

**CITY OF WEST DES MOINES
STAFF REPORT COMMUNICATION**

Meeting Date: September 9, 2024

ITEM: First Street Retail Space, 836 1st Street – Approve Site Plan to allow construction of a 2,500 square foot retail building – First Street, Limited Partnership – SP-006483-2024

Resolution: Approval of Site Plan

Background: The applicant and property owner, First Street, Limited Partnership, requests approval of the Site Plan for the approximately 0.7-acre property located at 836 1st Street. The applicant proposes to construct a 2,500 square foot retail building suitable for a restaurant with drive-thru on the north portion of Lot 6 and construction of a parking lot with 16 stalls on adjacent Lot 3 along with the associated driveways.

Staff Review & Comment:

- **Financial Impact:** No City funding of the project. Staff time for processing of development application and inspections during construction.
- **History:** In April of 2023, the property where the building will be located (originally Lot 6, Val-Gate) was split in half with the approval of a plat of survey to create the parcel subject of this site plan request.
- **Key Development Aspects:**
 1. **Lot 3:** Lot 3 is located to the northwest of the 836 1st Street (address to be assigned with this same action) parcel and will provide extra parking for this use as well as for the existing AutoZone building. Lot 3 was originally planned as an additional lot to be built upon, but the property owner has not had any interest in developing this lot for a building. So, the lot is now proposed to be used as a parking lot.
 2. **Building Design:** Staff has worked with applicant to develop an architectural design for the building which captures the design intent of the Val-Gate District and the precedent images from the First Street Redevelopment PUD. The building is of a mid-century modern design with a mix of stack bond brick and architectural metal panels with a sloped roof reinforcing the design elements found in the district and in the original development era of the property.
 3. **Parking:** The parking lot proposed on Lot 3 will contain 16 parking spaces to serve this site. Based on the proposed building size of 2,540 square feet, 17 parking spaces are required if the building is used as a restaurant. If the building is used for office or retail, 9 parking spaces are required. The 1st Street Redevelopment area has a shared parking agreement to allow for shared parking throughout the development area. This will also allow for the use of parking spaces located to the south and east of the proposed building.
- **Traffic Impact Study Findings:** The proposed land uses on the site are expected to generate less traffic than previously estimated. Recommendations given in previous studies for the surrounding major roadway network remain adequate.
- **Vesting of Entitlement:** Per City Code, entitlement (approval to construct or implement) shall remain in effect so long as substantial site work has progressed beyond grading and completion of structural foundations and twenty-five percent (25%) of the total building area has occurred above grade within twenty-four (24) months of the effective date of the approval, unless a greater time period is authorized at time of the original entitlement, or by approval of an extension of the original

entitlement. It is the responsibility of the developer to be aware of this deadline and request an extension of the approval prior to the expiration date.

Outstanding Issues: There are no outstanding issues.

Planning and Zoning Commission Action:

Date: September 9, 2024

Vote:

Recommendation:

Recommendation: Approve the Site Plan request, subject to the applicant meeting all City Code requirements.

Lead Staff Member: Brian Portz

Approval Meeting Dates:

Planning and Zoning Commission	September 9, 2024
City Council	September 16, 2024

Staff Report Reviews:

Planning & Zoning Commission	<input checked="" type="checkbox"/> Development Coordinator (or) <input checked="" type="checkbox"/> Director	<input checked="" type="checkbox"/> Legal Department
City Council	<input type="checkbox"/> Director <input type="checkbox"/> Appropriations/Finance	<input type="checkbox"/> Legal Department <input type="checkbox"/> Agenda Acceptance

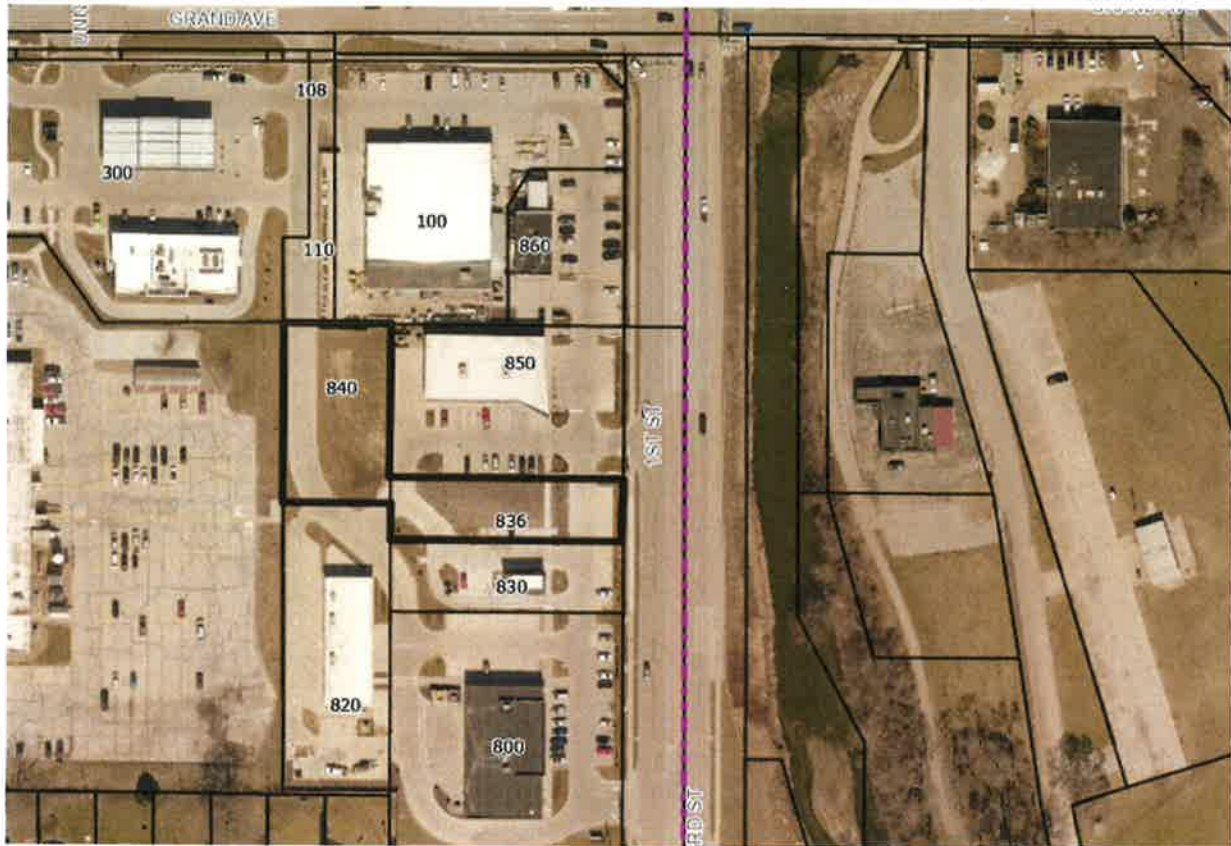
Publications (if applicable)

Published In:	Des Moines Register Community Section
Date(s) Published	n/a
Date(s) of Mailed Notices	n/a

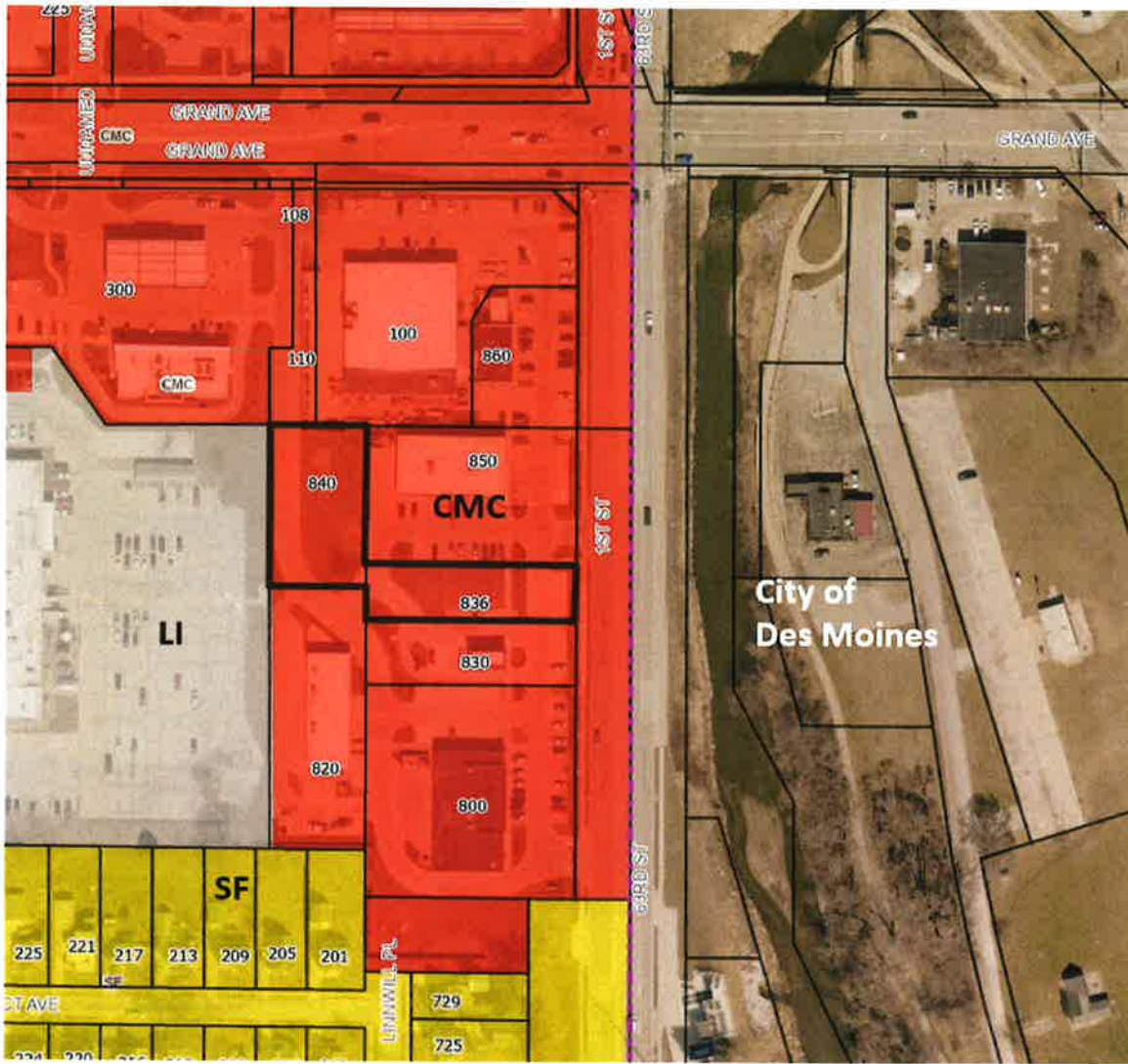
Council Subcommittee Review (if applicable)

Subcommittee	Development & Planning		
Date Reviewed	7/1/24		
Recommendation	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> Split

Location Map

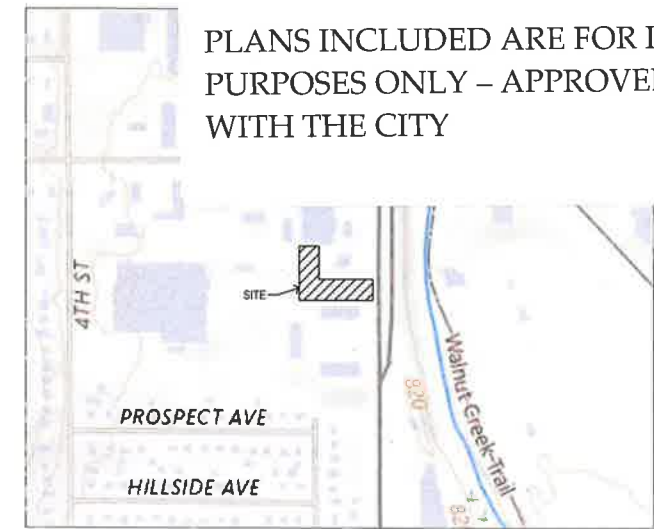


Vicinity Map – Land Uses



FIRST STREET RETAIL SPACE SITE PLAN

PLANS INCLUDED ARE FOR ILLUSTRATIVE PURPOSES ONLY – APPROVED PLANS ON FILE WITH THE CITY



VICINITY MAP
SCALE: 1" = 300'

