, A DISTANCE OF 55.17 FEET, TO A POINT ON THE NORTH RIGHT-OF-WAY LINE OF GRAND AVENUE AS PRESENTLY ESTABLISHED; THENCE ALONG SAID NORTH RIGHT OF WAY ALONG A CURVE TO THE RIGHT ALONG SAID RIGHT AWAY HAVING A RADIUS OF 940.00 FEET, A DELTA OF 36°54'13" AN ARC LENGTH OF 605.45 FEET, A CHORD WHICH BEARS NORTH 84°27'03" WEST HAVING A CHORD LENGTH OF 555.03 FEET; THENCE CONTINUING ALONG SAID NORTH RIGHT OF WAY, RIGHT NORTH 65°05'20" WEST, A DISTANCE OF 119.80 FEET TO THE SOUTHEAST CORNER OF OUTLOT "Z" IN SAID WEST GRAND BUSINESS PARK PLAT 1; THENCE NORTH 0°21'25" EAST, A DISTANCE OF 932.17 FEET, TO THE POINT OF BEGINNING, CONTAINING 11.83 ACRES, MORE OR LESS.

ADDRESS:
5745 RACCOON RIVER DRIVE
WEST DES MOINES, IOWA

OWNER:
JCG EQUITY LLC
ATTN: JON GALLOWAY (515) 297-6220
POB 7502
URBANDALE, IOWA 50323-7502

PREPARED FOR:
JCG EQUITY LLC
ATTN: JON GALLOWAY (515) 297-6220
POB 7502
URBANDALE, IOWA 50323-7502

ZONING:
OF - OFFICE DISTRICT

BULK REGULATIONS:
SETBACKS:
FRONT = 30'
REAR = 35'
SIDE = 10'

PARKING REQUIREMENTS:
MOTOR VEHICLE OFF-STREET PARKING
USE: REQUIRED
REQUIRED FROM WEST DES MOINES CODE 9-15-17:
3.5 STALL PER 1,000SF @ 9.98% SF = 35 STALLS (2 ADA)
PROVIDED:
48 STALLS (3 ADA)

IMPERVIOUS SURFACE:
TOTAL SITE AREA = 313.388 SF OR 7.16 ACRES
EXISTING IMPERVIOUS SURFACE = 124.690 SF
PROPOSED IMPERVIOUS SURFACE = 35.469 SF
TOTAL IMPERVIOUS SURFACE = 160.159 SF OR 51% OF TOTAL SITE
PROPOSED SITE OPEN SPACE = 153.229 SF OR 49% OF TOTAL SITE

PRINCIPAL USE/PROJECT TYPE:
OFFICE BUILDING

UTILITY NOTE:

THE LOCATION OF THE UTILITIES INDICATED ON THE PLANS HAVE BEEN TAKEN FROM THE FIELD SURVEY, EXISTING PUBLIC RECORDS, AND PLANS PROVIDED BY OTHERS. SURFACE UTILITY LOCATIONS HAVE BEEN FIELD LOCATED BY BISHOP ENGINEERING, UNLESS OTHERWISE NOTED. ALL UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE LOCATIONS ONLY. BISHOP ENGINEERING DOES NOT GUARANTEE THE UNDERGROUND LOCATION OF ANY UTILITIES SHOWN. IT SHALL BE THE DUTY OF THE CONTRACTOR TO DETERMINE THE LOCATION AND DEPTH OF ANY UNDERGROUND UTILITIES SHOWN AND IF ANY ADDITIONAL UTILITIES, OTHER THAN THOSE SHOWN ON THE PLANS, MAY BE PRESENT, A REQUEST WAS MADE TO IOWA ONE CALL FOR UTILITY PROVIDERS TO VERIFY, LOCATE, AND MARK THEIR UTILITIES IN THE FIELD.

UTILITY MAPS PROVIDED BY:

1. ELECTRIC (MIDAMERICAN / 515-252-6632)
4. FIBER OPTIC (LUMEN / 918-547-8147)
6. GAS (MIDAMERICAN / 515-252-8632)
7. WATER (WEST DES MOINES WATER WORKS / 515-222-3510)

WETLAND NOTES:

1. ORCA CONSULTING DOES NOT PERFORM WETLAND STUDIES OR WETLAND MITIGATION. IT IS THE OWNER'S RESPONSIBILITY TO DETERMINE IF ANY WETLANDS ARE LOCATED ON THE PROJECT SITE AND PERFORM ANY NECESSARY MITIGATION PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES.

SOILS REPORT:

1. A GEOTECHNICAL SOILS REPORT IS THE RESPONSIBILITY OF THE OWNER TO OBTAIN AND PROVIDE TO ORCA CONSULTING FOR CONSIDERATION ON PROPOSED DESIGN.
2. ALL RECOMMENDATIONS WITHIN SOILS REPORT ARE TO BE CONSIDERED THE MINIMUM DESIGN CONSIDERATIONS UNLESS SPECIFICALLY NOTED ON THE PLANS.

UTILITY CONFLICT NOTES:

1. UTILITY CONFLICTS MAY EXIST ACROSS THE SITE WITH NEW UTILITIES, GRADING, PAVING ETC. MOST UTILITY CONFLICTS HAVE BEEN CALLED OUT FOR CONTRACTOR CONVENIENCE.
2. CONTRACTOR IS RESPONSIBLE FOR ALL UTILITY CONFLICTS THAT ARE EITHER CALLED OUT ON THE PLANS OR THAT CAN BE SEEN ON THE PLANS BETWEEN AN EXISTING UTILITY AND PROPOSED CONSTRUCTION.
3. CONTRACTOR SHALL COMPLY WITH ALL DNR REQUIREMENTS FOR PIPE MATERIAL, PIPE JOINTS, AND ANY OTHER APPLICABLE REQUIREMENTS ANY TIME A STORM SEWER OR SANITARY SEWER CROSSES OVER OR LESS THAN 18" BELOW A WATER MAIN.
4. FOR ALL CRITICAL CROSSINGS WITH EXISTING UTILITIES, THE ELEVATION OF THE EXISTING UTILITY SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION, NOTIFY BISHOP ENGINEERING PRIOR TO CONSTRUCTION IF A CONFLICT EXISTS.

STAKING NOTES:

1. CONTRACTOR IS REQUIRED TO HAVE ALL STAKING DONE UNDER THE SUPERVISION OF A LICENSED LAND SURVEYOR AND IN COORDINATION WITH THE PROJECT ENGINEER.
2. CONTRACTOR IS REQUIRED TO HAVE ALL STAKING DONE DIRECTLY UNDER THE GENERAL CONTRACTOR BY A SINGLE COMPANY.
3. STAKING DOES NOT RELIEVE CONTRACTOR OF ULTIMATE RESPONSIBILITY TO CONSTRUCT THE PROJECT PER PLAN.

PAVEMENT SAWCUT NOTES:

1. CONTRACTOR TO PROVIDE SAWCUT JOINTING PLAN TO MICHAEL WAHLERT, ORCA CONSULTING LLC (515-778-6609 OR michael.wahlert@orcaconsulting.biz) PRIOR TO ANY CONCRETE PAVEMENT INSTALLATION.
2. PAVEMENT MAY BE REQUIRED TO BE REMOVED AND REPLACED IF PLACED WITHOUT AN APPROVED PLAN.
3. LONGITUDINAL JOINTS IN DRIVE LANES & THE OUTER MOST JOINT OF ALL PARKING AREAS SHALL BE SUDAS TYPE 'L-1' OR 'L-2' JOINTS AND HAVE STEEL INTERIOR PARKING LOT JOINTS. OTHER THAN THE OUTER MOST JOINT, DO NOT NEED STEEL AND SHALL BE SUDAS TYPE 'B' OR TYPE 'X' JOINTS.
4. ALL TRANSVERSE JOINTS SHALL BE SUDAS TYPE 'C' OR TYPE 'DW' JOINTS WITH STEEL IN THE CASE OF A DAY'S WORK JOINT.

LANDSCAPE NOTES:

1. ALL SODDING/SEEDING & LANDSCAPE PLANTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE URBAN STANDARD SPECIFICATIONS, UNLESS SPECIFIED OTHERWISE.
2. SOD/SEED ALL DISTURBED AREAS WITHIN THE CONTRACT LIMITS, UNLESS NOTED OTHERWISE. SOD/SEED LIMITS SHOWN ON PLAN ARE FOR REFERENCE ONLY. FINAL LIMITS MAY CHANGE BASED ON CONSTRUCTION ACTIVITIES.
3. STAKE SOD ON ALL SLOPES 3:1 OR GREATER.
4. PLANT QUANTITIES ARE FOR CONTRACTORS CONVENIENCE. THE DRAWING SHALL PREVAIL IF A CONFLICT OCCURS.
5. ALL PLANT MATERIAL SHALL CONFORM TO THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1).
6. CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE.
7. IT IS THE CONTRACTORS RESPONSIBILITY TO REMOVE IDENTIFICATION TAGS AND CORDS ON ALL PLANT MATERIAL PRIOR TO THE COMPLETION OF THE CONTRACT. IDENTIFICATION TAGS MUST BE LEFT ON UNTIL AFTER ACCEPTANCE BY OWNER OR OWNERS REPRESENTATIVE.
8. CONTRACTOR SHALL PLACE SHREDDED HARDWOOD MULCH AROUND ALL TREES, SHRUBS AND GROUND COVER BEDS TO A DEPTH OF 4 INCHES, UNLESS NOTED.
9. STAKE AND WRAP ALL DECIDUOUS TREES IMMEDIATELY AFTER PLANTING. STAKE ALL TREES ACCORDING TO THE STAKING DETAILS. CONTRACTOR SHALL ADJUST AND MAINTAIN GUYING TENSION THROUGHOUT THE PLANT ESTABLISHMENT PERIOD.
10. THE LANDSCAPING CONTRACTOR SHALL HAVE ALL UTILITIES LOCATED BEFORE STARTING ANY SITE WORK OR PLANTING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES.
11. NO LANDSCAPE MATERIAL SHALL BE SUBSTITUTED WITHOUT THE AUTHORIZATION OF THE LANDSCAPE ARCHITECT.
12. ALL EDGING SHALL BE DURAEDGE 1/8" STEEL EDGING - COLOR GREEN, OR APPROVED EQUAL.
13. CONTRACTOR SHALL BE RESPONSIBLE MAINTAINING APPROPRIATE LEVEL OF WATERING FOR ALL NEW PLANTS FOR A PERIOD OF 30 DAYS.
14. ALL SHRUB AND PERENNIAL PLANTING BEDS SHALL BE MULCHED WITH 4" THICK SHREDDED HARDWOOD MULCH.
15. ALL SHRUB AND PERENNIAL PLANTING BEDS SHALL INCORPORATE TYPAR 3301 NONWOVEN LANDSCAPE FABRIC (OR SIMILAR) AND 3" THICK LAYER OF WASHED RIVER ROCK (1.5" NOMINAL SIZE).
16. ALL BEDS TO RECEIVE GRANULAR PRE-EMERGENT WEED CONTROL BEFORE AND AFTER MULCH/ROCK IS INSTALLED.

REQUIRED AS-BUILT NOTES:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COST OF AS-BUILT TOPO OF ALL DETENTION PONDS & DETENTION POND STORM SEWER.
2. CONTRACTOR SHALL CONTACT ORCA CONSULTING LLC (michael.wahlert@orcaconsulting.biz @ 515-778-6609) TO PERFORM SAID AS-BUILT SURVEYS.
3. IF ANYTHING HAS BEEN CONSTRUCTED INCORRECTLY, CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SUBSEQUENT AS-BUILT SURVEYS UNTIL ISSUES HAVE BEEN RECTIFIED.
4. PER CITY OF DES MOINES CODE SECTION 42-182 A CERTIFICATE OF COMPLETION WILL BE REQUIRED TO BE COMPLETED BY ORCA CONSULTING LLC (michael.wahlert@orcaconsulting.biz @ 515-778-6609) TO CERTIFY THE GRADING WORK ON SITE ON SATISFY THE REQUIRED GRADING PERMIT.

EARTHWORK BALANCE NOTES:

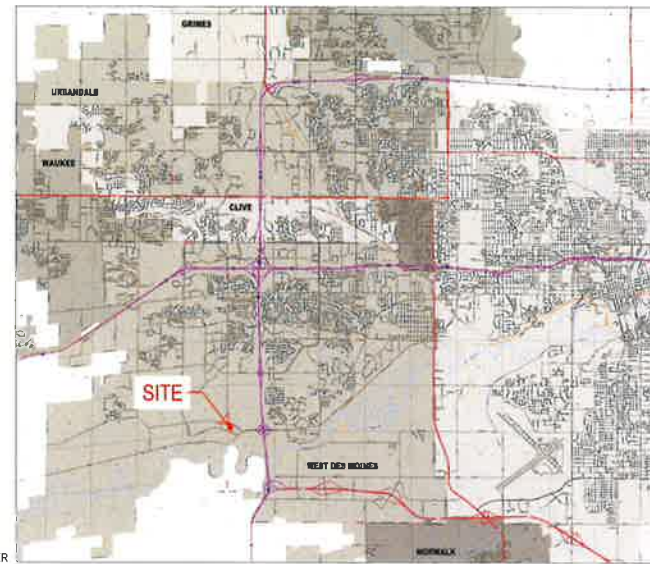
1. SOIL IMPORT OR EXPORT ON THIS PROJECT SHALL BE CONSIDERED INCIDENTAL AND WILL NOT BE MEASURED OR PAID FOR SEPARATELY. CONTRACTOR RESPONSIBLE FOR MAKING THE SITE EARTHWORK BALANCE.
2. THIS INCLUDES BUT IS NOT LIMITED TO TOPSOIL, POOR SOILS AND STRUCTURAL FILL NECESSARY TO MEET PROJECT PLANS AND SPECIFICATIONS.

STORM & SANITARY TELEVISION NOTES:

1. CONTRACTOR IS REQUIRED TO TELEVISION ALL SANITARY AND STORM SEWER SYSTEM PRIOR TO PAVING OPERATIONS.
2. CONTRACTOR SHALL SEND VIDEO INSPECTION TO THE ENGINEER FOR APPROVAL PRIOR TO PAVING.
3. CONTRACTOR SHALL PROVIDE COPIES OF THE REPORTS AND VIDEOS TO THE WAUKEE ENGINEERING DEPARTMENT FOR APPROVAL PRIOR TO PAVING.

SPECIFICATIONS NOTES:

1. IN THE EVENT OF A DISCREPANCY BETWEEN THE PROJECT SPECIFICATIONS AND: CITY OF WEST DES MOINES, IOWA REQUIREMENTS AND SPECIFICATIONS, PLUMBING CODE, AND URBAN STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENT (SUDAS 2018), THE CITY OF WEST DES MOINES, IOWA STANDARD SPECIFICATIONS SHALL GOVERN.
2. FOR ALL SPECIFICATION DISCREPANCIES, PROJECT ENGINEER SHALL BE CONTACTED PRIOR TO PROCEEDING WITH CONSTRUCTION. IF ENGINEER IS NOT CONTACTED, CONTRACTOR SHALL BE RESPONSIBLE FOR ANY PROBLEMS THAT RESULT FROM SAID DISCREPANCIES.
3. FOR ALL SPECIFICATION DISCREPANCIES, CONTRACTOR MUST OBTAIN WRITTEN APPROVAL FROM THE CITY OF WEST DES MOINES ENGINEERING DEPARTMENT FOR ANY CHANGES TO PROPOSED SITE INFRASTRUCTURE OR GRADES PRIOR TO PROCEEDING WITH ANY CHANGES.



VICINITY MAP
SCALE: NONE

LEGEND:

- SAN — SANITARY SEWER
- ST — STORM SEWER
- W — WATER LINE
- G — GAS LINE
- U/E — UNDERGROUND ELECTRIC
- O/E — OVERHEAD ELECTRIC
- TELE — TELEPHONE LINE
- F/O — FIBER OPTIC
- CATV — CABLE TV
- ⊗ STORM MANHOLE
- ⊠ CURB INTAKE
- ⊡ SURFACE INTAKE
- ⊞ FLARED END SECTION
- ⊚ SANITARY MANHOLE
- ⊙ CLEANOUT
- ⊛ FIRE HYDRANT
- ⊜ SPRINKLER
- ⊝ IRRIGATION CONTROL VALVE
- ⊞ WATER MANHOLE
- ⊙ WELL
- ⊞ WATER VALVE
- ⊞ WATER SHUT OFF
- ⊞ YARD HYDRANT
- ⊞ ELECTRIC MANHOLE
- ⊞ ELECTRIC METER
- ⊞ ELECTRIC RISER
- ⊞ ELECTRIC VAULT
- ⊞ POWER POLE
- ⊞ TRANSFORMER POLE
- ⊞ LIGHT POLE
- ⊞ ELECTRIC JUNCTION BOX
- ⊞ ELECTRIC PANEL
- ⊞ TRANSFORMER
- ⊞ GROUND LIGHT
- ⊞ GUY WIRE
- ⊞ ELECTRIC HANDHOLE
- ⊞ GAS METER
- ⊞ GAS VALVE
- ⊞ AIR CONDITIONING UNIT
- ⊞ TELEPHONE RISER
- ⊞ TELEPHONE VAULT
- ⊞ TELEPHONE MANHOLE
- ⊞ TRAFFIC SIGNAL MANHOLE
- ⊞ FIBER OPTIC RISER
- ⊞ FIBER OPTIC FAULT
- ⊞ CABLE TV RISER
- ⊞ SIGN
- ⊞ DENOTES NUMBER OF PARKING STALLS
- ⊞ TYPICAL
- ⊞ PROPERTY CORNER - FOUND AS NOTED
- ⊞ PROPERTY CORNER- PLACED 3/4" IRON PIPE WITH YELLOW PLASTIC CAP ID #14775
- ⊞ SECTION CORNER - FOUND AS NOTED

ABBREVIATIONS:

- AC ACRES
- ASPH ASPHALT
- BK BOOK
- CONC CONCRETE
- D DEEDED DISTANCE
- E EXISTING
- ENCL ENCLOSURE
- FF FINISHED FLOOR
- FL FLOW LINE
- FRAC FRACTIONAL
- M MEASURED DISTANCE
- MH MANHOLE
- OPC ORANGE PLASTIC CAP
- P PLATTED DISTANCE
- PG POINT OF BEGINNING
- POB POINT OF COMMENCEMENT
- PRA PREVIOUSLY RECORDED AS PUBLIC UTILITY EASEMENT
- PUE RIGHT OF WAY
- ROW RED PLASTIC CAP
- RPC SQUARE FEET
- SF SANITARY
- TYF TYPICAL
- YPC YELLOW PLASTIC CAP
- N NORTH
- S SOUTH
- E EAST
- W WEST



I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

SIGNED: MICHAEL J. WAHLERT, P.E. 25342

DATE:

PRELIMINARY

LICENSE RENEWAL DATE: DEC. 31, 2024

PAGES OR SHEETS COVERED BY THIS SEAL:



3512 Richard Road, West Des Moines, IA 50261
michael.wahlert@orcaconsulting.biz
(515) 778-6609

COMMERCIAL
CIVIL SITE
PLAN

OAKS ON GRAND, PHASE 2
WEST DES MOINES, POLK COUNTY, IOWA

COVER SHEET

DRAWING DATE:

1ST CITY SUBMITTAL:
6-24-2024
PROGRESS/BID SET:
7-3-2024
2ND CITY SUBMITTAL:
7-22-2024
FINAL CITY SUBMITTAL:
7-31-2024
DOWNING CO#1:
8-19-2024

ORCA PROJECT #:

240026

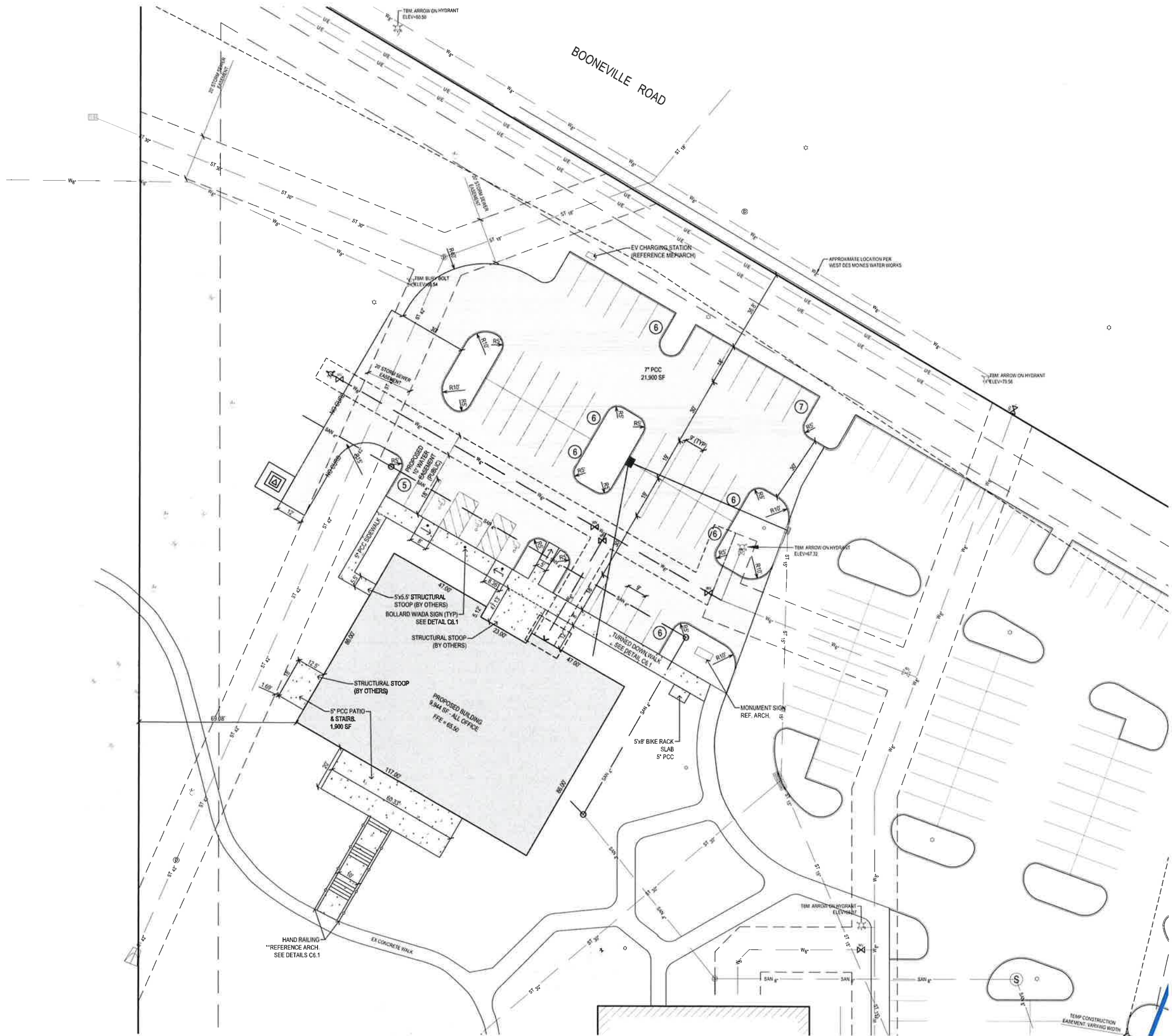
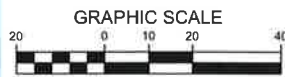
SHEET:

C0.1



THE LOCATION OF THE UTILITIES INDICATED ON THE PLANS HAVE BEEN TAKEN FROM THE FIELD SURVEY, EXISTING PUBLIC RECORDS, AND PLANS PROVIDED BY OTHERS. SURFACE UTILITY LOCATIONS HAVE BEEN FIELD LOCATED BY BISHOP ENGINEERING, UNLESS OTHERWISE NOTED. ALL UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE LOCATIONS ONLY. BISHOP ENGINEERING DOES NOT GUARANTEE THE UNDERGROUND LOCATION OF ANY UTILITIES SHOWN. IT SHALL BE THE DUTY OF THE CONTRACTOR TO DETERMINE THE LOCATION AND DEPTH OF ANY UNDERGROUND UTILITIES SHOWN AND IF ANY ADDITIONAL UTILITIES, OTHER THAN THOSE SHOWN ON THE PLANS, MAY BE PRESENT, A REQUEST WAS MADE TO IOWA ONE CALL FOR UTILITY PROVIDERS TO VERIFY, LOCATE, AND MARK THEIR UTILITIES IN THE FIELD.

NOT FOR CONSTRUCTION



DRAWING DATE:

1ST CITY SUBMITTAL	6-24-2024
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240026

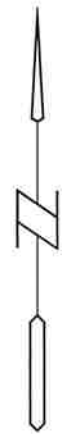
SHEET:
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NOT FOR CONSTRUCTION

TOPSOIL NOTES:

1. STRIP AND STOCKPILE TOPSOIL UP TO 8".
2. RESPREAD TOPSOIL TO IN-SITU DEPTH UP TO 8" ON ALL GREEN (NON PAVED) AREAS. IMPORT TOPSOIL AS NECESSARY TO ACHIEVE IN-SITU MINIMUM DEPTH.
3. TOPSOIL SHALL BE FREE OF ALL ROCK AND DEBRIS LARGER THAN 3/4" IN SIZE.
4. TOPSOIL IS DEFINED AS: FERTILE, FRABLE LOAM, CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH, FROM WELL DRAINED SITE FREE FROM FLOODING, NOT IN FROZEN OR MUDDY CONDITIONS; REASONABLE FREE FROM SUBSOIL, CLAY LUMPS, ROOTS, GRASS, WEEDS, STONES LARGER THAN 3/4 INCH IN DIAMETER, AND FOREIGN MATTER; ACIDITY RANGE (PH) OF 5.5 TO 7.5; CONTAINING MINIMUM 4 PERCENT AND MAXIMUM 20 PERCENT ORGANIC MATTER.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ALL TOPSOIL REQUIREMENTS OF NPDES GENERAL PERMIT NO. 2 ARE MET.

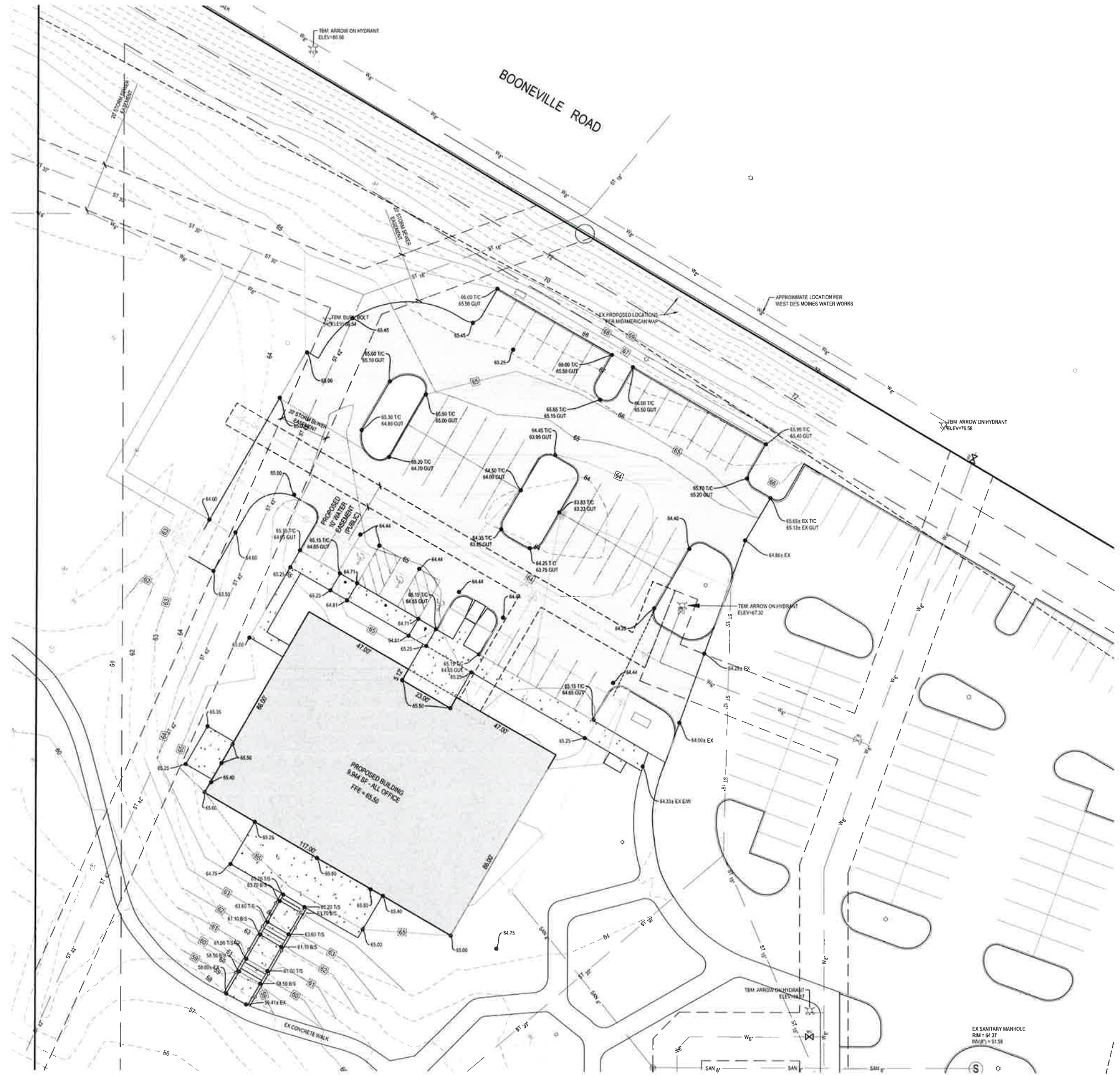
AREA OF DISTURBANCE CALCULATION:
APPROXIMATE AREA OF DISTURBANCE = 62,500SF



GRADING LEGEND:

- EXISTING CONTOUR --- 150 ---
- PROPOSED CONTOUR --- 150 ---
- FINISHED GROUND ELEVATION ● 150.50
- TOP OF CURB ELEVATION ● 150.50 TIC
- GUTTER ELEVATION ● 150.50 GUT
- TOP OF WALL ELEVATION ● 150.50 TW
- BOTTOM OF WALL ELEVATION ● 150.50 BW
- EDGE OF WALK ELEVATION ● 150.50 EW
- TOP OF STAIR ELEVATION ● 150.50 T/S
- BOTTOM OF STAIR ELEVATION ● 150.50 B/S
- EXISTING ELEVATION ● 150.50± EX

NOTE: WALL ELEVATIONS SHOWN ON PLAN ARE FINISHED GROUND GRADES AT THE TOP AND BOTTOM OF THE WALL.