LEGEND			
—SAN—	SANITARY SEWER	⊠	ELECTRIC VAULT
—ST—	STORM SEWER	⊠	TRANSFORMER POLE
—W—	WATER LINE	⊠	TRANSFORMER POLE
—G—	GAS LINE	⊠	LIGHT POLE
—UE—	UNDERGROUND ELECTRIC	⊠	ELECTRIC JUNCTION BOX
—OE—	OVERHEAD ELECTRIC	⊠	ELECTRIC PANEL
—TELE—	TELEPHONE LINE	⊠	TRANSFORMER
—FIO—	FIBER OPTIC	⊠	GROUND LIGHT
—CATV—	CABLE TV	⊠	GUY WIRE
⊠	STORM MANHOLE	⊠	ELECTRIC HANDHOLE
⊠	CURB INTAKE	⊠	GAS METER
⊠	SURFACE INTAKE	⊠	GAS VALVE
⊠	FLARED END SECTION	⊠	AIR CONDITIONING UNIT
⊠	ROOF DRAIN	⊠	TELEPHONE RISER
⊠	DOWNSPOUT	⊠	TELEPHONE VAULT
⊠	SANITARY MANHOLE	⊠	TELEPHONE MANHOLE
⊠	CLEANOUT	⊠	TRAFFIC SIGNAL MANHOLE
⊠	FIRE HYDRANT	⊠	FIBER OPTIC MANHOLE
⊠	SPRINKLER	⊠	FIBER OPTIC RISER
⊠	IRRIGATION CONTROL VALVE	⊠	FIBER OPTIC VAULT
⊠	WATER MANHOLE	⊠	CABLE TV RISER
⊠	WELL	⊠	SIGN
⊠	WATER VALVE	⊠	BOLLARDS
⊠	WATER SHUT OFF	⊠	DENOTES NUMBER OF PARKING STALLS
⊠	YARD HYDRANT	⊠	PROPERTY CORNER - FOUND AS NOTED
⊠	FLAGPOLE	⊠	PROPERTY CORNER - PLACED 5/8" IRON ROD WITH YELLOW PLASTIC CAP ID # XXXXX OR AS NOTED
⊠	ELECTRIC MANHOLE	⊠	SECTION CORNER - FOUND AS NOTED
⊠	ELECTRIC METER	⊠	SITE CONTROL POINT - MONUMENT AS NOTED
⊠	ELECTRIC RISER	⊠	

ABBREVIATIONS:

AC	ACRES
ASPH	ASPHALT
BK	BOOK
CONC	CONCRETE
D	DEEDED DISTANCE
EX	EXISTING
ENCL	ENCLOSURE
FF	FINISHED FLOOR
FL	FLOW LINE
FRAC	FRACTIONAL
M	MEASURED DISTANCE
MH	MANHOLE
OPC	ORANGE PLASTIC CAP
P	PLATTED DISTANCE
PG	PAGE
POB	POINT OF BEGINNING
POC	POINT OF COMMENCEMENT
PRA	PREVIOUSLY RECORDED AS
PUE	PUBLIC UTILITY EASEMENT
ROW	RIGHT OF WAY
RPC	RED PLASTIC CAP
SF	SQUARE FEET
SAN	SANITARY
TYP	TYPICAL
YPC	YELLOW PLASTIC CAP
N	NORTH
S	SOUTH
E	EAST
W	WEST

GENERAL NOTES:

- ALL PRIVATE WORK SHALL BE DONE IN ACCORDANCE WITH SUDAS STANDARD SPECIFICATIONS AND ANY AND ALL CITY/COUNTY SUPPLEMENTAL SPECIFICATIONS. THE CITY OF WEST DES MOINES MUST BE NOTIFIED BY ALL CONTRACTORS 48 HOURS PRIOR TO COMMENCING WORK.
- ALL CONSTRUCTION WITHIN PUBLIC ROW / EASEMENTS AND/ OR CONNECTIONS TO PUBLIC SEWERS AND STREETS SHALL COMPLY WITH THE WEST DES MOINES STANDARD CONSTRUCTION SPECIFICATIONS FOR SUBDIVISIONS.
- AT LEAST ONE WEEK PRIOR TO ANY CONSTRUCTION WITHIN PUBLIC R.O.W./EASEMENTS AND/ OR ANY CONNECTIONS TO PUBLIC SEWERS AND STREETS, THE CONTRACTOR SHALL CONTACT THE WDM ENGINEERING SERVICES AT 222-3475 TO SCHEDULE ANY REQUIRED INSPECTIONS.
- IN EVENT OF A DISCREPANCY BETWEEN THE QUANTITY ESTIMATES AND THE DETAILED PLANS, THE DETAILED PLANS SHALL GOVERN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL UTILITIES. ANY DAMAGE TO SAID UTILITIES SHALL BE REPAIRED AT THE CONTRACTORS EXPENSE.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CURRENT O.S.H.A. CODES AND STANDARDS. NOTHING INDICATED ON THESE PLANS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH THE APPROPRIATE SAFETY REGULATIONS.
- ALL NECESSARY CONSTRUCTION SIGNS, BARRICADES AND OTHER TRAFFIC CONTROL DEVICES REQUIRED DURING CONSTRUCTION WILL BE FURNISHED BY THE CONTRACTOR. SIGNS, BARRICADES AND OTHER TRAFFIC CONTROL DEVICES MUST BE IN CONFORMANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS."
- BISHOP ENGINEERING SHALL NOT BE LIABLE FOR ANY INJURIES THAT HAPPEN ON SITE. THIS SHALL INCLUDE BUT NOT BE LIMITED TO TRENCH COLLAPSES FROM VARYING SOIL CONDITIONS OR INJURIES CAUSED BY UNDERGROUND UTILITIES INCLUDING UTILITIES THAT ARE NOT SHOWN ON PLAN.
- THE CONTRACTOR IS LIABLE FOR ALL DAMAGES TO PUBLIC OR PRIVATE PROPERTY CAUSED BY THEIR ACTION OR INACTION IN PROVIDING FOR STORM WATER FLOW DURING CONSTRUCTION. DO NOT RESTRICT FLOWS IN EXISTING DRAINAGE CHANNELS, STORM SEWER, OR FACILITIES.
- THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER A SCHEDULE FOR PERFORMANCE OF WORK ITEMS. THIS SCHEDULE SHALL BE PROVIDED BY THE CONTRACTOR AT THE PROJECT PRECONSTRUCTION CONFERENCE. NO WORK SHALL BEGIN UNTIL A SCHEDULE HAS BEEN SUBMITTED AND ACCEPTED. THE CONTRACTOR SHALL THEN PERFORM WORK TO CONFORM TO THE ACCEPTED SCHEDULE.
- LABORATORY TESTS SHALL BE PERFORMED BY THE OWNER UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL PROVIDE SAMPLES OF MATERIAL REQUIRED FOR LABORATORY TESTS AND TESTING SHALL CONFORM TO THE WEST DES MOINES STANDARD SPECIFICATIONS FOR SUBDIVISIONS IN THE PUBLIC RIGHT-OF-WAY AND EASEMENTS.
- SOIL IMPORT OR EXPORT ON THIS PROJECT SHALL BE CONSIDERED INCIDENTAL AND WILL NOT BE MEASURED OR PAID FOR SEPARATELY.
- THE CONTRACTOR SHALL PROTECT ALL STRUCTURES NOT SHOWN AS REMOVALS ON THE PLANS.
- THE CONTRACTOR SHALL OBTAIN ANY AND ALL NECESSARY PERMITS PRIOR TO ANY CONSTRUCTION. CONTRACTOR SHALL WORK WITH OWNER OR OWNERS REPRESENTATIVE ON ALL REQUIRED STORM WATER DISCHARGE PERMITS FROM THE IOWA DEPARTMENT OF NATURAL RESOURCES AND THE CITY OF WEST DES MOINES.
- GRADING AND EROSION CONTROL SHALL BE DONE IN ACCORDANCE WITH THE APPROVED GRADING PLAN, AND IOWA DEPARTMENT OF NATURAL RESOURCES REQUIREMENTS.
- THE CONTRACTOR SHALL PICK UP ANY DEBRIS SPILLED ONTO THE ADJACENT RIGHT OF WAY OR ABUTTING PROPERTIES AS THE RESULT OF CONSTRUCTION, AT THE END OF EACH WORK DAY.
- THE CONTRACTOR IS RESPONSIBLE FOR THE PROMPT REMOVAL OF ALL MUD THAT HAS BEEN TRACKED OR WASHED UNTO ADJACENT PROPERTY OR RIGHT OF WAY UNTIL SUCH TIME THAT PERMANENT VEGETATION HAS BEEN ESTABLISHED.
- DISPOSE OF ALL EXCESS MATERIALS AND TRASH IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REQUIREMENTS. PROVIDE WASTE AREAS OR DISPOSAL SITES FOR EXCESS MATERIALS NOT DESIRABLE FOR INCORPORATION INTO THE PROJECT.

BENCHMARKS:

CITY BM #58
INTERSECTION OF 4TH STREET AND RAILROAD AVENUE, NORTHWEST CORNER OF INTERSECTION, 41 FEET WEST OF CENTERLINE OF 4TH STREET, 55 ± FEET NORTH OF CENTERLINE OF RAILROAD AVENUE.
WDM DATUM ELEV = 38.23

CITY BM #79
INTERSECTION OF 8TH STREET AND ASHWORTH ROAD, NORTHWEST CORNER OF INTERSECTION, 90.5 FEET WEST OF THE CENTERLINE OF 8TH STREET, 32.3 FEET NORTH OF CENTERLINE OF ASHWORTH ROAD, BETWEEN SIDEWALK AND BACK OF CURB, 2.7 FEET NORTH OF NORTH BACK OF CURB.
WDM DATUM = 108.07

PAVING NOTES:

- THE PAVING/ GRADING CONTRACTOR SHALL BACKFILL THE PAVING SLAB AND FINE GRADE AS SOON AFTER THE PAVING AS POSSIBLE. ALL AREAS SHALL BE SEEDED IN ACCORDANCE WITH CITY OF WEST DES MOINES, IOWA STANDARD SPECIFICATIONS AND THE CURRENT VERSION OF SUDAS.
- SEE DETAILS FOR ALL PAVEMENT THICKNESS.
- ALL WALKS, PARKING LOTS, HANDICAP PARKING, RAMPS, ETC. SHALL COMPLY WITH ALL A.D.A. AND CITY CODES. HANDICAP PARKING SIGNAGE IS REQUIRED FOR ALL HANDICAP STALLS AND SHALL BE CONSIDERED INCIDENTAL. IN EVENT OF A DISCREPANCY BETWEEN THE PLANS AND THE A.D.A./CITY CODES THE A.D.A./CITY CODES SHALL GOVERN. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING A.D.A. CODES ARE MET.

UTILITY NOTES:

- QUANTITY CALLOUTS ON PIPE LENGTHS ARE APPROXIMATE AND SHOULD BE USED FOR REFERENCE ONLY.
- THE CONTRACTOR SHALL PROVIDE AS-BUILTS OF ALL UTILITIES, INCLUDING DEPTH AND LOCATION OF ALL SERVICES.
- THE CONTRACTOR SHALL COORDINATE THE ADJUSTMENT OF ANY AND ALL EXISTING AND PROPOSED UTILITIES TO PROPOSED GRADES. EXISTING UTILITIES SHALL BE RAISED OR LOWERED IN ACCORDANCE WITH THE UTILITY OWNER REQUIREMENTS. ANY NECESSARY ADJUSTMENTS SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION.
- ACTIVE EXISTING FIELD TILES ENCOUNTERED DURING CONSTRUCTION SHALL BE REPAIRED, REROUTED, OR CONNECTED TO PUBLIC OR PRIVATE STORM SEWER TO REMAIN IN SERVICE.