COMMERCIAL
CIVIL SITE
PLAN

OAKS ON GRAND, PHASE 2
WEST DES MOINES, POLK COUNTY, IOWA
GRADING PLAN

DRAWING DATE:
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ORCA PROJECT #:
240026

SHEET:
C3.1

NOT FOR CONSTRUCTION

UTILITY NOTES:

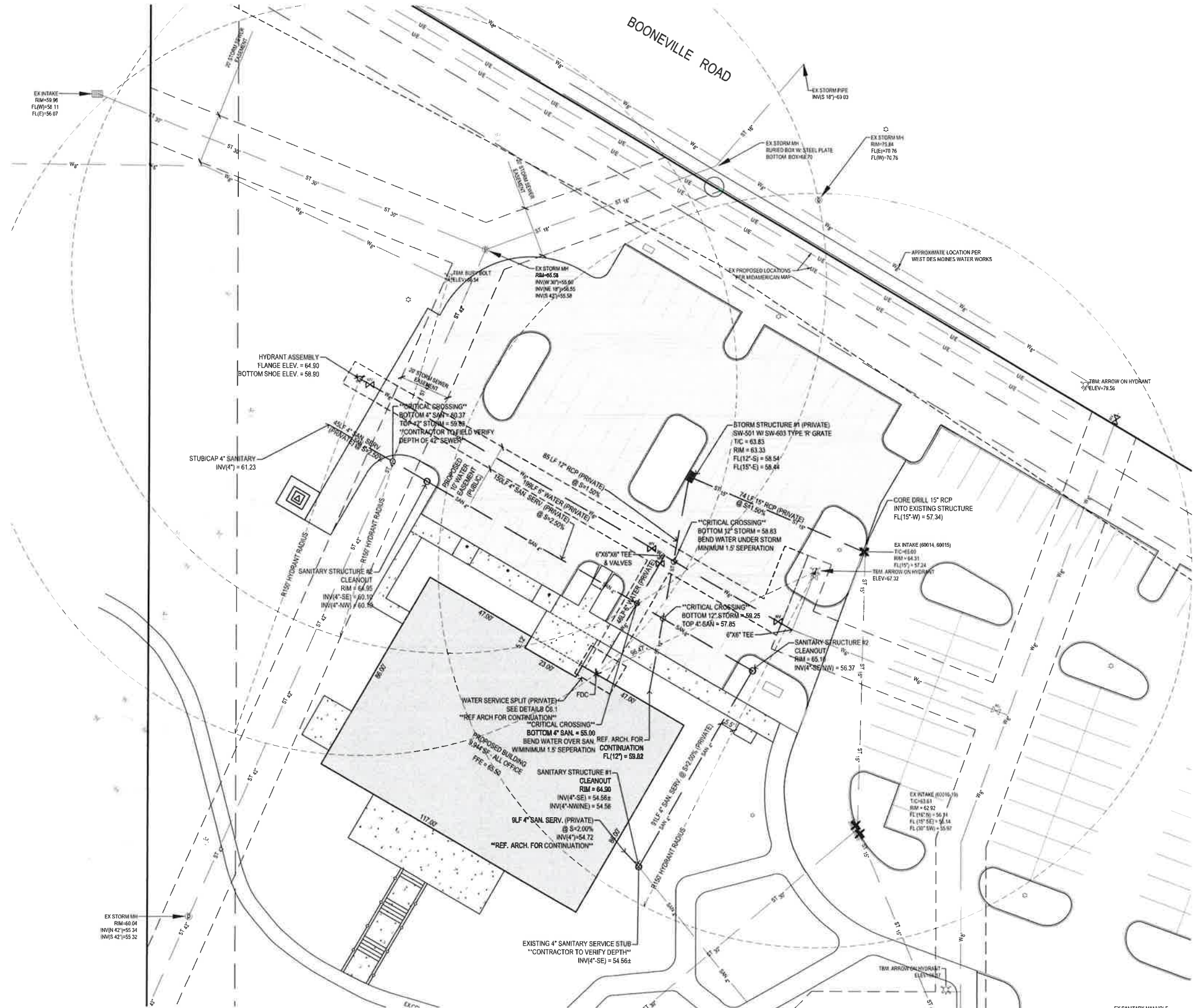
1. ALL PROPOSED UTILITIES SHALL BE PRIVATE, UNLESS NOTED OTHERWISE
2. ALL WATER LINES SHALL HAVE A MINIMUM OF 5' OF COVER UNLESS NOTED OTHERWISE
3. FIRE HYDRANT ASSEMBLY SHALL INCLUDE THE TEE, BRANCH, VALVE AND HYDRANT
4. PIPE LENGTHS CALLED OUT ON PLANS INCLUDE FLARED END SECTION, WHERE APPLICABLE
5. STORM SEWER CALLED OUT AS RCP MUST BE CLASS III RCP OR ADS N-12
6. STORM SEWER CALLED OUT AS N-12 MAY BE EITHER N-12 OR CLASS III RCP
7. FOR RCP PIPE, ASSOCIATED F.E.S. MUST BE RCP, FOR N-12 PIPE, ASSOCIATED F.E.S. SHALL BE CMP
8. TRANSFORMER PAD IS SHOWN FOR REFERENCE ONLY AND MAY NOT BE DRAWN TO ACTUAL SIZE. PAD SHALL CONFORM TO ALL UTILITY COMPANY DESIGN STANDARDS AND SPECIFICATIONS
9. GAS METER SHOWN FOR LOCATION OF CONNECTION WITH MIDAMERICAN ENERGY. GAS SERVICE TO BE DESIGN BY MIDAMERICAN ENERGY
10. ALL EXISTING UTILITY AND SERVICE CONNECTION ELEVATIONS TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION
11. CONTACT WEST DES MOINES BUILDING INSPECTION (515-222-3630) A MINIMUM OF 24 HOURS IN ADVANCE FOR PRIVATE UTILITY INSTALLATION INSPECTION.

WEST DES MOINES WATER WORKS STANDARD NOTES:

1. ALL WATER WORK, PUBLIC OR PRIVATE, SHALL BE DONE IN ACCORDANCE WITH WEST DES MOINES WATER WORKS STANDARD SPECIFICATIONS, AVAILABLE AT: <https://www.wdmww.com/specs>
2. ANY WATER USE FROM A HYDRANT, PUBLIC OR PRIVATE, REQUIRES THE USE OF A WEST DES MOINES WORKS HYDRANT METER. CALL 515-222-3465 TO RESERVE A METER
3. CONTRACTOR SHALL NOTIFY WEST DES MOINES WATER WORK (515-222-3465) AT LEAST ONE WEEK PRIOR TO BUILDING CONSTRUCTION
4. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE WEST DES MOINES WATER WORKS AND THE CITY'S CROSS CONNECTION CONTROL/CONTAINMENT PROVISIONS
5. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER INSTALLATION OF AN APPROVED BACKFLOW PREVENTION ASSEMBLY(IES) FOR CONTAINMENT IN ALL NEW CONSTRUCTION. BACKFLOW PREVENTION TO BE INSTALLED PER CITY ORDINANCE 1297.54-1998. CONTRACTOR SHALL NOTIFY THEIR PROJECTS WEST DES MOINES WATER WORKS ENGINEERING TECHNICIAN (515-222-3456) A MINIMUM OF 24 HOURS AFTER INSTALLATION AND TESTING OF ALL BACKFLOW DEVICES TO SCHEDULE FINAL INSPECTION
6. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING STATIC WATER PRESSURE AND, WHERE REQUIRED BY THE CITY OF WEST DES MOINES PLUMBING CODE, SHALL INSTALL A PRESSURE REDUCING VALVE(S) WITH EXPANSION TANK(S) WHERE REQUIRED. PRESSURE REDUCING VALVE(S) AND TANK(S) SHALL BE INSTALLED DOWNSTREAM OF THE WATER METER(S) AND BACKFLOW PREVENTION ASSEMBLY(IES) SERVING THE SITE
7. FOR QUESTIONS REGARDING THE SPECIFICATIONS, CONTACT THE PRINCIPAL ENGINEER - WATER DISTRIBUTION AND DEVELOPMENT AT (515) 222-3510
8. HYDRANT EXTENSIONS WILL NOT BE ALLOWED, BOTTOM SHOE AND SPECIFIC FLANGE ELEVATIONS CALLED OUT ON PLAN FOR PROPOSED HYDRANT(S)

WEST DES MOINES WATER WORKS STANDARD NOTES:

- 6" PIPE (PER WDMWW STANDARDS) 245LF
- HYDRANT ASSEMBLY (PER WDMWW STANDARDS) 1EA
- 6" VALVES (PER WDMWW STANDARDS) 4EA



COMMERCIAL CIVIL SITE PLAN

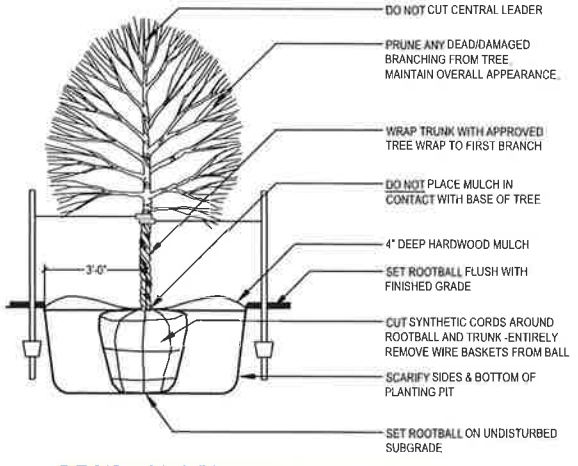
OAKS ON GRAND, PHASE 2 WEST DES MOINES, POLK COUNTY, IOWA

DRAWING DATE:

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PROGRESS/BID SET	7-3-2024
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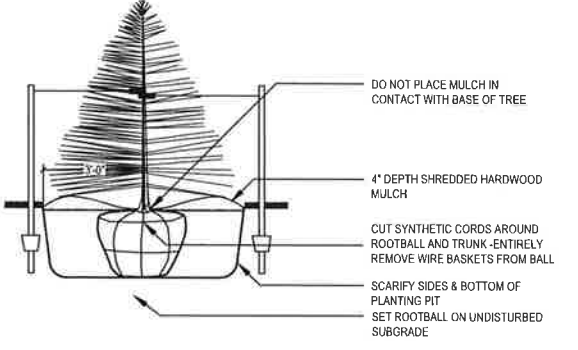
ORCA PROJECT #: 240026

SHEET: C4.1



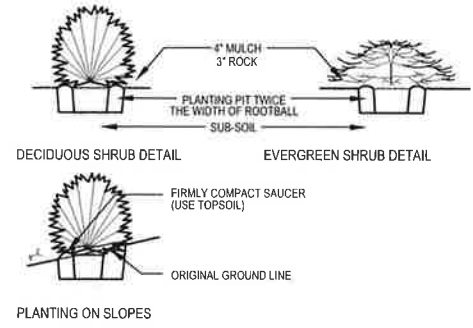
DECIDUOUS TREE PLANTING (TYP.)

SCALE - NOT TO SCALE



EVERGREEN TREE PLANTING (B&B)

SCALE - NOT TO SCALE



SHRUB PLANTING (TYP.)

SCALE - NOT TO SCALE

LANDSCAPE REQUIREMENTS:

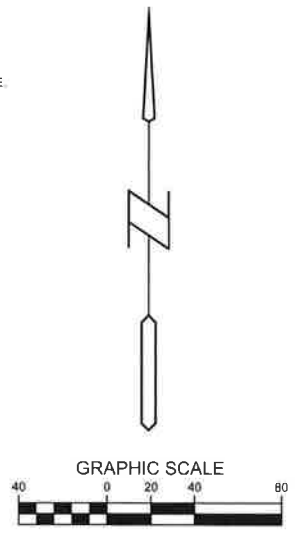
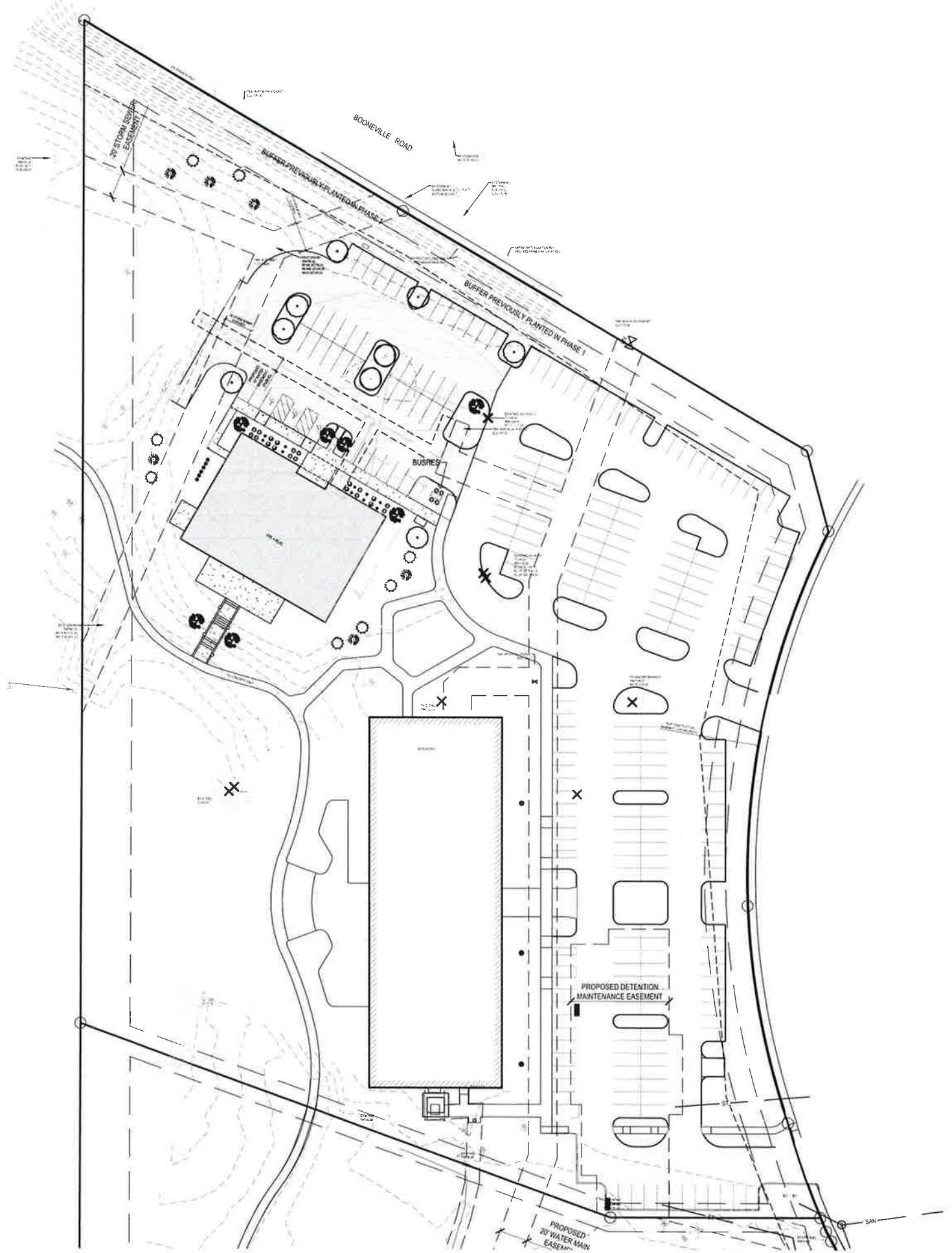
TOTAL SIZE OF LOT	= 314,131 SF
TOTAL REQUIRED OPEN SPACE (25%)	= 78,533 SF
TOTAL OPEN SPACE PROVIDED	= 155,425 SF OR 49.48%
TOTAL LANDSCAPE UNITS (1 / 3,000SF OF OPEN SPACE)	= 51.8
TOTAL TREES REQUIRED (2 PER LANDSCAPE UNIT)	= 104
TREES INSTALLED PER APPROVED PHASE 1 SITE PLAN	= 153
TREES PROPOSED PHASE 2 SITE PLAN	= 34
TOTAL TREES PROVIDED	= 186
TOTAL SHRUBS REQUIRED (3 PER LANDSCAPE UNIT)	= 155
SHRUBS INSTALLED PER APPROVED PHASE 1 SITE PLAN	= 1725
SHRUBS PROPOSED PHASE 2 SITE PLAN	= 40
TOTAL SHRUBS PROVIDED	= 1765

NORTH BERM LANDSCAPE BUFFER ABUTTING RESIDENTIAL ZONING INSTALLED IN PHASE 1 OF THE OAKS ON GRAND.

PLANT SCHEDULE:

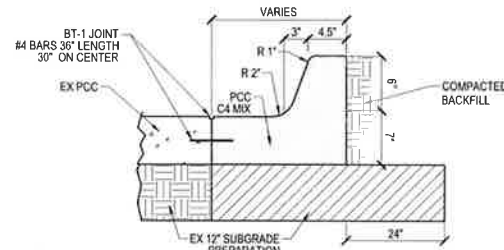
	DECIDUOUS TREES	
	GLEDITSIA TRIACANTHOS F. INERMIS - HONEY LOCUST - 2" CAL	= 6
	GYMOCLADUS DIOICA "ESPRESSO" - KENTUCKY COFFEE TREE - 2" CAL	= 2
	EVERGREEN TREES	
	PINUS STROBUS - WHITE PINE - 8" T	= 6
	PICEA ABIES - NORWAY SPRUCE - 8" T	= 6
	THUJA OCCIDENTALIS - EMERALD ABRORVITEA 36" B/B	= 6
	ORNAMENTAL TREES	
	CERCIS CANADENSIS - EASTERN REDBUD 6" T	= 7
	SHRUBS	
	HYDRANGEA PANICULATA "UNIQUE" 5 GAL	= 16
	CEPHALANTHUS OCCIDENTALIS - BUTTONBUSH 5 GAL	= 8
	ORNAMENTAL GRASSES	
	PANICUM VIRGATUM "RR1" 1M - 1 GAL 18" O/C	= 10

HARDWOOD MULCH AREA (TO MATCH PHASE 1 MULCH) APPROX. 2,300 SF



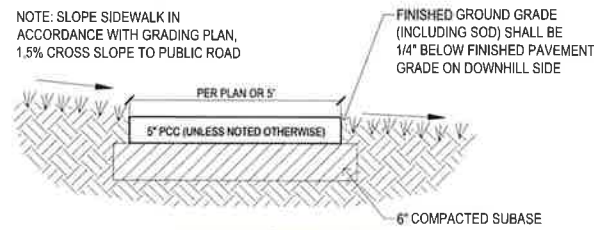
LANDSCAPE NOTES:

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- STAKE SOD ON ALL SLOPES 3:1 OR GREATER.
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- ALL PLANT MATERIAL SHALL CONFORM TO THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1).
- CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO REMOVE IDENTIFICATION TAGS AND CORDS ON ALL PLANT MATERIAL PRIOR TO THE COMPLETION OF THE CONTRACT. IDENTIFICATION TAGS MUST BE LEFT ON UNTIL AFTER ACCEPTANCE BY OWNER OR OWNER'S REPRESENTATIVE.
- CONTRACTOR SHALL PLACE SHREDDED HARDWOOD MULCH AROUND ALL TREES, SHRUBS AND GROUND COVER BEDS TO A DEPTH OF 4 INCHES, UNLESS NOTED.
- STAKE AND WRAP ALL DECIDUOUS TREES IMMEDIATELY AFTER PLANTING. STAKE ALL TREES ACCORDING TO THE STAKING DETAILS. CONTRACTOR SHALL ADJUST AND MAINTAIN GUYING TENSION THROUGHOUT THE PLANT ESTABLISHMENT PERIOD.
- THE LANDSCAPING CONTRACTOR SHALL HAVE ALL UTILITIES LOCATED BEFORE STARTING ANY SITE WORK OR PLANTING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES.
- NO LANDSCAPE MATERIAL SHALL BE SUBSTITUTED WITHOUT THE AUTHORIZATION OF THE LANDSCAPE ARCHITECT.
- ALL EDGING SHALL BE DURAEDGE 1 1/2" STEEL EDGING - COLOR GREEN, OR APPROVED EQUAL.
- CONTRACTOR SHALL BE RESPONSIBLE MAINTAINING APPROPRIATE LEVEL OF WATERING FOR ALL NEW PLANTS FOR A PERIOD OF 30 DAYS.
- ALL SHRUB AND PERENNIAL PLANTING BEDS SHALL BE MULCHED WITH 4" THICK SHREDDED HARDWOOD MULCH.
- ALL SHRUB AND PERENNIAL PLANTING BEDS SHALL INCORPORATE TYPAR 3301 NONWOVEN LANDSCAPE FABRIC (OR SIMILAR) AND 3" THICK LAYER OF WASHED RIVER ROCK (1.5" NOMINAL SIZE).
- ALL BEDS TO RECEIVE GRANULAR PRE-EMERGENT WEED CONTROL BEFORE AND AFTER MULCH/ROCK IS INSTALLED.
- A CLEAR SPACE OF 10' SHALL BE MAINTAINED AROUND ALL ELECTRIC AND GAS METERS AS WELL AS A MINIMUM 10' CLEAR SPACE IN FRONT OF THE TRANSFORMER DOORS.

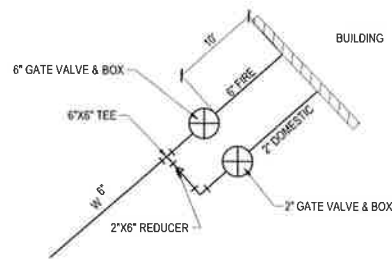


- NOTES:
 1. SLOPE GUTTER IN ACCORDANCE WITH GRADING PLAN
 2. INSTALL CURB & GUTTER INTERGRAL WITH PAVING
 3. PCC PAVEMENT SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 4,000 PSI

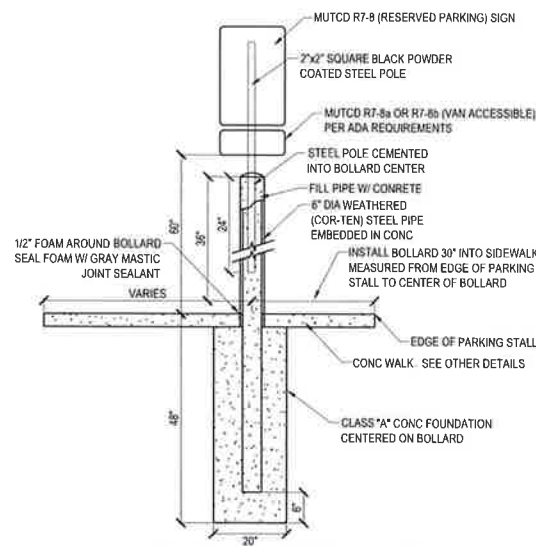
CURB & GUTTER SECTION
NOT TO SCALE



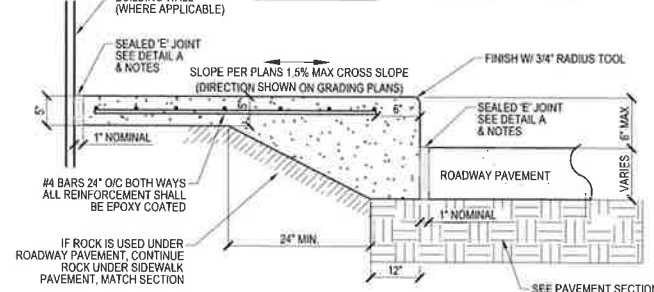
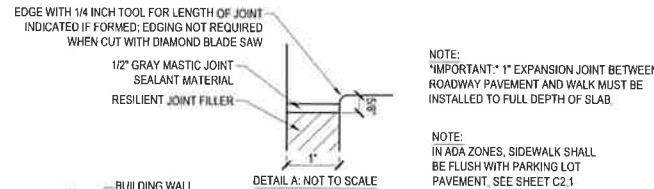
SIDEWALK/PATIO DETAIL
NOT TO SCALE



WATER SERVICE DETAIL
NOT TO SCALE
REFERENCE MEP/ARCHITECTURAL PLANS FOR EXACT LOCATION



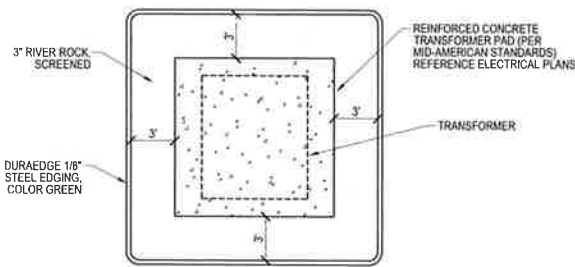
BOLLARD W/ HC PARKING SIGN DETAIL
SCALE NONE



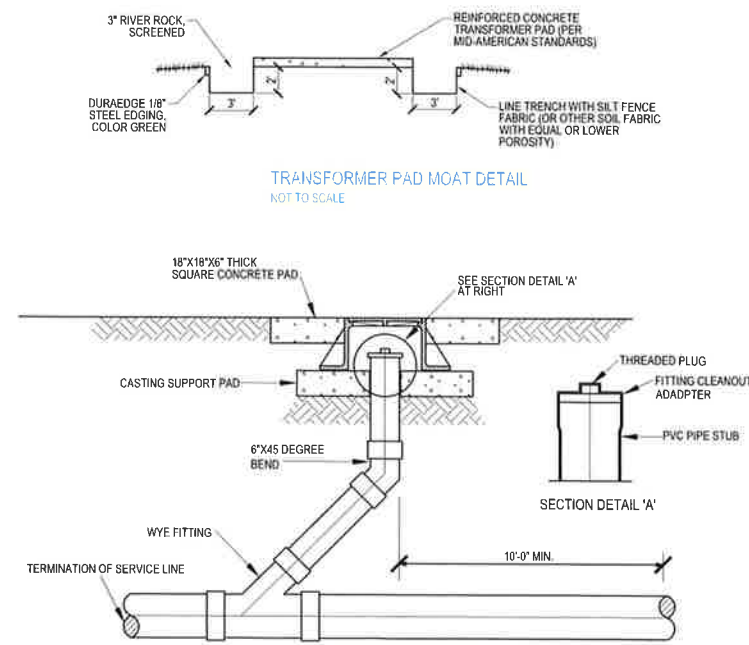
TURNED DOWN WALK DETAIL
NOT TO SCALE



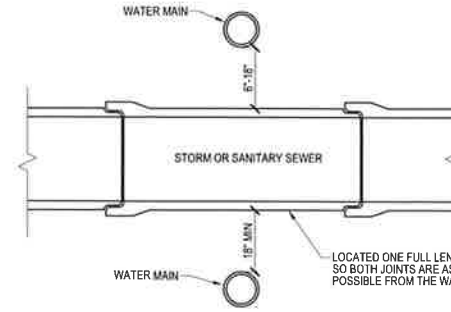
BIKE RACK
NOT TO SCALE



TRANSFORMER PAD MOAT DETAIL
NOT TO SCALE



CLEANOUT DETAIL
NOT TO SCALE



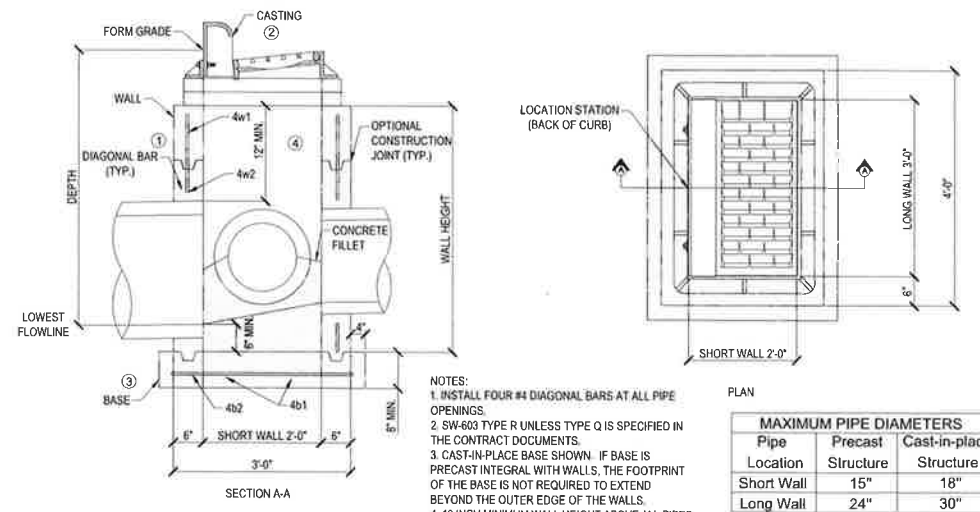
WATER MAIN & STORM OR SANITARY SEWER CROSSING DETAIL
NOT TO SCALE

- NOTES:
 1. THIS DETAIL SHALL APPLY ANY TIME A STORM SEWER OR SANITARY SEWER CROSSES OVER OR LESS THAN 18 INCHES BELOW A WATER MAIN
 2. WHEN WATER MAIN CROSSES UNDER STORM OR SANITARY SEWER THE CONTRACTOR SHALL MAINTAIN A MINIMUM OF 18" OF SEPARATION
 3. STORM OR SANITARY SEWER MAY NOT BE PLACED CLOSER THAN 6" BELOW A WATER MAIN
 4. MAINTAIN THE MAXIMUM FEASIBLE SEPARATION IN ALL CASES
 5. SEWER AND WATER PIPES MUST BE ADEQUATELY SUPPORTED & HAVE WATERTIGHT JOINTS
 6. CONTRACTOR SHALL INSTALL LOW PERMEABILITY SOIL FOR BACKFILL MATERIAL WITHIN 10 FEET OF THE CROSSING
 7. IN SANITARY SEWER CROSSINGS, CONTRACTOR SHALL INSTALL ONE FULL LENGTH OF SANITARY SEWER OF WATER MAIN PIPE MATERIAL WITH WATERTIGHT JOINTS LOCATED AS FAR AS POSSIBLE FROM THE CROSSING
 8. IN STORM SEWER CROSSINGS, THE CONTRACTOR SHALL INSTALL ON FULL LENGTH OF STORM SEWER PIPE OF WATER MAIN MATERIAL OR RCP WITH FLEXIBLE O-RING GASKET JOINTS SO BOTH JOINTS ARE LOCATED AS FAR AS POSSIBLE FROM THE CROSSING
 9. GASKETED JOINTS SHALL COMPLY WITH ASTM C443



HANDRAIL DETAIL - REFERENCE ARCHITECTURAL

Ø 75"x1.5" GALV STEEL FLAT BAR HANDRAIL/VERTICAL POSTS W/ 4" x4" x3/16" BASE PLATES FASTEN TO PAVING WITH STAINLESS STEEL ANCHORS. PROVIDE NON-FERROUS SHIM PADS BELOW ALL BASE PLATES. PAINT RAILING AND BASE PLATES TO MATCH CURTAIN WALL FRAMES



SW-501 SINGLE GRATE INTAKE DETAIL
NOT TO SCALE

- NOTES:
 1. INSTALL FOUR #4 DIAGONAL BARS AT ALL PIPE OPENINGS
 2. SW-503 TYPE R UNLESS TYPE Q IS SPECIFIED IN THE CONTRACT DOCUMENTS
 3. CAST-IN-PLACE BASE SHOWN. IF BASE IS PRECAST INTEGRAL WITH WALLS, THE FOOTPRINT OF THE BASE IS NOT REQUIRED TO EXTEND BEYOND THE OUTER EDGE OF THE WALLS
 4. 12 INCH MINIMUM WALL HEIGHT ABOVE ALL PIPES

MAXIMUM PIPE DIAMETERS		
Pipe Location	Precast Structure	Cast-in-place Structure
Short Wall	15"	18"
Long Wall	24"	30"

REINFORCING BAR LIST						
Mark	Size	Location	Shape	Length	Count	Spacing
4w1	4	Walls	---	Wall Height minus 4"	14	12"
4w2	4	Long Walls	---	3'-8"	Varies	12"
4w3	4	Short Walls	---	2'-8"	Varies	12"
4b1	4	Base	---	4'-2"	4	10"
4b2	4	Base	---	3'-2"	5	10"

DRAWING DATE:

- 1ST CITY SUBMITTAL 6-24-2024
- PROGRESS/BID SET 7-3-2024
- 2ND CITY SUBMITTAL 7-22-2024
- FINAL CITY SUBMITTAL 7-31-2024
- DOWNING CO#1 8-19-2024

ORCA PROJECT #: 240026

SHEET:

C6.1

NOT FOR CONSTRUCTION

STORM WATER POLLUTION PREVENTION PLAN

ADDRESS:
5745 RACCOON RIVER DRIVE
WEST DES MOINES, IOWA

OWNER:
JCG EQUITY LLC
ATTN: JON GALLOWAY (515) 297-6200
POB 7502
URBANDALE, IOWA 50323-7502

PREPARED FOR:
JCG EQUITY LLC
ATTN: JON GALLOWAY (515) 297-6200
POB 7502
URBANDALE, IOWA 50323-7502

ZONING:
OF - OFFICE DISTRICT

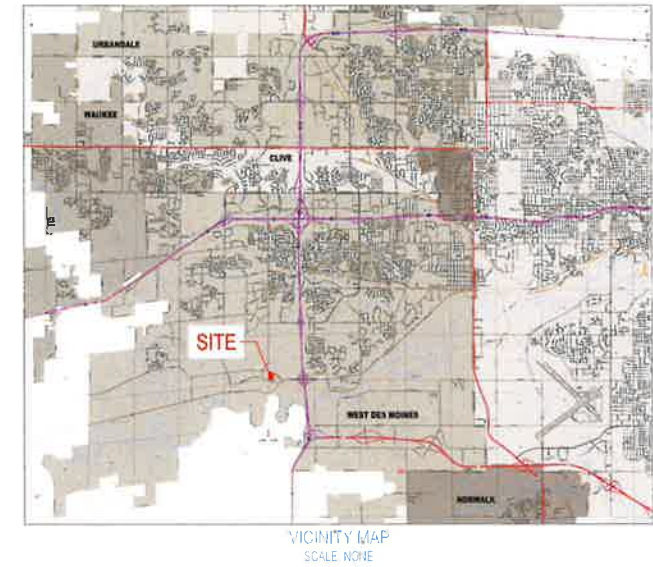
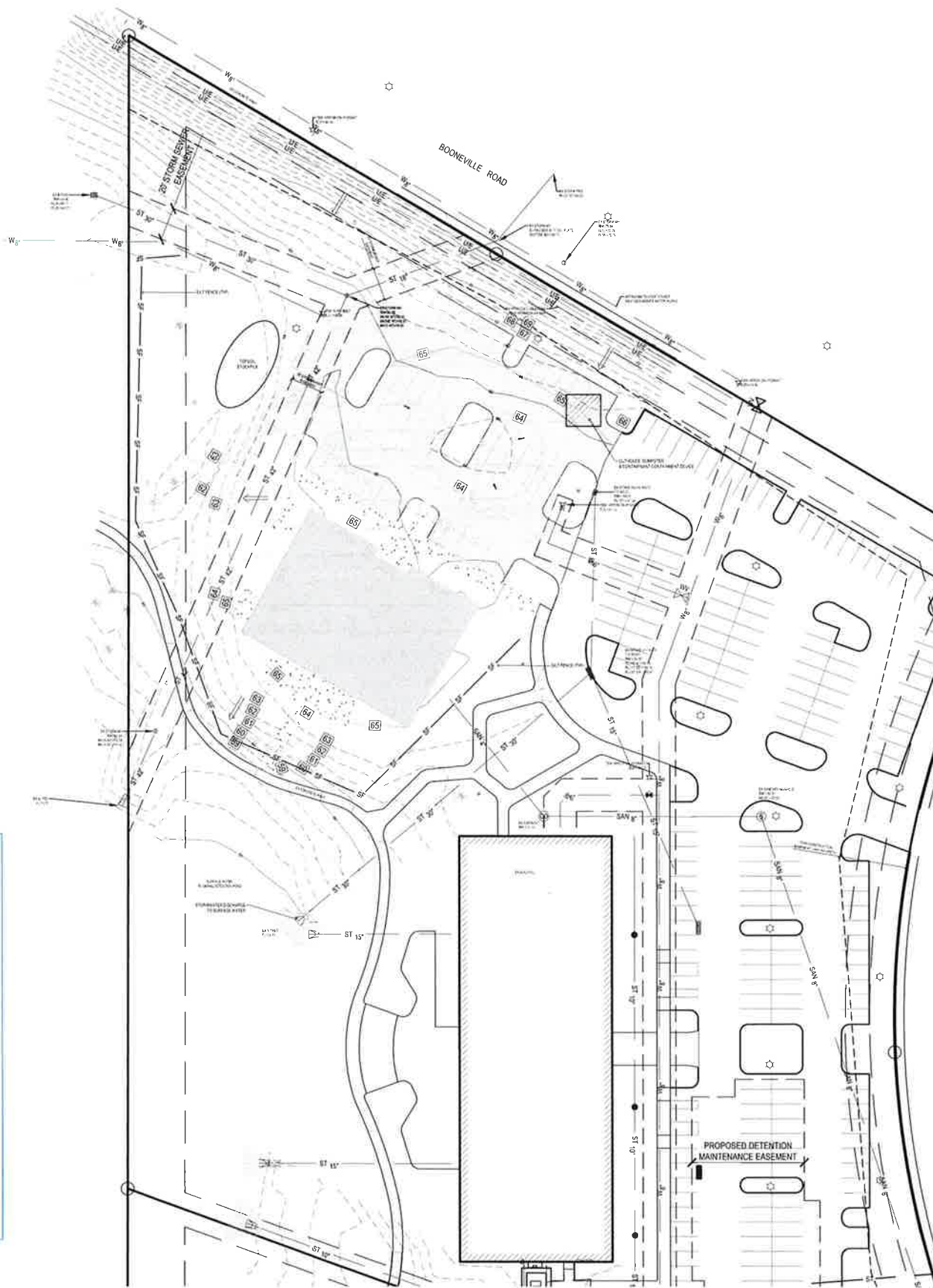
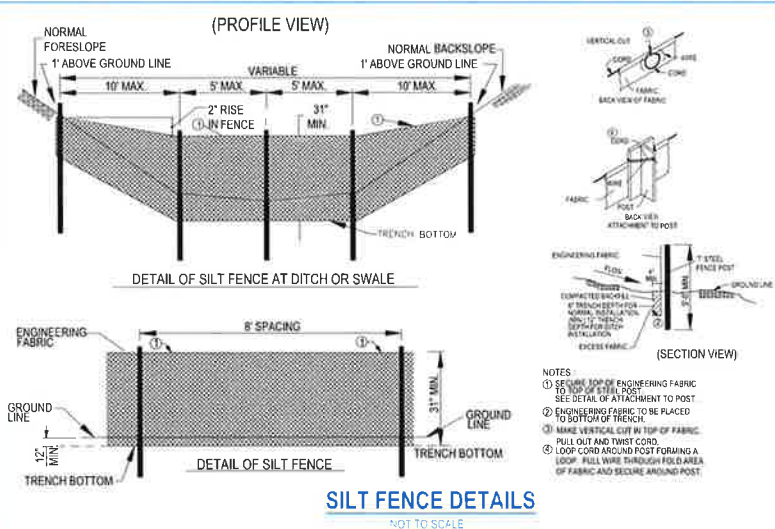
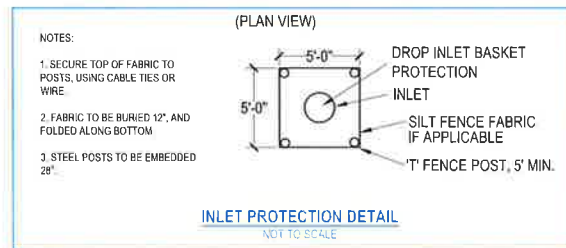
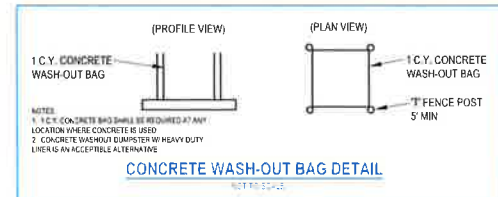
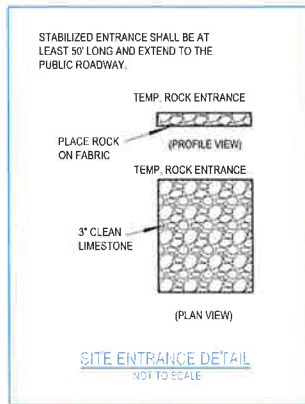
BULK REGULATIONS:
SETBACKS:
FRONT = 30'
REAR = 35'
SIDE = 10'