UTILITY CONFLICT NOTES:

- UTILITY CONFLICTS MAY EXIST ACROSS THE SITE WITH NEW UTILITIES, GRADING, PAVING ETC. MOST UTILITY CONFLICTS HAVE BEEN CALLED OUT FOR CONTRACTOR CONVENIENCE.
- CONTRACTOR IS RESPONSIBLE FOR ALL UTILITY CONFLICTS THAT ARE EITHER CALLED OUT ON THE PLANS OR THAT CAN BE SEEN ON THE PLANS BETWEEN AND EXISTING UTILITY AND PROPOSED CONSTRUCTION

WEST DES MOINES PLANNING NOTES:

- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK OF ALL SUBCONTRACTOR(S) INVOLVED IN THE PROJECT.
- AN ON-SITE INSPECTION SHALL BE REQUESTED WITH THE BUILDING DIVISION AT (515) 222-3630, PRIOR TO PLACEMENT OF ANY CONCRETE RAMPS.
- ALL WATER WORK, PUBLIC OR PRIVATE, SHALL BE DONE IN ACCORDANCE WITH WEST DES MOINES WATER WORKS STANDARD SPECIFICATIONS.
- CONTRACTOR SHALL NOTIFY WEST DES MOINES WATER WORKS AT LEAST ONE WEEK PRIOR TO BUILDING CONSTRUCTION.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE WEST DES MOINES WATER WORKS AND THE CITY'S CROSS CONNECTION CONTROL/CONTAINMENT PROVISION.
- ANY WATER USE FROM A HYDRANT, PUBLIC OR PRIVATE, REQUIRES THE USE OF A WEST DES MOINES WATER WORKS HYDRANT METER. CALL 515-222-3465 TO RESERVE A METER.
- CONTACT BUILDING INSPECTION (515-222-3630) A MINIMUM OF 24 HOURS IN ADVANCE FOR PRIVATE UTILITY INSTALLATION INSPECTIONS.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER INSTALLATION OF AN APPROVED BACKFLOW PREVENTION ASSEMBLY(IES) FOR CONTAINMENT IN ALL NEW CONSTRUCTION. BACKFLOW PREVENTION TO BE INSTALLED PER CITY ORDINANCE 1297, 54-1988. CONTRACTOR SHALL NOTIFY WEST DES MOINES WATER WORKS (515-222-3465) A MINIMUM OF 24 HOURS AFTER INSTALLATION AND TESTING OF ALL BACKFLOW DEVICES TO SCHEDULE FINAL INSPECTION.
- ALL LIGHTS ARE TO BE DOWNCAST CUTOFF VARIETY. WALL PACKS ARE PROHIBITED. THE MAXIMUM ILLUMINATION ALLOWED AT THE PROPERTY LINE IS 1 FOOT-CANDLE OR LESS.
- ALL CONSTRUCTION WITHIN PUBLIC R.O.W./EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH THE WEST DES MOINES STANDARD CONSTRUCTION SPECIFICATIONS FOR SUBDIVISIONS, DSM METRO DESIGN STANDARDS AND WDM ADDENDUMS.
- AT LEAST ONE WEEK PRIOR TO ANY CONSTRUCTION WITHIN PUBLIC R.O.W./EASEMENTS AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, THE CONTRACTOR SHALL CONTACT THE WDM ENGINEERING SERVICES 222-3475 TO SCHEDULE ANY REQUIRED INSPECTIONS. IT IS IMPORTANT TO NOTE CITY APPROVAL OF THIS PLAN IS SUBJECT TO THE APPLICANT OBTAINING ALL NECESSARY EASEMENTS/AGREEMENTS AND APPLICABLE PERMITS.
- IF ADDITIONAL PAVEMENT REMOVAL IS REQUIRED OTHER THAN A STANDARD BOX OUT, FULL PANEL REMOVAL WILL BE REQUIRED. NO HALF PANEL REMOVAL WILL BE ALLOWED.
- COORDINATE STAGING AND TRAFFIC CONTROL WITH WDM EMERGENCY SERVICES.
- LANE CLOSURE NOTICES MUST BE SUBMITTED TO WEST DES MOINES PUBLIC SERVICES FOR APPROVAL A MINIMUM OF 48 HOURS IN ADVANCE OF CLOSURE.
- ALL CONNECTIONS TO PUBLIC SEWERS SHALL BE CORE DRILLED.

SITE AREA:
31,611 SF (0.73 AC)

IMPERVIOUS AREA CALCULATIONS:

LOT 3
EXISTING = 5,114 SF (0.12 AC) 28.4%
PROPOSED = 13,360 SF (0.31 AC) 74.3%
LOT 6 EXCEPT PARCEL 2023-21
EXISTING = 5,848 SF (0.13 AC) 43.0%
PROPOSED = 8,296 SF (0.19 AC) 61.0%

OPEN AREA REQUIREMENTS:

EXISTING = 19,860 SF (0.46 AC) 62.8%
PROPOSED = 6,990 SF (0.16 AC) 22.1%

PARKING REQUIREMENTS:

RESTAURANT W/ DRIVE-THRU:
(10 SPACES PER 1,000 GFA X 2500 SF) + 11 QUEUING SPACES =
= 25 SPACES PLUS 11 QUEUING
PROVIDED = 30 PLUS 11 QUEUING
(17 ON LOT 3, 13 ON LOT 6)

FEMA INFORMATION:

ZONE X: AREA WITH REDUCED FLOOD RISK DUE TO LEVEE
MAP PANEL 19153C0329F
EFFECTIVE 2/1/2019

PROPERTY DESCRIPTION:
LOT 3 AND LOT 6 EXCEPT PARCEL 2023-21 OF VAL GATE, AN OFFICIAL PLAT, NOW INCLUDED IN AND FORMING PART OF THE CITY OF WEST DES MOINES, POLK COUNTY, IOWA

ADDRESS:
836 1ST STREET
WEST DES MOINES, IOWA 50265

PREPARED FOR OWNER:

CHAD MANDELBAUM
FIRST STREET LP
3928 140TH STREET
URBANDALE, IA 50323
(602) 391-8555
chad@mandelbaumproperties.com

ENGINEER:

RICK BAUMHOVER
BISHOP ENGINEERING
3501 104TH STREET
URBANDALE, IA 50322
(515) 276-8467
rbaumhover@bishopengr.com

COMPREHENSIVE PLAN LAND USE:

COMMUNITY COMMERCIAL DISTRICT -CMC (NO CHANGE)

ZONING:

1st STREET REDEVELOPMENT PUD, UNDERLYING ZONING OF COMMUNITY COMMERCIAL (CMC) (NO CHANGE)

BUILDING SETBACKS: (per PUD)

PUBLIC STREET = 10'
SIDE/REAR YARD = 25'
50' ADJACENT TO RESIDENTIAL:
0' ADJACENT TO SAME ZONING
PRIVATE DRIVE = 10' (EXCEPT LOT 7 SHALL BE CLOSER UNTIL SOUTH ACCESS IS RELOCATED)

BUFFERS:

SOUTH: 15' ALONG SOUTH PUD BOUNDARY AFTER SOUTH ACCESS HAS BEEN RELOCATED.
REQUIRED LANDSCAPING IN 15' BUFFER SHALL BE EQUIVALENT TO THE AMOUNT OF TREES AND SHRUBS REQUIRED IN 30' BUFFER.
WEST: NONE
NORTH & EAST: NONE, BUT STREETScape IS REQUIRED

CITY OF WEST DES MOINES CASE NUMBER:

SP-006483-2024



FIRST STREET RETAIL SPACE
836 FIRST STREET
WEST DES MOINES, IOWA

REFERENCE NUMBER:
140154
140154-1
230060

DRAWN BY:
CJD

REVISION DATE:
CITY 7-8-2024
CITY 7-30-2024
CITY 8-30-2024

PROJECT NUMBER:
240133

SHEET NAME:
COVER SHEET

SHEET NUMBER:
C0.1



I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

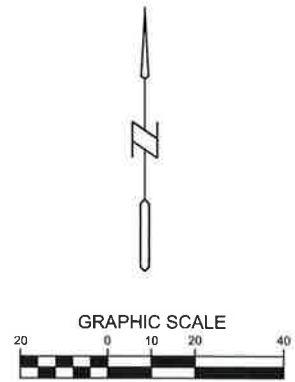
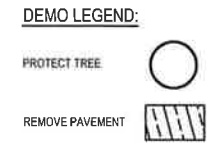
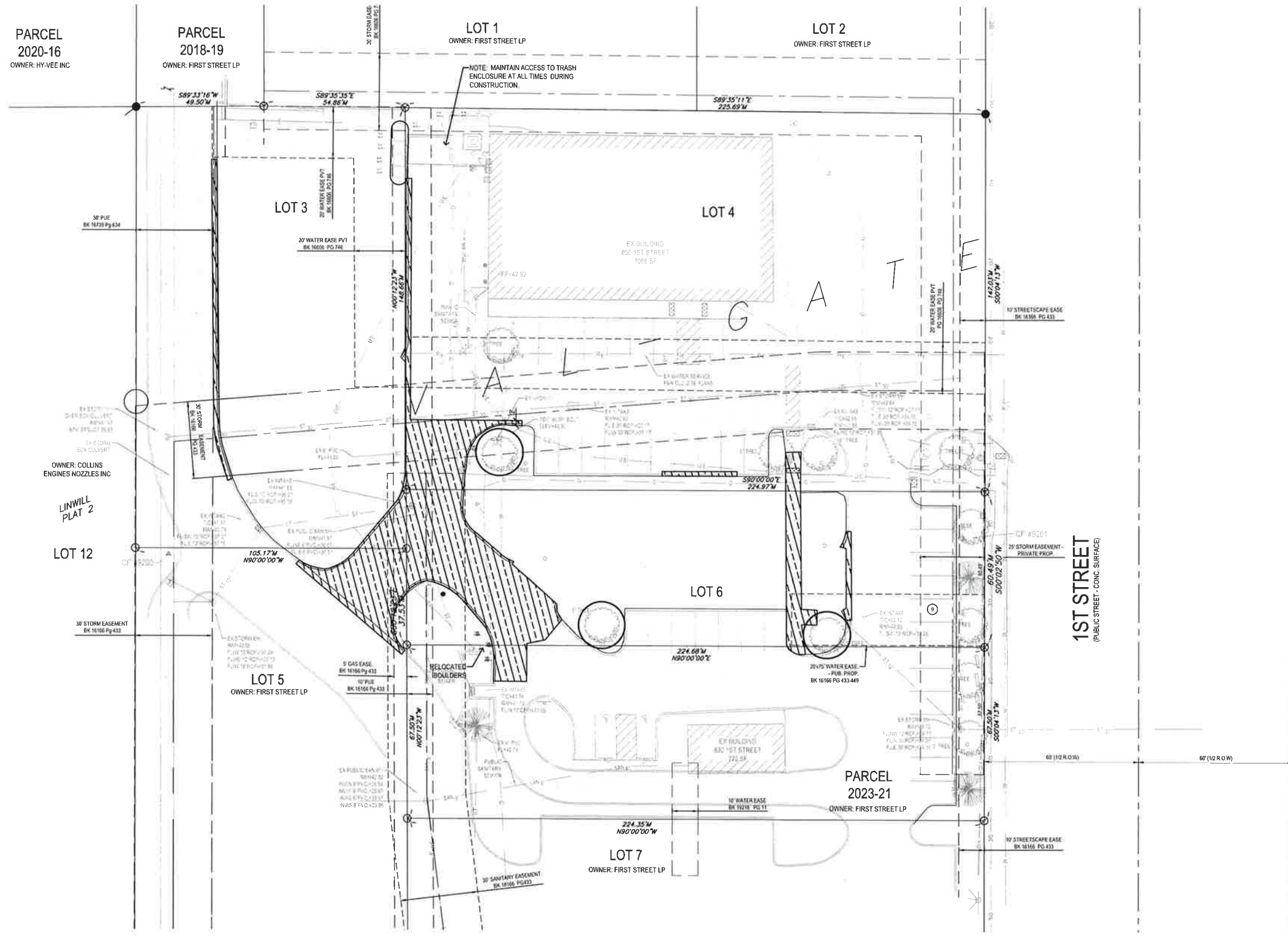
SIGNED: RICHARD H. BAUMHOVER, P.E. 12386 DATE: _____
LICENSE RENEWAL DATE: DEC. 31, 2025
PAGES OR SHEETS COVERED BY THIS SEAL: C0.1 - C7.1



UTILITY NOTE:
THE LOCATION OF THE UTILITIES INDICATED ON THE PLANS HAVE BEEN TAKEN FROM THE FIELD SURVEY, EXISTING PUBLIC RECORDS, AND PLANS PROVIDED BY OTHERS. SURFACE UTILITY LOCATIONS HAVE BEEN FIELD LOCATED BY BISHOP ENGINEERING, UNLESS OTHERWISE NOTED. ALL UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE LOCATIONS ONLY. BISHOP ENGINEERING DOES NOT GUARANTEE THE UNDERGROUND LOCATION OF ANY UTILITIES SHOWN. IT SHALL BE THE DUTY OF THE CONTRACTOR TO DETERMINE THE LOCATION AND DEPTH OF ANY UNDERGROUND UTILITIES SHOWN AND IF ANY ADDITIONAL UTILITIES, OTHER THAN THOSE SHOWN ON THE PLANS, MAY BE PRESENT, A REQUEST WAS MADE TO IOWA ONE CALL FOR UTILITY PROVIDERS TO VERIFY, LOCATE, AND MARK THEIR UTILITIES IN THE FIELD.

DEMO NOTES:

1. SAWCUT & REMOVE ALL PAVEMENT TO FULL DEPTH OF SLAB. SLURRY FROM SAW CUTTING MUST BE CONTAINED AND NOT ENTER STORM SEWER.
2. PROTECT ALL TREES NOT CALLED OUT FOR REMOVAL WITH ORANGE CONSTRUCTION FENCE AT THE DRIP LINE.
3. NOTIFY UTILITY COMPANIES WHO HAVE FACILITIES THAT ARE SHOWN ON THE PLANS OR KNOWN TO BE WITHIN THE CONSTRUCTION LIMITS OF THE SCHEDULE PRIOR TO EACH STAGE OF CONSTRUCTION.
4. NO WORK SHALL BE PERFORMED BEYOND THE PROJECT LIMITS WITHOUT PRIOR AUTHORIZATION FROM THE OWNER'S REPRESENTATIVE.
5. ALL OPEN EXCAVATIONS SHALL BE PROTECTED.
6. ANY WORK REQUIRED TO COMPLETE THE SCOPE OF THIS PROJECT BUT NOT SPECIFICALLY CALLED OUT, SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT. NO ADDITIONAL COMPENSATION SHALL BE ALLOWED FOR THE COMPLETION OF THIS WORK. THIS SHALL INCLUDE REMOVAL OF ABANDONED AND UN-USED UTILITIES AND STRUCTURES IN WAY OF NEW WORK.



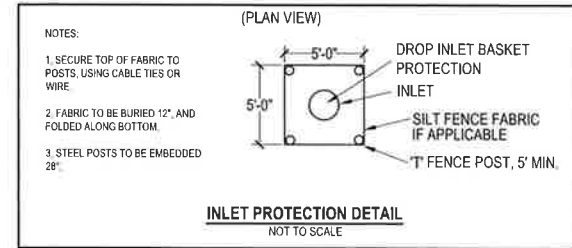
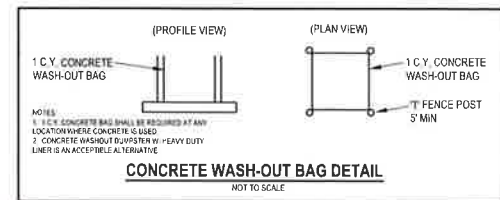
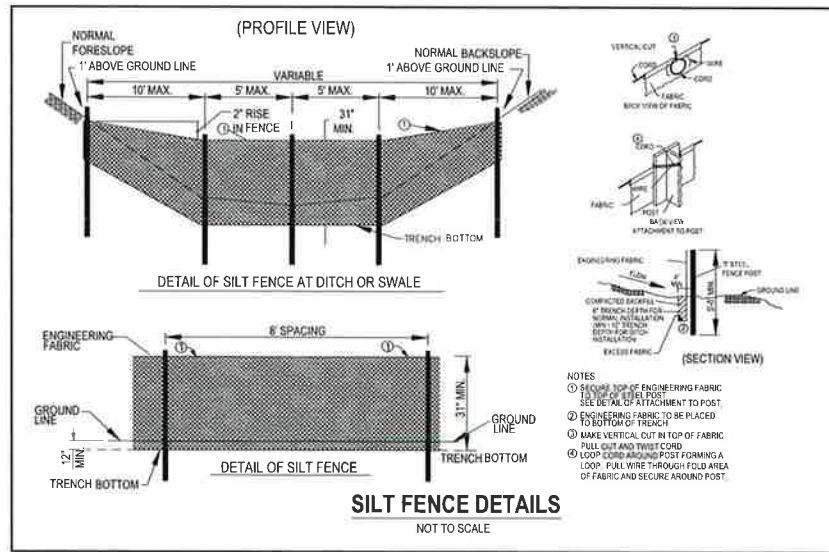
FIRST STREET RETAIL SPACE
836 FIRST STREET
WEST DES MOINES, IOWA

REFERENCE NUMBER: 140154 140154-1 230060
DRAWN BY: CJD
REVISION DATE: CITY 7-8-2024 CITY 7-30-2024 CITY 8-30-2024
PROJECT NUMBER: 240133
SHEET NAME: DEMO PLAN
SHEET NUMBER: C1.1

12/20/2024 12:06:08 PM L:\LAND PROJECTS 2024\240133 VALGATE LOT\DWG\C1 DEMO.DWG

PRELIMINARY - NOT FOR CONSTRUCTION

1/30/2024 12:16:59 PM L:\LAND PROJECTS\2024\24113 VALGATE.LOT6.DWG\G3 GRADING.DWG



EROSION CONTROL NOTES:

1. INSTALL PERIMETER SILT FENCE AS SHOWN ON PLANS PRIOR TO CONSTRUCTION
2. INSTALL INTAKE PROTECTION WITH SILT FENCE IMMEDIATELY AFTER STORM SEWER CONSTRUCTION
3. INSTALL FINISHED PAVING INLET PROTECTION IMMEDIATELY AFTER PAVING IS COMPLETED AROUND INTAKE
4. CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLYING A CONCRETE WASHOUT DURING ALL CONCRETE WORK. CONCRETE WASHOUT SHALL MEET SUDAS SPEC 11050.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLYING TEMPORARY RESTROOM FACILITIES. SANITARY WASTE SHALL BE DISPOSED OF PER ALL FEDERAL, STATE AND LOCAL REGULATIONS
6. THIS PROJECT INCLUDES SAWCUTTING OR CONCRETE GRINDING SO PROTECTION OF STORM SEWERS AND DRAINAGE WAYS WILL NEED TO BE PROVIDED FROM SLURRY FROM THE CONCRETE OPERATIONS TO DISCHARGE OFFSITE.
7. CONTRACTOR SHALL PROVIDE APPROPRIATE CONTROLS TO PREVENT DISCHARGES FROM ANY AND ALL DEWATERING ACTIVITIES
8. SEE LANDSCAPE PLAN FOR FINAL STABILIZATION INCLUDING SEEDING AND SODDING AREAS.

EROSION CONTROL REMOVAL NOTES:

1. AFTER FINAL STABILIZATION HAS OCCURED, CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL TEMPORARY EROSION CONTROL DEVICES INCLUDING, BUT NOT LIMITED TO: SILT FENCE, INLET PROTECTION, AND TEMPORARY STANDPIPES.

GRADING LEGEND:

- EXISTING CONTOUR --- 150 ---
 - PROPOSED CONTOUR --- 150 ---
 - FINISHED GROUND ELEVATION --- 150.50 ---
 - TOP OF CURB ELEVATION --- 150.50TC ---
 - GUTTER ELEVATION --- 150.50G ---
 - TOP OF WALL ELEVATION --- 150.50TW ---
 - BOTTOM OF WALL ELEVATION --- 150.50BW ---
 - EDGE OF WALK ELEVATION --- 150.50EW ---
 - TOP OF STAIR ELEVATION --- 150.50TS ---
 - BOTTOM OF STAIR ELEVATION --- 150.50BS ---
- NOTE: WALL ELEVATIONS SHOWN ON PLAN ARE FINISHED GROUND GRADES AT THE TOP AND BOTTOM OF THE WALL.

LEGEND:

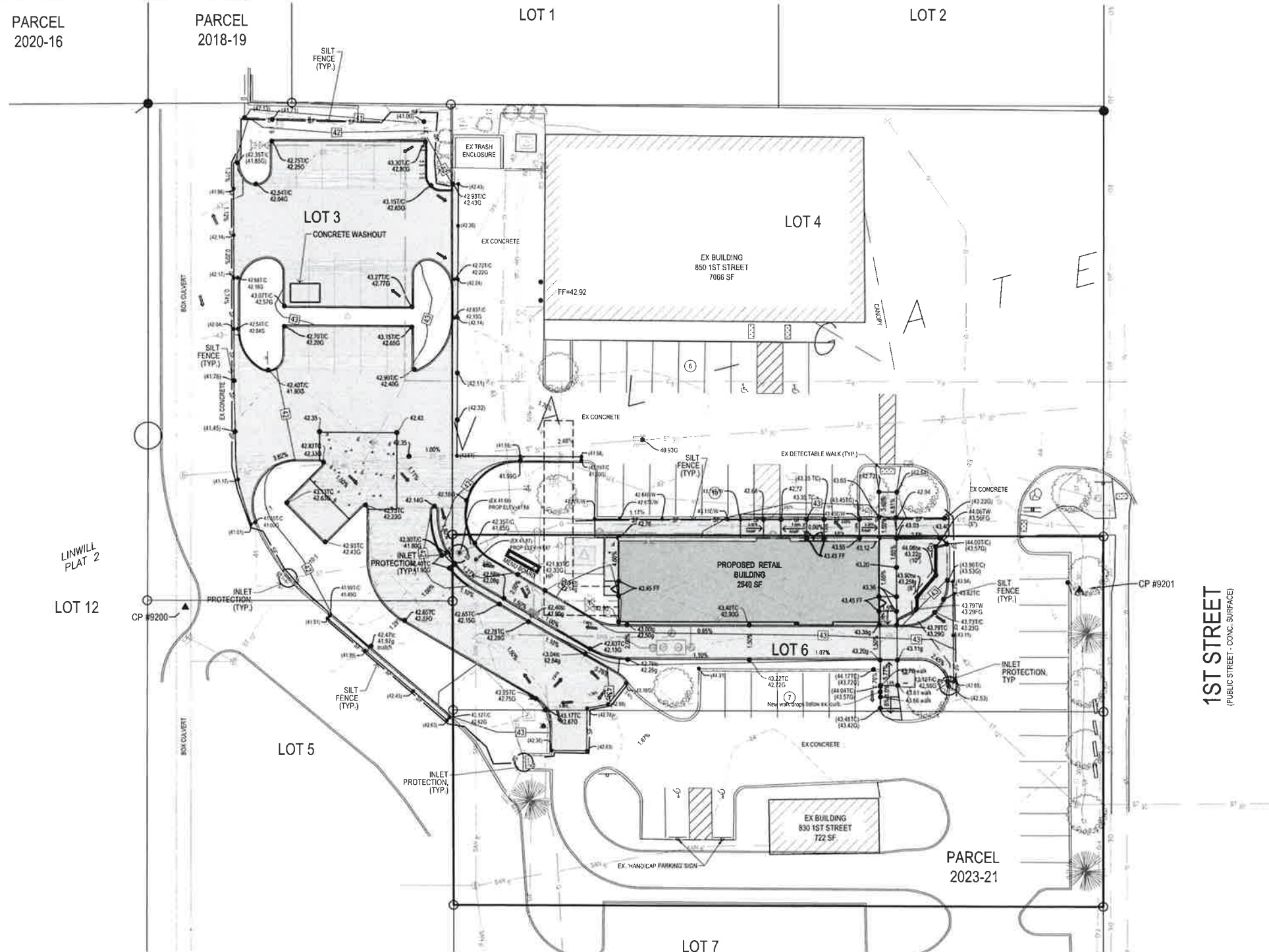
- SF-SF-SF SILT FENCE (TYP)
- 120 --- EXISTING CONTOUR
- 120 --- PROPOSED CONTOUR
- STABILIZED ENTRANCE 30'X30'x4' DEEP 2\"/>