PARKING REQUIREMENTS:
MOTOR VEHICLE OFF-STREET PARKING
USE: OFFICE
REQUIRED FROM WEST DES MOINES CODE 9-15-17:
3.5 STALL PER 1,000 SF @ 9,988 SF = 35 STALLS (2 ADA)
PROVIDED:
45 STALLS (3 ADA)

IMPERVIOUS SURFACE:
TOTAL SITE AREA = 313,388 SF OR 7.19 ACRES
EXISTING IMPERVIOUS SURFACE = 124,690 SF
PROPOSED IMPERVIOUS SURFACE = 35,469 SF
TOTAL IMPERVIOUS SURFACE = 160,159 SF OR 51% OF TOTAL SITE
PROPOSED SITE OPEN SPACE = 153,229 SF OR 49% OF TOTAL SITE

PRINCIPAL USE/PROJECT TYPE:
OFFICE BUILDING

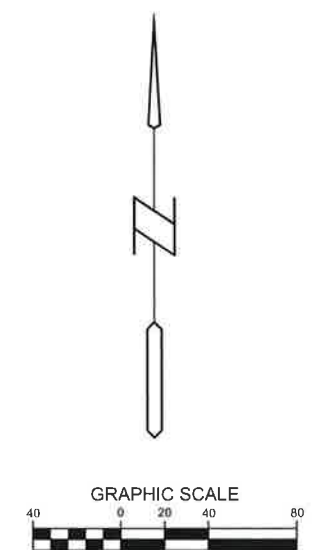
AREA OF DISTURBANCE:
APPROX. 66,000 SF



- EROSION CONTROL NOTES:**
- SEE SUPPLEMENTAL DETAIL STORM WATER POLLUTION PLAN NARRATIVE FOR ALL EROSION CONTROL MEASURES. ADDITIONAL DETAILS AND NOTE. ADDITIONAL NOTES AND MEASURES IN NARRATIVE SHALL BE CONSIDERED INCIDENTAL AND SHALL BE INCLUDED IN THE ORIGINAL BID.
 - SWPPP PLAN AND NARRATIVE ARE CONSIDERED A LIVING DOCUMENT AND WILL NEED PERIODIC UPDATES AND ADJUSTMENTS AS NECESSARY DEPENDING ON SITE CONDITIONS TO ASSURE COMPLIANCE WITH NPDES GENERAL PERMIT NO. 2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO UPDATE THE SWPPP AND IMPLEMENT ANY AND ALL MEASURES NECESSARY TO COMPLY WITH SAID PERMIT NO. 2.
 - INSTALL PERIMETER SILT FENCE AS SHOWN ON PLANS PRIOR TO CONSTRUCTION.
 - INSTALL INTAKE PROTECTION WITH SILT FENCE IMMEDIATELY AFTER STORM SEWER CONSTRUCTION.
 - INSTALL FINISHED PAVING INLET PROTECTION IMMEDIATELY AFTER PAVING IS COMPLETED AROUND INTAKE.
 - OTHER EROSION CONTROL TYPES MAY NOT BE SUBSTITUTED FOR SILT FENCE.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLYING A CONCRETE WASHOUT IN ACCORDANCE WITH NPDES GENERAL PERMIT NO. 2 DURING ALL CONCRETE WORK.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLYING TEMPORARY RESTROOM FACILITIES. SANITARY WASTE SHALL BE DISPOSED OF PER ALL FEDERAL, STATE AND LOCAL REGULATIONS.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ALL TOPSOIL REQUIREMENTS OF NPDES GENERAL PERMIT NO. 2 ARE MET.

- EROSION CONTROL REMOVAL NOTES:**
- AFTER FINAL STABILIZATION HAS OCCURRED, AS DEFINED IN NPDES GENERAL PERMIT NO. 2, CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL TEMPORARY EROSION CONTROL DEVICES INCLUDING, BUT NOT LIMITED TO, SILT FENCE, INLET PROTECTION, AND TEMPORARY STANDPIPES.

- LEGEND:**
- 120- EXISTING CONTOUR
 - 120- PROPOSED CONTOUR
 - SF SILT FENCE
 - SAN SANITARY SEWER
 - ST STORM SEWER
 - W WATER LINE
 - G GAS LINE
 - UE UNDERGROUND ELECTRIC
 - OE OVERHEAD ELECTRIC
 - TELE TELEPHONE LINE
 - FIO FIBER OPTIC
 - CATV CABLE TV
 - SM STORM MANHOLE
 - CI CURB INTAKE
 - SI SURFACE INTAKE
 - FE FLARED END SECTION
 - C CLEANOUT
 - SM SANITARY MANHOLE
 - CL CLEANOUT
 - FH FIRE HYDRANT
 - SP SPRINKLER
 - ICV IRRIGATION CONTROL VALVE
 - WM WATER MANHOLE
 - W WELL
 - WV WATER VALVE
 - WSO WATER SHUT OFF
 - YH YARD HYDRANT
 - EM ELECTRIC MANHOLE
 - EM ELECTRIC METER
 - ER ELECTRIC RISER
 - EV ELECTRIC VAULT
 - PP POWER POLE
 - TP TRANSFORMER POLE
 - LP LIGHT POLE
 - EJ ELECTRIC JUNCTION BOX
 - EP ELECTRIC PANEL
 - TR TRANSFORMER
 - GL GROUND LIGHT
 - GW GUY WIRE
 - EH ELECTRIC HANDHOLE
 - GM GAS METER
 - GV GAS VALVE
 - ACU AIR CONDITIONING UNIT
 - TR TELEPHONE RISER
 - TV TELEPHONE VAULT
 - TM TELEPHONE MANHOLE
 - TSM TRAFFIC SIGNAL MANHOLE
 - FOR FIBER OPTIC RISER
 - FOF FIBER OPTIC FAULT
 - CR CABLE TV RISER
 - SIGN SIGN



UTILITY NOTE:
THE LOCATION OF THE UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING PUBLIC RECORDS AND ARE APPROXIMATE LOCATIONS. THE EXACT LOCATIONS OF ALL UTILITIES MUST BE ASCERTAINED IN THE FIELD. IT SHALL BE THE DUTY OF THE CONTRACTOR TO DETERMINE WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT.



COMMERCIAL CIVIL SITE PLAN

**OAKS ON GRAND, PHASE 2
WEST DES MOINES, POLK COUNTY, IOWA**

SWPPP

DRAWING DATE:
1ST CITY SUBMITTAL 6-24-2024
PROGRESS/BID SET 7-3-2024
2ND CITY SUBMITTAL 7-22-2024
FINAL CITY SUBMITTAL 7-31-2024
DOWNING CO#1 8-19-2024

ORCA PROJECT #:
240026

SHEET:
C7.1

A RESOLUTION OF THE PLANNING AND ZONING COMMISSION

NO. PZC-24-040

WHEREAS, pursuant to the provisions of Title 9, Zoning of the West Des Moines Municipal Code, the applicant property owner, JCG Equity, L.L.C., requests approval of the Major Modification to Site Plan for the 7.19-acre property located at 5725 Raccoon River Drive as depicted on the location map included in the staff report. The applicant requests approval to construct an approximately 10,000 square foot office building, and associated site improvements; and

WHEREAS, the Major Modification to Site Plan request complies with the findings stated in the applicable provisions of Title 9, the Comprehensive Plan and City Code.

NOW THEREFORE, the Planning and Zoning Commission of the City of West Des Moines recommends the City Council approve the Major Modification to Site Plan (MaM-006505-2024), subject to compliance with all the conditions of approval as stated in the staff report, including conditions added at the meeting, and attached hereto as Exhibit "A", if applicable.

PASSED AND ADOPTED on August 26, 2024.

Tina Shaw, Chair
Planning and Zoning Commission

I HEREBY CERTIFY that the foregoing resolution was duly adopted by the Planning and Zoning Commission of the City of West Des Moines, Iowa, at a regular meeting on August 26, 2024, by the following vote:

AYES:

NAYS:

ABSTENTIONS:

ABSENT:

ATTEST:

Recording Secretary