TOPSOIL NOTES:

1. STRIP AND STOCKPILE THE TOP 6\"/>

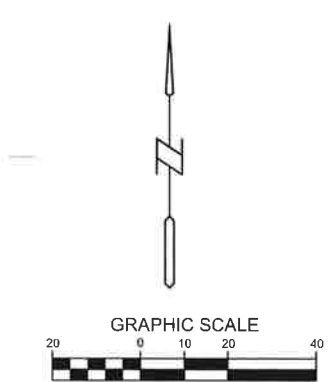
SURFACE RESTORATION NOTES:

1. ALL FINAL SLOPES SHALL BE 4:1 (HORIZ TO VERT) OR FLATTER, UNLESS OTHERWISE NOTED ON PLANS, ESPECIALLY AT INTAKES AND OPEN PIPE ENDS.
2. SODDING SHALL NOT OCCUR UNTIL OWNER HAS REVIEWED AND ACCEPTED FINAL GRADING.



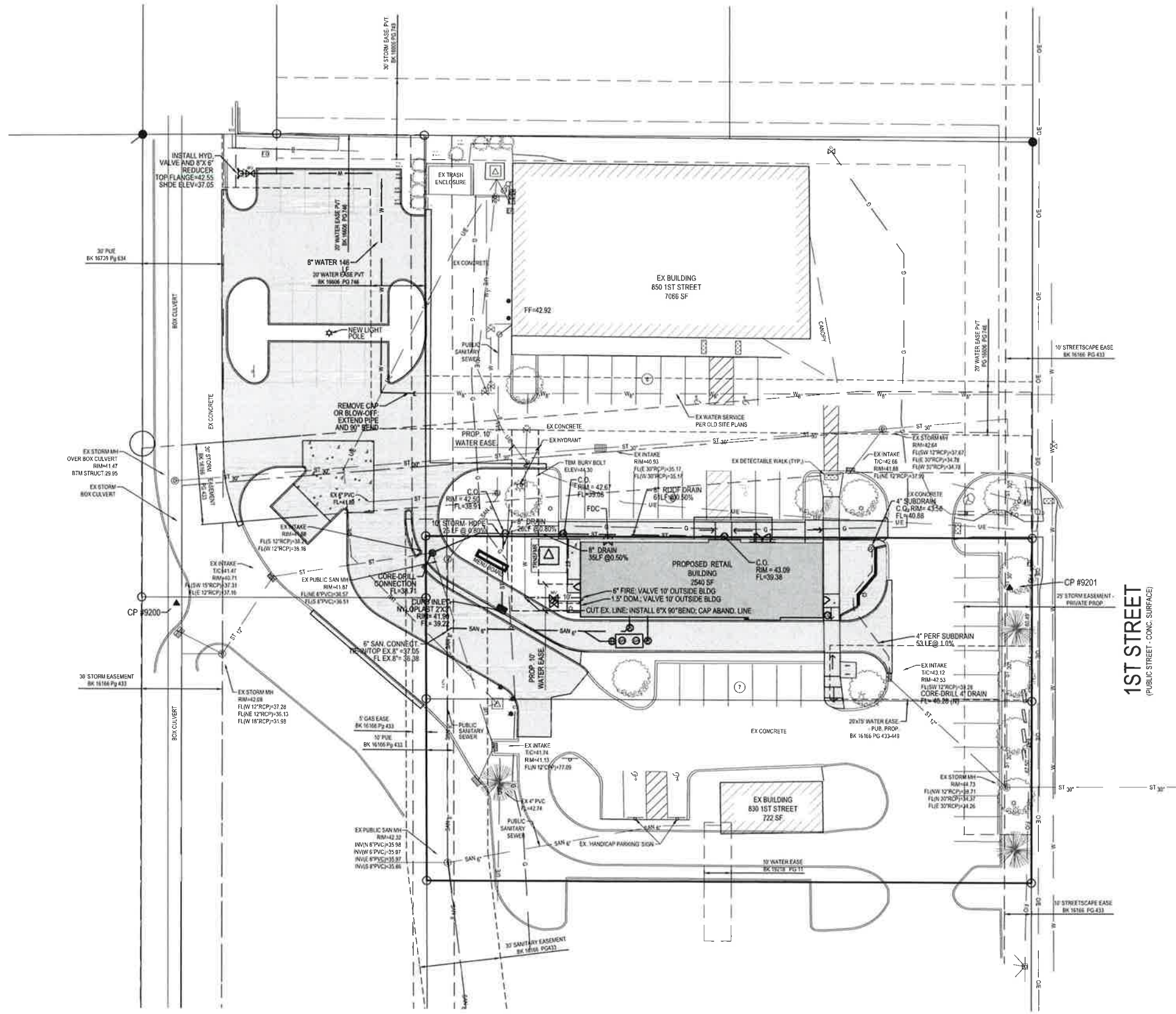
FIRST STREET RETAIL SPACE
836 FIRST STREET
WEST DES MOINES, IOWA

REFERENCE NUMBER: 140154 140154-1 230060
DRAWN BY: CJD
REVISION DATE: CITY 7-8-2024 CITY 7-30-2024 CITY 8-30-2024
PROJECT NUMBER: 240133
SHEET NAME: GRADING PLAN
SHEET NUMBER: C3.1



PRELIMINARY - NOT FOR CONSTRUCTION

1/30/2024 12:27:22 PM L:\LAND PROJECTS 220240133 VALGATE LOT/SDWGCA UTILITY.DWG



UTILITY NOTES:

1. ALL PROPOSED UTILITIES SHALL BE PRIVATE, UNLESS NOTED OTHERWISE.
2. ALL WATER LINES SHALL HAVE A MINIMUM OF 5.5' OF COVER UNLESS NOTED OTHERWISE.
3. FIRE HYDRANT ASSEMBLY SHALL INCLUDE THE YEE, BRANCH, VALVE AND HYDRANT. PIPE LENGTHS CALLED OUT ON PLANS INCLUDE FLARED END SECTION, WHERE APPLICABLE.
5. STORM SEWER CALLED OUT AS RCP MUST BE CLASS III RCP.
6. STORM SEWER CALLED OUT AS N-12 MAY BE EITHER N-12 OR CLASS III RCP.
7. FOR RCP PIPE, ASSOCIATED F.E.S. MUST BE RCP. FOR N-12 PIPE, ASSOCIATED F.E.S. SHALL BE CMP.
8. ALL NYLOPLAST BASINS SHALL HAVE CASTINGS SECURELY FASTENED TO THE BASIN BODY, AND ALL GRATES/IDS SHALL BE BOLTED DOWN TO THE CASTINGS.
9. TRANSFORMER PAD IS SHOWN FOR REFERENCE ONLY AND MAY NOT BE DRAWN TO ACTUAL SIZE. PAD SHALL CONFORM TO ALL UTILITY COMPANY DESIGN STANDARDS AND SPECIFICATIONS.
10. GREASE INTERCEPTOR AND ANY VENT LINES ARE SHOWN FOR REFERENCE ONLY AND MAY NOT BE DRAWN TO ACTUAL SIZE. REFER TO PLUMBING PLANS FOR DETAILED DRAWINGS AND SPECIFICATIONS. PLUMBING PLANS SHALL TIE INTO SANITARY SERVICE AT LOCATION AND ELEVATION SHOWN ON PLANS.
11. CONTACT WEST DES MOINES ENGINEERING SERVICES (515-222-3475) TO SCHEDULE INSPECTION PRIOR TO TAPPING PUBLIC SEWER.

WEST DES MOINES WATER WORKS STANDARD NOTES:

1. ALL WATER WORK, PUBLIC OR PRIVATE, SHALL BE DONE IN ACCORDANCE WITH WEST DES MOINES WATER WORKS STANDARD SPECIFICATIONS. AVAILABLE AT WEST DES MOINES WATER WORKS STANDARD SPECIFICATIONS.
2. ANY WATER USE FROM A HYDRANT, PUBLIC OR PRIVATE, REQUIRES THE USE OF A WEST DES MOINES WATER WORKS HYDRANT METER. CALL 515-222-3465 TO RESERVE A METER.
3. CONTRACTOR SHALL NOTIFY WEST DES MOINES WATER WORKS (515-222-3465) AT LEAST ONE WEEK PRIOR TO BUILDING CONSTRUCTION.
4. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE WEST DES MOINES WATER WORKS AND THE CITY'S CROSS CONNECTION CONTROL/CONTAINMENT PROVISIONS.
5. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER INSTALLATION OF AN APPROVED BACKFLOW PREVENTION ASSEMBLY(IES) FOR CONTAINMENT IN ALL NEW CONSTRUCTION. BACKFLOW PREVENTION TO BE INSTALLED PER CITY ORDINANCE 1297, 54-1998. CONTRACTOR SHALL NOTIFY THEIR PROJECT'S WEST DES MOINES WATER WORKS ENGINEERING TECHNICIAN (515-222-3465) A MINIMUM OF 24 HOURS AFTER INSTALLATION AND TESTING OF ALL BACKFLOW DEVICES TO SCHEDULE FINAL INSPECTION.
6. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING STATIC WATER PRESSURE AND, WHERE REQUIRED BY THE CITY OF WEST DES MOINES PLUMBING CODE, SHALL INSTALL A PRESSURE REDUCING VALVE(S) WITH EXPANSION TANK(S), WHERE REQUIRED, PRESSURE REDUCING VALVE(S) AND TANK(S) SHALL BE INSTALLED DOWNSTREAM OF THE WATER METER(S) AND BACKFLOW PREVENTION ASSEMBLY(IES) SERVING THE SITE.



FIRST STREET RETAIL SPACE
836 FIRST STREET
WEST DES MOINES, IOWA

REFERENCE NUMBER:
140154
140154-1
230060

DRAWN BY:
CJD

REVISION DATE:
CITY 7-8-2024
CITY 7-30-2024
CITY 8-30-2024

PROJECT NUMBER:
240133

SHEET NAME:
UTILITY PLAN

SHEET NUMBER:
C4.1

PRELIMINARY - NOT FOR CONSTRUCTION

LANDSCAPE NOTES:

- ALL SODDING & LANDSCAPE PLANTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE URBAN STANDARD SPECIFICATIONS, UNLESS SPECIFIED OTHERWISE.
- SOD ALL DISTURBED AREAS WITHIN THE CONTRACT LIMITS, UNLESS NOTED OTHERWISE. SOD LIMITS SHOWN ON PLAN ARE FOR REFERENCE ONLY. FINAL LIMITS MAY CHANGE BASED ON CONSTRUCTION ACTIVITIES.
- STAKE SOD ON ALL SLOPES 3:1 OR GREATER.
- PLANT QUANTITIES ARE FOR CONTRACTORS CONVENIENCE. THE DRAWING SHALL PREVAIL IF A CONFLICT OCCURS.
- ALL PLANT MATERIAL SHALL CONFORM TO THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1).
- CONTRACTOR SHALL WARRANTY ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR FROM THE DATE OF INITIAL ACCEPTANCE.
- FOR WARRANTY PURPOSES, THE DATE OF INITIAL ACCEPTANCE SHALL BE SUBMITTED IN WRITING TO THE OWNER AND/OR OWNER'S REPRESENTATIVE AFTER ALL PLANT MATERIALS HAVE BEEN INSTALLED AND REVIEWED BY OWNER OR OWNER'S REPRESENTATIVE. PLANT MATERIALS WILL ONLY BE ACCEPTED IF THEY ARE IN AN ALIVE AND THRIVING CONDITION.
- CONDITIONAL ACCEPTANCE OF PLANT MATERIAL MAY BE GIVEN FOR PLANTS INSTALLED IN A DORMANT CONDITION WITH INITIAL ACCEPTANCE OCCURRING THE FOLLOWING SPRING ONCE THEY ARE SHOWN TO BE ALIVE AND THRIVING.
- IT IS THE CONTRACTORS RESPONSIBILITY TO REMOVE IDENTIFICATION TAGS AND CORDS ON ALL PLANT MATERIAL PRIOR TO THE COMPLETION OF THE CONTRACT. IDENTIFICATION TAGS (INCLUDING SIZING INFORMATION) MUST BE LEFT ON UNTIL AFTER ACCEPTANCE BY OWNER OR OWNER'S REPRESENTATIVE.
- CONTRACTOR SHALL PLACE SHREDDED HARDWOOD MULCH AROUND ALL TREES, SHRUBS AND GROUND COVER BEDS TO A DEPTH OF 4 INCHES, UNLESS NOTED.
- STAKING AND GUYING OF TREES SHALL BE AT THE DISCRETION OF THE CONTRACTOR BASED ON CURRENT ACCEPTED NURSERY STANDARDS. GENERALLY, TREES IN LARGE OPEN AREAS SUBJECT TO SIGNIFICANT WIND SHALL BE STAKED. STAKE AND WRAP TREES IMMEDIATELY AFTER PLANTING. CONTRACTOR SHALL ADJUST AND MAINTAIN GUYING TENSION THROUGHOUT THE PLANT ESTABLISHMENT PERIOD. REMOVE ALL STAKES AND GUY WIRES NO MORE THAN ONE YEAR AFTER INSTALLATION.
- THE LANDSCAPING CONTRACTOR SHALL HAVE ALL UTILITIES LOCATED BEFORE STARTING ANY SITE WORK OR PLANTING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES.
- NO LANDSCAPE MATERIAL SHALL BE SUBSTITUTED WITHOUT THE AUTHORIZATION OF THE LANDSCAPE ARCHITECT.
- ALL EDGING SHALL BE DURAEDEGE 3/16" STEEL EDGING - COLOR BLACK, OR APPROVED EQUAL.
- CONTRACTOR SHALL BE RESPONSIBLE MAINTAINING APPROPRIATE LEVEL OF WATERING FOR ALL NEW PLANTS FOR A PERIOD OF 30 DAYS.
- ALL SHRUB AND PERENNIAL PLANTING BEDS SHALL BE MULCHED WITH 4" THICK SHREDDED HARDWOOD MULCH.
- ALL BEDS TO RECEIVE GRANULAR PRE-EMERGENT WEED CONTROL BEFORE AND AFTER MULCH IS INSTALLED.

PLANTING SCHEDULE

CODE	QUAN	COMMON NAME	LATIN NAME	SIZE	ROOT	NOTES
OVERSTORY TREES						
KC	2	KENTUCKY COFFEETREE	GYMNOCLADUS DIOICUS	2 0" CAL	B&B	MATCHED SPECIMENS
TT	1	TULIP TREE	LIRIODENDRON TULIPIFERA	2 0" CAL	B&B	MATCHED SPECIMENS
SW	2	SWAMP WHITE OAK	QUERCUS BICOLOR	2 0" CAL	B&B	MATCHED SPECIMENS
EVERGREEN TREES						
WP	1	WHITE PINE	PINUS STROBUS	6"	B&B	FULL FORM TO GROUND
NS	2	NORWAY SPRUCE	PICEA ABIES	6"	B&B	FULL FORM TO GROUND
SHRUBS						
SW	2	SUMMER WINE NINEBARK	PHYSOCARPUS OPULIFOLIUS 'SEWARD'	#5	CONT	FULL FORM - MATCHED
DK	2	DWARF KOREAN LILAC	SYRINGA MEYERI PALABIN'	#5	CONT	FULL FORM - MATCHED
JV	2	JUDD VIBURNUM	VIBURNUM JUDDI	30"	B&B	FULL FORM - MATCHED
HY	21	HICKS YEW	TAXUS MEDIA 'HICKSI'	36"	B&B	FULL FORM - MATCHED

GENERAL LANDSCAPE REQUIREMENTS

TOTAL SQUARE FOOTAGE OF PROJECT AREA: 31,589 SF
 REQUIRED OPEN SPACE(25%): 7,897 SF

GENERAL OPEN SPACE REQUIREMENT
 TOTAL REQUIRED TREES: 5
 TOTAL REQUIRED SHRUBS: 8

INTERIOR PARKING LOT REQUIREMENTS
 REQUIRED TREES: 5

TOTAL REQUIRED PLANT MATERIALS:
 TREES: 35% EVERGREEN, 50% OVERSTORY OR EVERGREEN
 SHRUBS: 8

EXISTING VEGETATION BEING PRESERVED
 TOTAL OVERSTORY TREES TO REMAIN: 4
 TOTAL EVERGREEN TREES TO REMAIN: 1

PROPOSED NEW VEGETATION
 PROPOSED OVERSTORY TREES: 5
 PROPOSED EVERGREEN TREES: 3
 PROPOSED SHRUBS: 31

TOTAL SITE VEGETATION:
 TOTAL OVERSTORY TREES: 9
 TOTAL EVERGREEN TREES: 4
 TOTAL SHRUBS: 27

SOD: PROVIDE AND INSTALL SOD FROM LOCAL SUPPLIERS. AREAS TO BE SODDED MUST BE FREE OF ALL CONSTRUCTION DEBRIS AND ANY DIRT CLUMPS OVER 1" IN DIAMETER. THOROUGHLY WATER SOD UPON INSTALLATION. CONTRACTOR TO MAINTAIN WATERING UNTIL SOD IS ESTABLISHED (ROOTS KNITTED INTO SUBSURFACE)

ROCK MAINTENANCE AREA: INCORPORATE TYPAR 3301 NONWOVEN LANDSCAPE FABRIC (OR SIMILAR) AND 4" THICK LAYER OF DRESSER TRAP ROCK (2 5" NOMINAL SIZE). CONTACT DRESSER TRAP DIRECT FOR PRICING AND SHIPPING (PHONE: 800-537-3573). EDGING BETWEEN ROCK MAINTENANCE AREAS AND SEEDED AREAS AND PLANTING BEDS IS TO BE DURAEDEGE 3/16" STEEL EDGING - COLOR BLACK, OR APPROVED EQUAL. DO NOT INSTALL EDGING BETWEEN PAVED SURFACES AND ROCK MAINTENANCE AREAS.

STAKING ORIENTATION
 NORTH NORTH



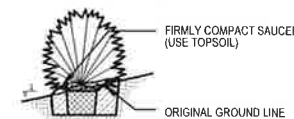
2 STAKES - 3" CAL & LESS
 3 STAKES - GREATER THAN 3" CAL.

USE HOSE GUARDS AROUND TRUNK ON STAKING WIRE. THE WIRE TO STEEL POSTS PLACED OUTSIDE PLANT PIT.

LEAVE STAKES IN PLACE NO MORE THAN 1 YEAR FROM INSTALLATION. CONTRACTOR RESPONSIBLE FOR REMOVAL.

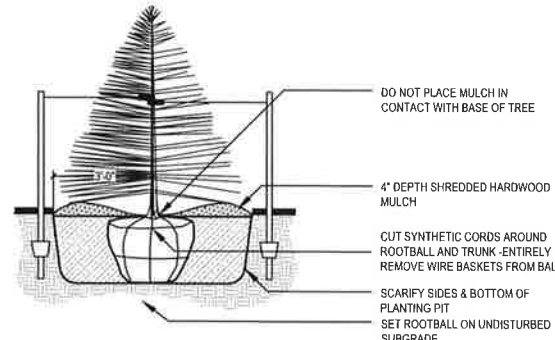


DECIDUOUS SHRUB DETAIL EVERGREEN SHRUB DETAIL

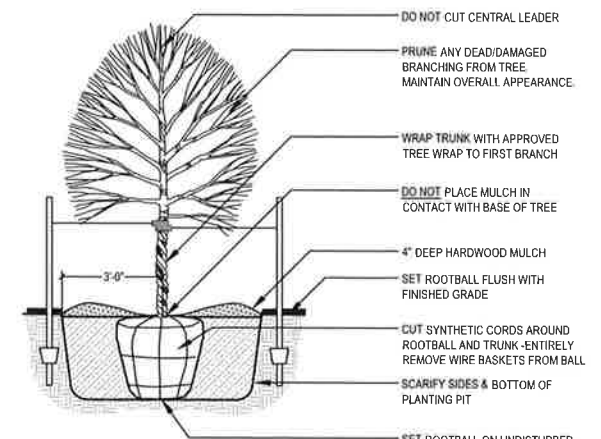


PLANTING ON SLOPES

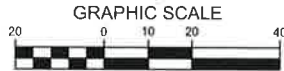
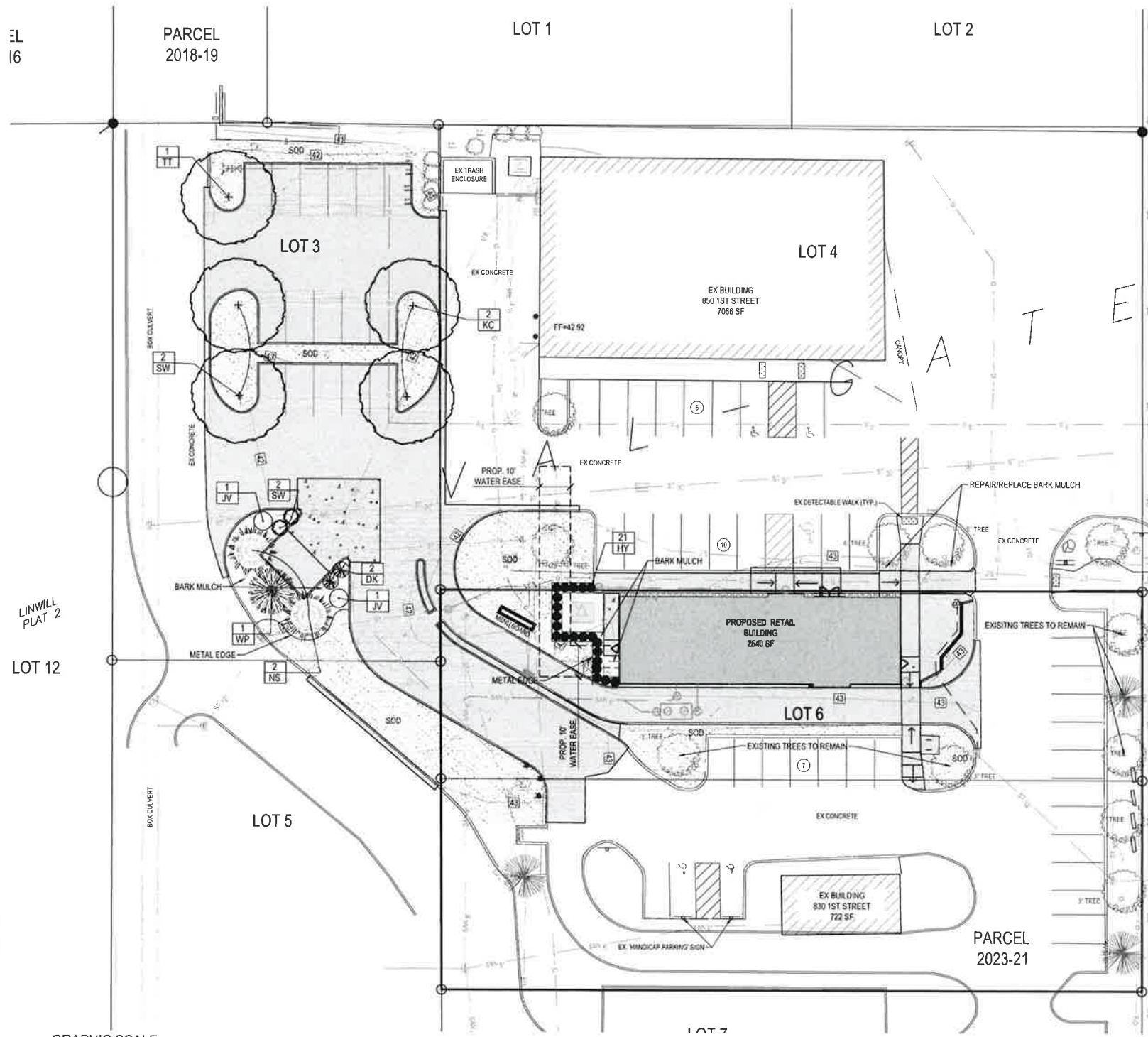
SHRUB PLANTING (TYP.)
 SCALE: NOT TO SCALE



EVERGREEN TREE PLANTING (B&B)
 SCALE: NOT TO SCALE



DECIDUOUS TREE PLANTING (TYP.)
 SCALE: NOT TO SCALE



FIRST STREET RETAIL SPACE
 836 FIRST STREET
 WEST DES MOINES, IOWA

REFERENCE NUMBER:
 140154
 140154-1
 230060

DRAWN BY:
 CJD

REVISION DATE:
 CITY 7-8-2024
 CITY 7-30-2024
 CITY 8-30-2024

PROJECT NUMBER:
 240133

SHEET NAME:
 LANDSCAPE PLAN

SHEET NUMBER:
 C5.1

1/26/2024 12:57:51 PM L:\LAND PROJECTS 2304240133 VAL GATE LOT5DWG105 LANDSCAPE.DWG

PLAIN JOINT
(Abutting Pavement Slabs)

BAR SIZE TABLE FOR CONTRACTION JOINTS			
(T)	Solid Dowel Diameter	Tubular Dowel Diameter	Tie Bar Size #6
< 8"	3/4"	1 1/8"	#6
≥ 8" but < 10"	1 1/4"	1 7/8"	#10
≥ 10"	1 3/4"	1 5/8"	#11

Tubular Dowel Bars will not be allowed for RD joints.

ABUTTING PAVEMENT JOINT - RIGID TIE

(T)	Joint	Bars	Bar Length and Spacing
< 8"	'BT-1'	#4	36" Long at 30" Centers
≥ 8"	'BT-2'	#5	30" Long at 30" Centers
≥ 8"	'BT-2'	#5	36" Long at 30" Centers

CONTRACTION JOINT

(T)	Joint	Bars	Bar Length and Spacing
< 8"	'L-1'	#4	36" Long at 30" Centers
≥ 8"	'L-2'	#5	36" Long at 30" Centers
≥ 8"	'L-3'	#5	36" Long at 15" Centers

DETAIL A
(Saw cut formed by conventional concrete sawing equipment.)

DETAIL B
(Saw cut formed by approved early concrete sawing equipment.)

DETAIL C

DETAIL D

1" EXPANSION JOINT

DETAIL F
(See Bar Size Table for Doweled Expansion Joints)

DOWELED EXPANSION JOINT

DOWELED EXPANSION JOINTS		
TYPE	WIDTH	FILLER MATERIAL (12)
ED	1"	Resilient (Detail F)

BAR SIZE TABLE FOR DOWELED EXPANSION JOINTS			
(T)	< 8"	≥ 8" but < 10"	≥ 10"
Dowel Diameter	3/4"	1 1/4"	1 1/2"

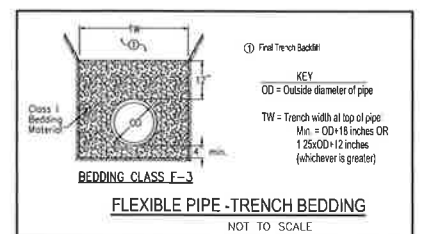
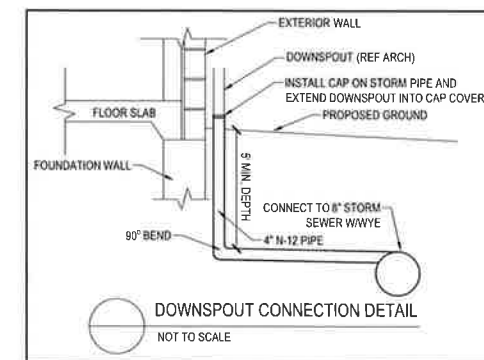
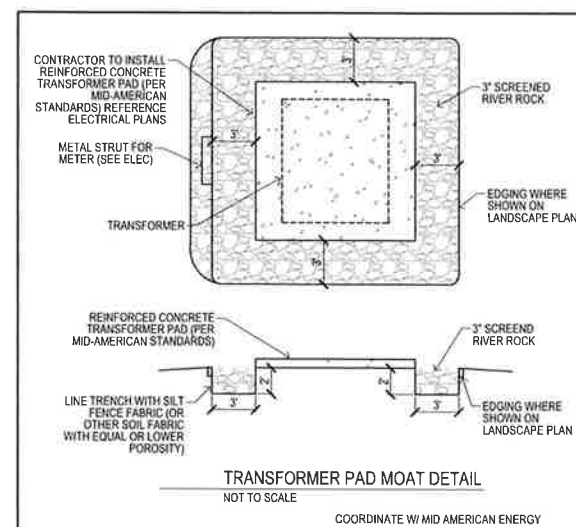
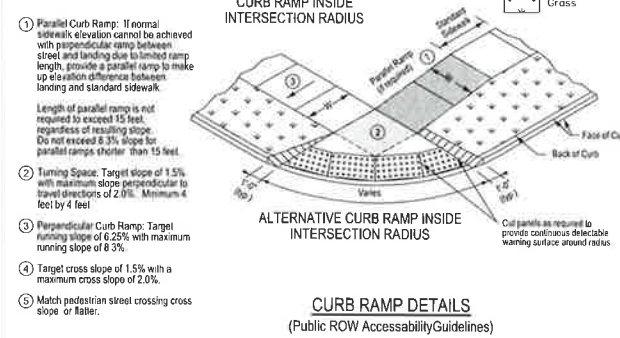
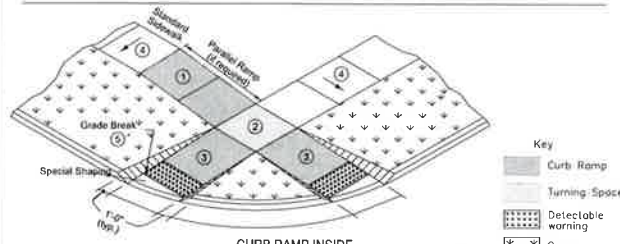
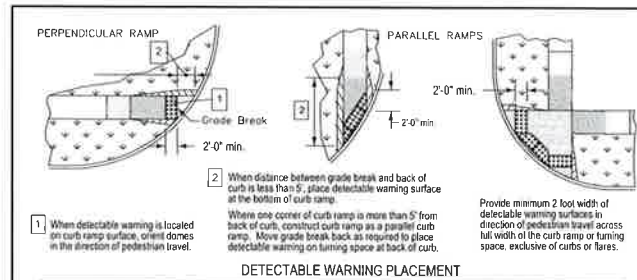
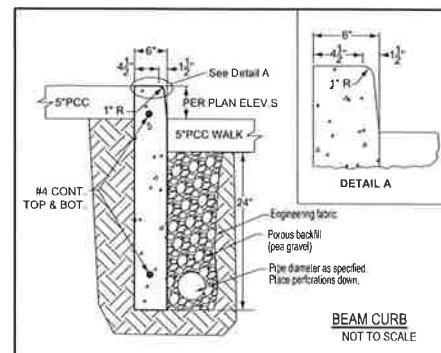
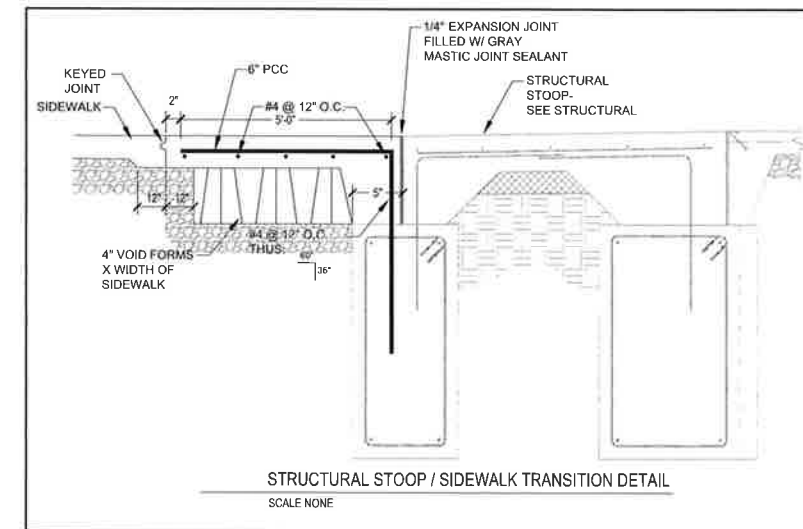
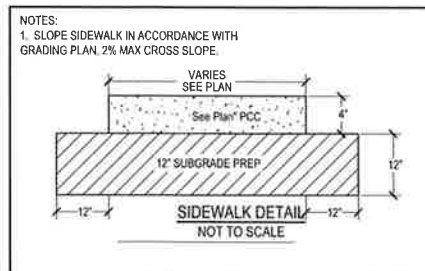
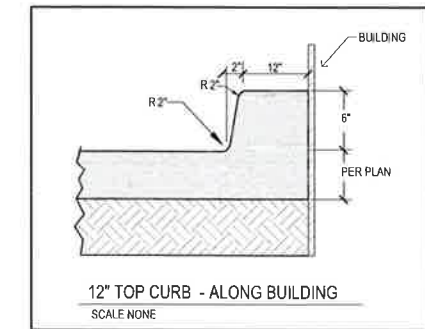
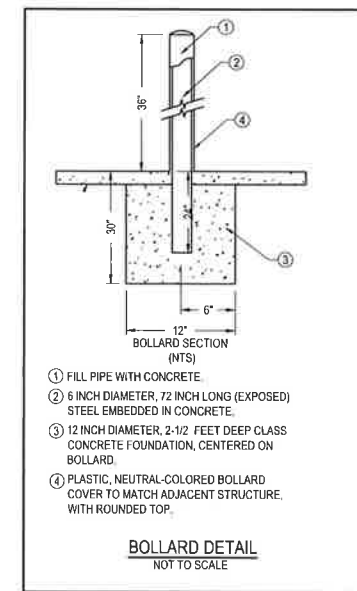
Tubular Dowel Bars will not be allowed for expansion joints.

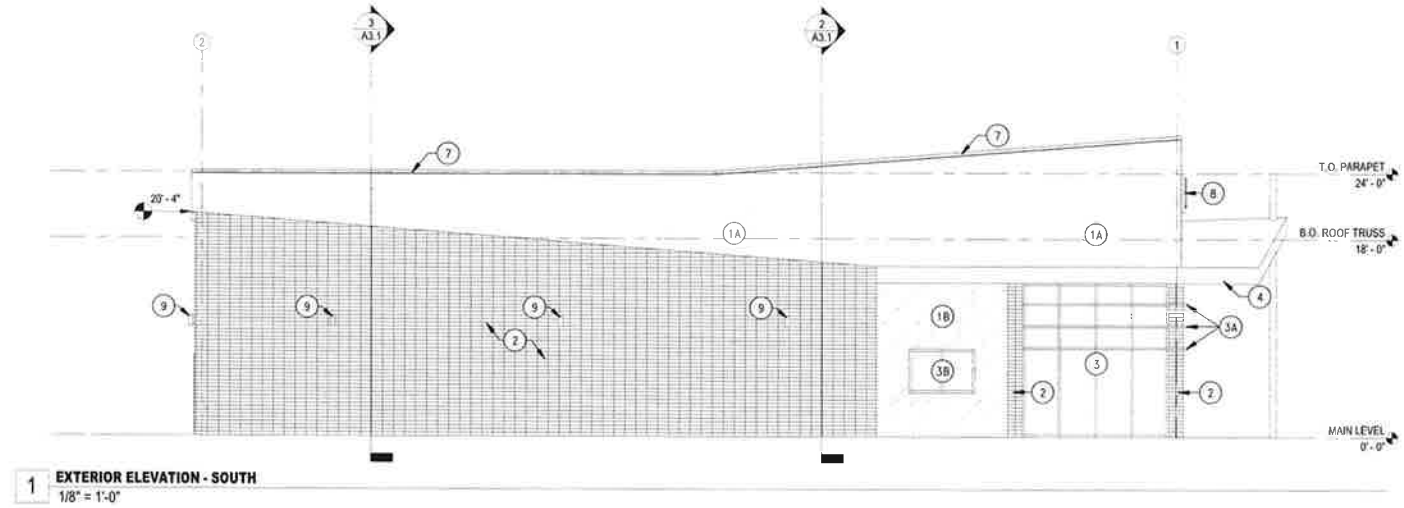
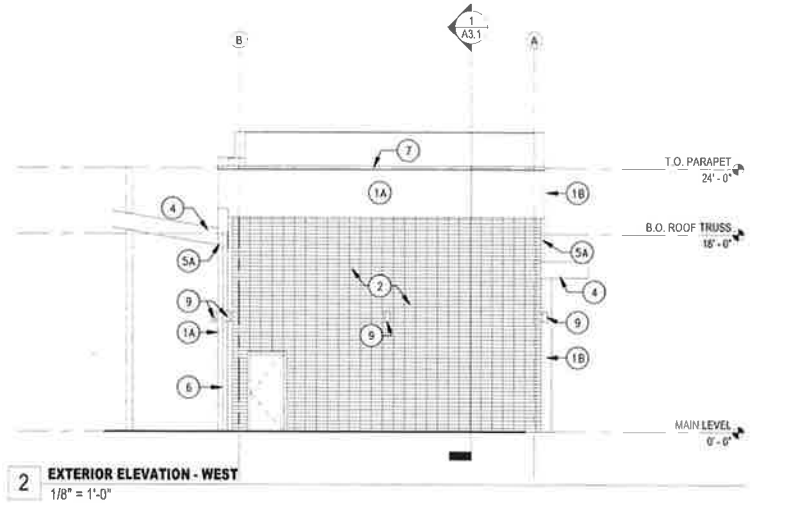
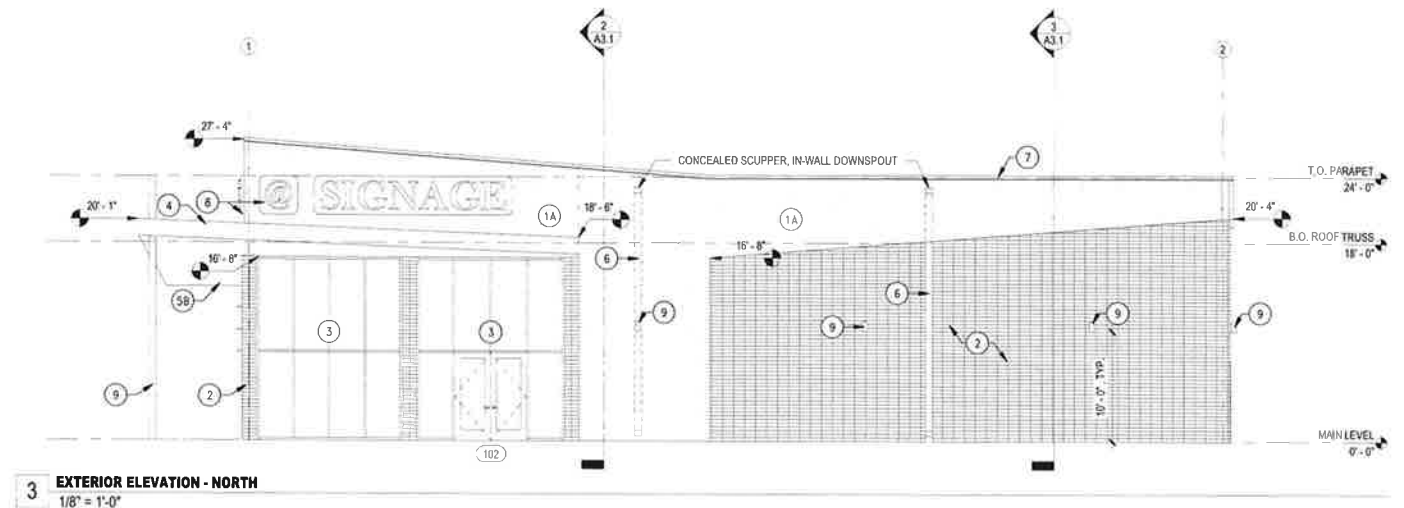
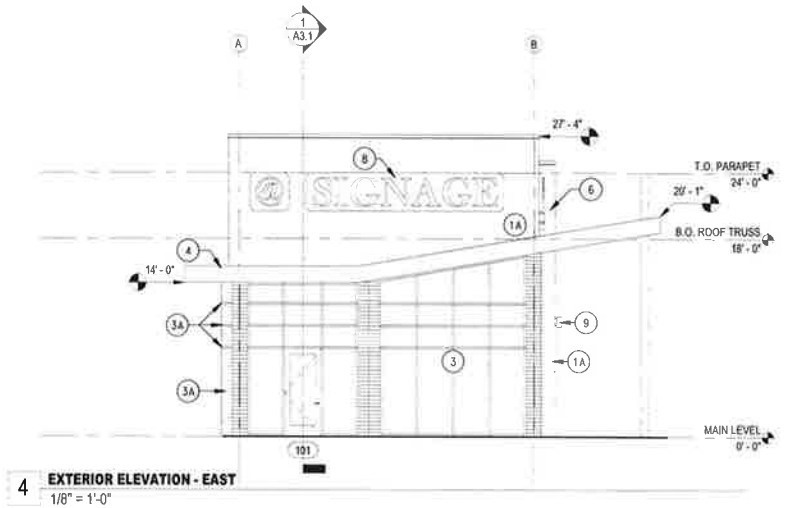
18" Long Dowels at 12" Centers

18" Long Dowels at 12" Centers

18" Long Dowels at 12" Centers

18" Long Dowels at 12" Centers





- EXTERIOR ELEVATIONS - KEY NOTE LEGEND:**
- 1. METAL PANEL SIDING:
PROVIDE & INSTALL NEW METAL PANEL WALL SYSTEM W/ BAKED-ON KYNAR FINISH. PROVIDE MATCHING TRIM.
BASIS-OF-DESIGN:
ELEVATE DELTA CFP-12B VERTICAL ORIENTATION COLOR: AGED ZINC
ELEVATE DELTA CFP-16F HORIZONTAL ORIENTATION COLOR: AGED ZINC
 - 2. MASONRY BRICK:
PROVIDE & INSTALL NEW MASONRY BRICK.
BASIS-OF-DESIGN:
GLEN-GERY BRICK, HANLEY PRODUCT: KLAYCOAT, UTILITY STYLE: TAN, STACK BOND
 - 3. STOREFRONT WINDOW SYSTEM:
2" X 8 1/2" THERMALLY-BROKEN ALUMINUM STOREFRONT, BLACK ANODIZED FINISH, W/ 1" INSULATED GLAZING (ARGON FILLED W/ LOW-E COAT ON SRD FACE). PROVIDE FULL-LITE ALUMINUM DOORS WHERE SHOWN W/ MATCHING FINISH. SEE OPENING ELEVATIONS FOR ADDITIONAL INFORMATION. SEE SPECIFICATION.
COLOR: CLEAR ANODIZED
3A. PREFINISHED ALUM. SHADING LOUVER
COLOR: CLEAR ANODIZED
3B. PREFINISHED ALUM. STOREFRONT WINDOW W/ OPERABLE SLIDER. SEE SPECIFICATION
COLOR: CLEAR ANODIZED
 - 4. PREFINISHED METAL FLASHING:
PROVIDE BENT METAL THROUGH-WALL FLASHING, ALUMINUM W/ BAKED-ON KYNAR FINISH.
MATCH METAL PANEL. SEE SECTIONS AND DETAILS.
 - 5. PREFINISHED SOFFIT:
SA. PREFINISHED METAL TO MATCH METAL PANEL SIDING. CENTER PENETRATIONS IN PANEL, TYP. NICHIPANEL, CEDAR TEXTURE, FIBER CEMENT
SB. COLOR: CEDAR
 - 6. METAL DOWNSPOUT:
8x6 CLOSED-FACE DOWNSPOUT, ALUMINUM W/ BAKED-ON KYNAR FINISH.
COLOR TO MATCH METAL PANEL SIDING. SEE SECTIONS AND DETAILS.
 - 7. METAL COPING CAP:
SLOPED COPING CAP (12' SLOPE, FRONT TO BACK)
4" TALL FACE - ALUM. W/ BAKED-ON KYNAR FINISH.
COLOR TO MATCH METAL PANEL SIDING. SEE SECTIONS AND DETAILS.
VERIFY REQUIRED WIDTH OF CAP PRIOR TO ORDER AND FABRICATION.
 - 8. BUILDING SIGNAGE:
TWO-TONE, POWDER-COATED ALUM. LETTERS ON ALUM. BACKDROP PLATE. SEE SPECIFICATION.
COORDINATE W/ OWNER & TENANT PRIOR TO FABRICATION AND INSTALLATION.
 - 9. LIGHTING FIXTURE:
WALL-MOUNTED, EXTERIOR SITE LIGHTING

PRELIMINARY - NOT FOR CONSTRUCTION

A RESOLUTION OF THE PLANNING AND ZONING COMMISSION

NO. PZC-24-044

WHEREAS, pursuant to the provisions of Title 9, Zoning of the West Des Moines Municipal Code, the applicant and property owner, First Street, Limited Partnership, requests approval of the Site Plan for the approximately 0.7-acre property located at 836 1st Street as depicted on the location map included in the staff report. The applicant requests approval to construct an approximately 2,500 square foot retail building, and associated site improvements; and

WHEREAS, the Site Plan request complies with the findings stated in the applicable provisions of Title 9, the Comprehensive Plan and City Code.

NOW THEREFORE, the Planning and Zoning Commission of the City of West Des Moines recommends the City Council approve the Site Plan (SP-006483-2024), subject to compliance with all the conditions of approval as stated in the staff report, including conditions added at the meeting, and attached hereto as Exhibit "A", if applicable.

PASSED AND ADOPTED on September 9, 2024.

Tina Shaw, Chair
Planning and Zoning Commission

I HEREBY CERTIFY that the foregoing resolution was duly adopted by the Planning and Zoning Commission of the City of West Des Moines, Iowa, at a regular meeting on September 9, 2024, by the following vote:

AYES:

NAYS:

ABSTENTIONS:

ABSENT:

ATTEST:

Recording Secretary